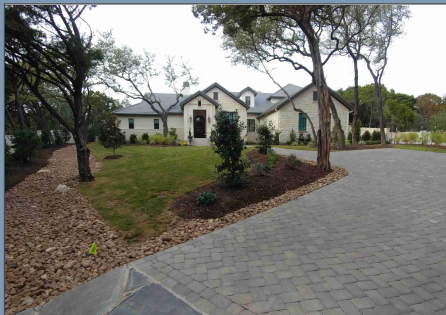
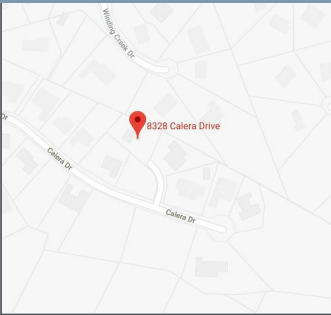


PREPARED BY:



7416 Canal Drive, Lake Worth, FL 33467  
LB# 10193731 | exacta365.com | p: 866.735.1916 | f: 866.744.2882



PROPERTY ADDRESS: 8328 CALERA DRIVE, AUSTIN, TEXAS 78735

SURVEY NUMBER: 1712.0799

FIELD WORK DATE: 1/2/2018

REVISION DATE(S): (REV.1 1/2/2018) (REV.1 12/20/2017)

01/02/18 REVISED TO REFLECT CORRECTED MONUMENT POSITIONS AND DESCRIPTIONS.

17120799

BOUNDARY SURVEY  
TRAVIS COUNTY

NOTES:  
P.U.E. = PUBLIC UTILITY EASEMENT.

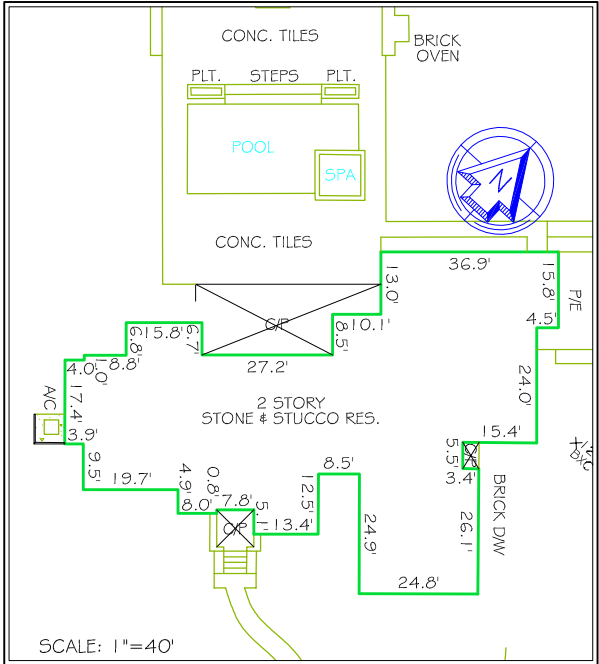
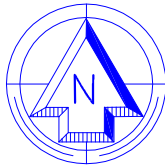
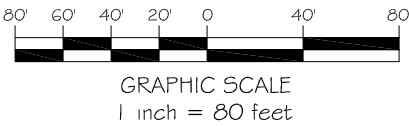
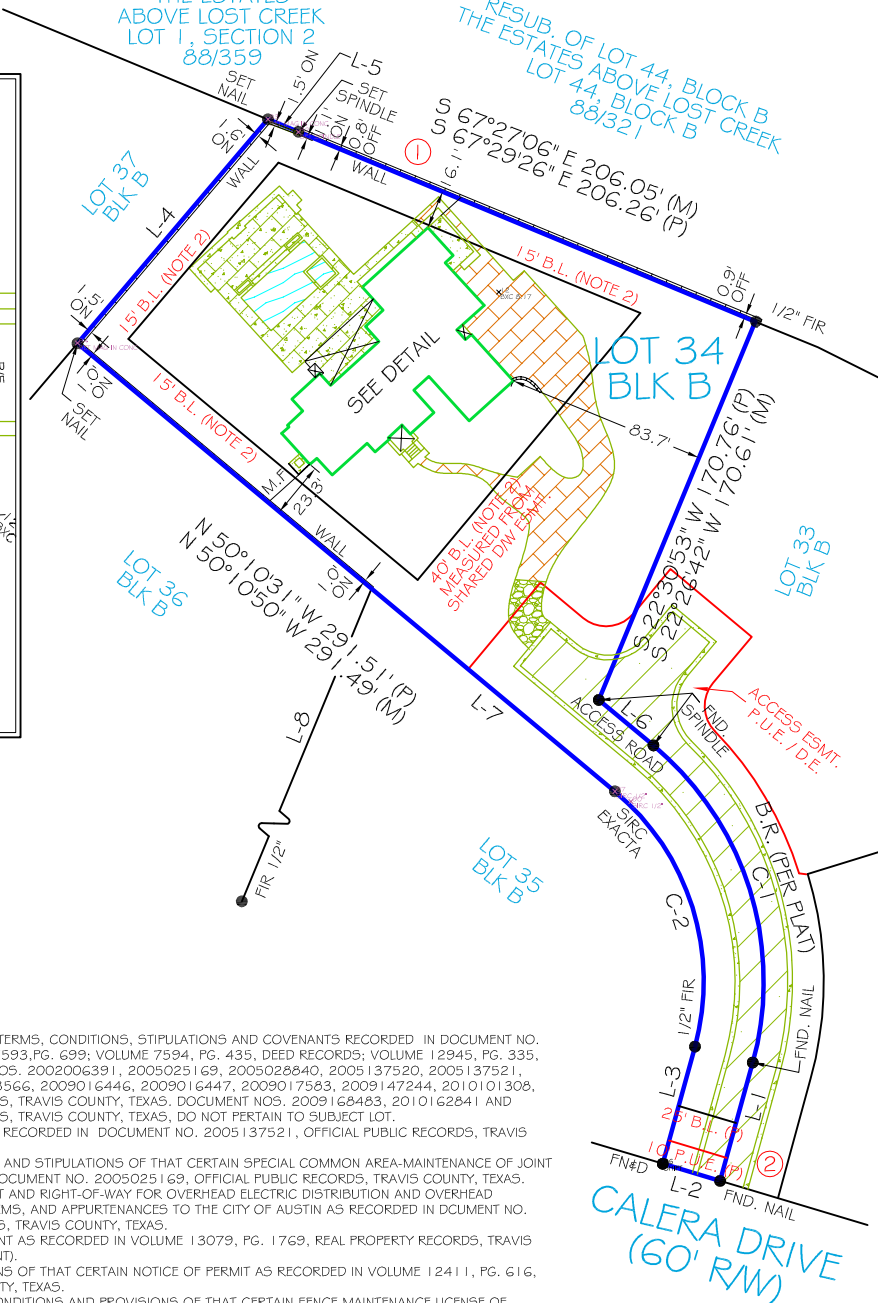
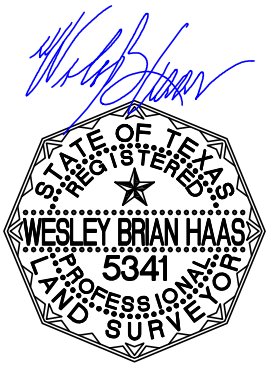


TABLE:	
L-1 S 15°19'22" W	51.15' (P)
S 15°24'12" W	51.15' (M)
L-2 N 73°21'43" W	25.01' (P)
N 73°25'12" W	24.96' (M)
L-3 N 15°19'22" E	50.57' (P)
N 15°20'14" E	50.64' (M)
L-4 N 40°21'29" E	122.55' (P)
N 40°21'29" E	122.55' (M)
L-5 S 67°29'26" E	13.76' (P)
S 67°29'26" E	13.76' (M)
L-6 S 50°10'31" E	29.58' (P)
S 50°09'25" E	29.59' (M)
L-7 N 50°10'31" W	131.90' (P)
N 50°10'50" W	131.90' (C)
L-8 S 22°32'33" W	190.69' (P)
S 22°32'22" W	190.85' (M)

C-1	
R=	128.05' (P#M)
L=	146.27' (P) 146.28' (M)
Δ=	65°27'01" (P) 65°27'11" (M)
CH=	S 17°24'08" E, 138.45' (P)
	S 17°24'08" E, 138.46' (M)
C-2	
R=	103.05' (P#M)
L=	117.80' (P), 117.77' (M)
Δ=	65°29'53" (P), 65°28'50" (M)
CH=	N 17°23'54" W 111.49' (P),
	N 17°25'02" W 111.47' (M)

- NOTES:
- SUBJECT TO APPLICABLE RESTRICTIVE TERMS, CONDITIONS, STIPULATIONS AND COVENANTS RECORDED IN DOCUMENT NO. 200500026, PLAT RECORDS; VOLUME 7593, PG. 699; VOLUME 7594, PG. 435, DEED RECORDS; VOLUME 12945, PG. 335, REAL PROPERTY RECORDS; DOCUMENT NOS. 2002006391, 2005025169, 2005028840, 2005137520, 2005137521, 2005183947, 2005190384, 2008113566, 2009016446, 2009016447, 2009017583, 2009147244, 2010101308, 2011160648, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DOCUMENT NOS. 2009168483, 2010162841 AND 2011181560, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DO NOT PERTAIN TO SUBJECT LOT.
  - SUBJECT TO BUILDING SETBACK LINES RECORDED IN DOCUMENT NO. 2005137521, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS. (AS SHOWN HEREON).
  - SUBJECT TO THE TERMS, CONDITIONS AND STIPULATIONS OF THAT CERTAIN SPECIAL COMMON AREA-MAINTENANCE OF JOINT ACCESS EASEMENTS AS RECORDED IN DOCUMENT NO. 2005025169, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.
  - LOT IS NOT SUBJECT TO AN EASEMENT AND RIGHT-OF-WAY FOR OVERHEAD ELECTRIC DISTRIBUTION AND OVERHEAD TELECOMMUNICATIONS LINES AND SYSTEMS, AND APPURTENANCES TO THE CITY OF AUSTIN AS RECORDED IN DOCUMENT NO. 1999079831, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.
  - SUBJECT TO THAT GOLF PLAY EASEMENT AS RECORDED IN VOLUME 13079, PG. 1769, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS. (BLANKET TYPE EASEMENT).
  - TERMS, CONDITIONS AND STIPULATIONS OF THAT CERTAIN NOTICE OF PERMIT AS RECORDED IN VOLUME 12411, PG. 616, REAL PROPERTY RECORDS, TRAVIS COUNTY, TEXAS.
  - LOT IS SUBJECT TO THOSE TERMS, CONDITIONS AND PROVISIONS OF THAT CERTAIN FENCE MAINTENANCE LICENSE OF RECORD IN DOCUMENT NO. 2017130933, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

I HEREBY CERTIFY THAT: THIS PLAT REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON THE 14th DAY OF DECEMBER, 2017; ALL EASEMENTS AND RIGHTS-OF-WAY SHOWN ON THE PLAT AND SET FORTH WITHIN THE TITLE COMMITMENT ISSUED BY TITLE RESOURCES GUARANTY COMPANY, GF NO. T-103935, EFFECTIVE NOVEMBER 22, 2017, ARE SHOWN OR NOTED HEREON; THERE ARE NO VISIBLE ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN HEREON; THE PROPERTY HAS ACCESS TO A DEDICATED RIGHT-OF-WAY PER PLAT.



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor.  
Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN TRAVIS COUNTY, COMMUNITY NUMBER 481026, DATED 09/26/08.

POINTS OF INTEREST

(1) WALL OVER PROPERTY LINE. (2) ACCESS ROAD OVER 10' PUBLIC UTILITY EASEMENT.

POWERED BY:



www.surveystars.com

CLIENT NUMBER: T-103935

DATE: 1/2/2018

BUYER:

SELLER:

CERTIFIED TO:

EXACTA TEXAS SURVEYORS, INC.

2132 E9th St, Cleveland OH 44115  
LB# 10193993 | P: 866.735.1916 | F: 773.305.4011

Please Remit Payment To: 2132 E9th St | Suite 310, Cleveland, OH 44115

LEGAL DESCRIPTION:

LOT 34, BLOCK B BARTON CREEK SECTION H, PHASE 2, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED UNDER DOCUMENT NO. 200500026 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

JOB SPECIFIC SURVEYOR NOTES:

THE BEARING REFERENCE OF SOUTH 17°24'08" EAST IS BASED ON THE CHORD BEARING OF THE NORTHEASTERLY LINE OF LOT 34, BLOCK B BARTON CREEK SECTION H, PHASE 2, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED UNDER DOCUMENT NO. 200500026 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

GENERAL SURVEYOR NOTES:

1. Firm Branch #10193993 is physically located at 2132 E 9th St, Suite 310, Cleveland, OH 44115.
2. The Legal description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
3. Due to varying construction standards, house dimensions are approximate.
4. This survey is exclusively for the use of the parties to whom it is certified. It is not transferable to additional institutions or subsequent owners.
5. This property subject to any and all recorded and unrecorded easements. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants or ownership title evidence.
6. If there is a septic tank, well or drain field on this survey, the location of such items was shown to us by others and are not verified.
7. Any additions or deletions of this 2 page survey document are strictly prohibited. Use of this survey beyond the purpose of the transfer of title without written authorization of the signing surveyor is prohibited.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
9. Dimensions are in feet and decimals thereof.
10. All pins marked as set are 5/8" or 1/2" diameter, 18" iron rebar, with "EXACTA" cap.
11. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
12. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logos or references to third party firms are for informational purposes only.
13. Points of Interest (POI's) are selected above- ground improvements which may be in contact with boundary, building setbacks or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor . These POI's may not represent all items of interest to the viewer.
14. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
15. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

LINETYPES: ( UNLESS OTHERWISE NOTED)	
BOUNDARY LINE	IRON FENCE
STRUCTURE	OVERHEAD LINES
CENTERLINE	ON-ROAD SURVEY TIE LINE
CHAIN-LINK or WIRE FENCE	WALL OR PARTY WALL
EASEMENT	WOOD FENCE
EDGE OF WATER	VINYL FENCE

SURVEYOR'S LEGEND

SURFACE TYPES: ( UNLESS OTHERWISE NOTED)	
ASPHALT	BRICK or TILE
CONCRETE	COVERED AREA
WATER	WOOD

SYMBOLS: ( UNLESS OTHERWISE NOTED)	
BENCH MARK	FIRE HYDRANT
CENTERLINE	FIND OR SET MONUMENT
COMMON ANGLE or DELTA	GUYWIRE OR ANCHOR
COMMON OWNERSHIP	MANHOLE
CONTROL POINT	TREE
CONCRETE MONUMENT	UTILITY OR LIGHT POLE
CATCH BASIN	WELL
ELEVATION	

(C)	CALCULATED
(D)	DEED
(F)	FIELD
(M)	MEASURED
(P)	PLAT
(R)	RECORD
(S)	SURVEY
A.S.B.L.	ACCESSORY SETBACK LINE
A/C	AIR CONDITIONING
B.C.	BLOCK CORNER
B.F.P.	BACKFLOW PREVENTOR
B.R.	BEARING REFERENCE
B.R.L.	BUILDING RESTRICTION LINE
B/W	BAY/BOX WINDOW
BLDG.	BUILDING
BLK.	BLOCK
BM	BENCHMARK
BSMT.	BASEMENT
C	CURVE
C.B.	CONCRETE BLOCK
C.L.F.	CHAIN LINK FENCE
C.O.	CLEAN OUT
C.V.G.	CONCRETE VALLEY GUTTER
C/L	CENTER LINE
C/P	COVERED PORCH
C/S	CONCRETE SLAB
CATV	CABLE TV RISER
CH	CHORD BEARING
CHIM.	CHIMNEY
CONC.	CONCRETE
COR.	CORNER
CS/W	CONCRETE SIDEWALK
D.F.	DRAIN FIELD
D.H.	DRILL HOLE
D/W	DRIVEWAY

E.O.W.	EDGE OF WATER
ELEV.	ELEVATION
EM	ELECTRIC METER
ENCL.	ENCLOSURE
ENT.	ENTRANCE
EUB	ELECTRIC UTILITY BOX
F.F.	FINISHED FLOOR
F.O.P.	EDGE OF PAVEMENT
F/DH	FOUND DRILL HOLE
FCM	FND. CONCRETE MONUMENT
FIP	FOUND IRON PIPE
FIPC	FOUND IRON PIPE & CAP
FIR	FOUND IRON ROD
FIRC	FOUND IRON ROD & CAP
FN	FOUND NAIL
FN&D	FOUND NAIL AND DISC
FND.	FOUND
FPM	FOUND PARKER-KALON NAIL
FPM&D	FOUND PK NAIL & DISC
FRRSK	FOUND RAILROAD SPIKE
GAR.	GARAGE
GM	GAS METER
ID.	IDENTIFICATION
ILL.	ILLEGIBLE
INST.	INSTRUMENT
INT.	INTERSECTION
L	LENGTH
LB#	LICENSE # - BUSINESS
LS#	LICENSE # - SURVEYOR
M.B.	MAP BOOK
M.E.S.	MITERED END SECTION
M.F.	METAL FENCE
MES	MITERED END SECTION
MH	MANHOLE
N.R.	NON RADIAL

N.T.S.	NOT TO SCALE
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD29	NATIONAL GEODETIC VERTICAL DATUM OF 1929
O.C.S.	ON CONCRETE SLAB
O.G.	ON GROUND
O.R.B	OFFICIAL RECORD BOOK
O.R.V.	OFFICIAL RECORD VOLUME
O/A	OVERALL
O/S	OFFSET
OFF	OUTSIDE OF SUBJECT PARCEL
OH.	OVERHANG
OHL	OVERHEAD LINES
ON	INSIDE OF SUBJECT PARCEL
P.B.	PLAT BOOK
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVATURE
P.C.P.	PERMANENT CONTROL POINT
P.I.	POINT OF INTERSECTION
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.P.	PINCHED PIPE
P.R.C.	POINT OF REVERSE CURVATURE
P.R.M.	PERMANENT REFERENCE MONUMENT
P.T.	POINT OF TANGENCY
P/E	POOL EQUIPMENT
PG.	PAGE
PLS	PROFESSIONAL LAND SURVEYOR
PLT	PLANTER
PSM	PROFESSIONAL SURVEYOR AND MAPPER
R	RADIUS or RADIAL

R.P.	RADIUS POINT
R/W	RIGHT OF WAY
RES.	RESIDENCE
RGE.	RANGE
S.B.L.	SET BACK LINE
S.C.L.	SURVEY CLOSURE LINE
S.T.L.	SURVEY TIE LINE
S.W.	SEAWALL
S/GD	SET GLUE DISC
S/W	SIDEWALK
SCR.	SCREEN
SEC.	SECTION
SEP.	SEPTIC TANK
SEW.	SEWER
SIRC	SET IRON ROD & CAP
SN&D	SET NAIL & DISC
SQ.FT.	SQUARE FEET
STY.	STORY
SV	SEWER VALVE
T.O.B.	TOP OF BANK
TBM	TEMPORARY BENCHMARK
TEL.	TELEPHONE FACILITIES
TWP.	TOWNSHIP
TX	TRANSFORMER
TYP.	TYPICAL
U.R.	UTILITY RISER
UG	UNDERGROUND
UR	UTILITY RISER
V.F.	VINYL FENCE
W.F.	WOODEN FENCE
W/C	WITNESS CORNER
W/F	WATER FILTER
WM	WATER METER/VALVE BOX
WV	WATER VALVE

A.E.	ACCESS EASEMENT
A.N.E.	ANCHOR EASEMENT
C.M.E.	CANAL MAINTENANCE ESMT.
C.U.E.	COUNTY UTILITY ESMT.
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE AND UTILITY ESMT.
ESMT.	EASEMENT
I.E./E.E.	INGRESS/EGRESS ESMT.
IRR.E.	IRRIGATION EASEMENT
L.A.E.	LIMITED ACCESS ESMT.
L.B.E.	LANDSCAPE BUFFER ESMT.
L.E.	LANDSCAPE ESMT.
L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
M.E.	MAINTENANCE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.E.	ROOF OVERHANG ESMT.
S.W.E.	SIDEWALK EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
T.U.E.	TECHNOLOGICAL UTILITY ESMT.
U.E.	UTILITY EASEMENT

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>. To Electronically Sign any survey PDF: 1. Save the PDF onto your computer. 2. Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer. 3. Select the Hash Method as SHA. 4. Click Submit. Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
2. Select a printer with legal sized paper.
3. Under "Print Range", click select the "All" toggle.
4. Under the "Page Handling" section, select the number of copies that you would like to print.
5. Under the "Page Scaling" selection drop down menu, select "None."
6. Uncheck the "Auto Rotate and Center" checkbox.
7. Check the "Choose Paper size by PDF" checkbox.
8. Click OK to print.

TO PRINT IN BLACK + WHITE:

1. In the main print screen, choose "Properties".
2. Choose "Quality" from the options.
3. Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR:

EXACTA

10% OFF

OF FUTURE SURVEYING SERVICES

ON THIS PROPERTY, UP TO \$500.

\*Offer valid for fence stakeouts and additions to the existing structures only. Valid only for the buyer as listed on the first page of this survey for up to one year after survey issuance date. Total discount not to exceed \$500.