

General Requirements

- SUMMARY OF THE WORK:** Unless specifically excluded, the work includes all labor and materials necessary to complete the project described by the contract documents.
- PERMITS AND FEES:** The Contractor shall secure and pay for all permits, fees, licenses, and taxes necessary for the proper execution and completion of the work.
- APPLICABLE REGULATIONS:** The Contractor shall give all notices and shall comply with all local, state and federal codes, laws, ordinances, etc. that bear on the performance of the work. All work shall comply with all applicable regional and local building codes and state and local ordinances. The Contractor shall notify the Architect of any code violations in the construction documents prior to the completion of pricing and before construction. The Contractor shall contact the Architect to clarify any discrepancies, errors or omissions in the contract documents. The Contractor shall assume full responsibility for any work that is executed without clarifying any discrepancies, errors or omissions in the Contract Documents with the Architect.
- INSURANCE:** The Contractor shall secure and pay for all builders risk, comprehensive, general liability and worker's compensation insurance, permits, fees, licenses, and taxes necessary for the proper execution and completion of the work. The Contractor shall be properly licensed in the region in which the project is to be constructed. If the Contractor receives a written request from the owner, the Contractor shall be bonded for the total cost of the construction.

All Contractors shall carry, at a minimum, insurance as follows:

- Worker's compensation: As required by law.
- Public Liability: \$500,000 for 1 person, \$1,000,000 for each accident occurrence.
- Property damage: \$150,000 for any one accident.

The General Contractor shall furnish to the Owner evidence of the above coverage and shall secure the same from all Subcontractors.

**FIRE INSURANCE WITH EXTENDED COVERAGE:** The Contractor shall maintain insurance to protect the project with a builder's risk, broad form fire, an extended coverage policy in the amount of the completed value of the project.

**TEMPORARY UTILITIES:** The Contractor shall arrange for, provide hook-ups for and pay for all temporary heat, light, power, and water required for completion of the work. All temporary work shall be removed from the premises on or before completion of work.

**SUBMISSIONS:** Submit shop drawings and/or samples of custom fabricated items to the Architect and Owner prior to construction. Consult with and obtain details from the Architect for those items not shown on the drawings. Substitutions shall be permitted only upon written authorization from the Architect.

**QUALITY ASSURANCE:** All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades. The Contractor shall coordinate the activities of all trades on the project. All construction materials are to be installed in accordance with the manufacturer's written instruction manual or in accordance with standard industry practices, whichever is more stringent. All materials and equipment are to perform in accordance with the prescribed standards. The Contractor shall supervise the construction of this project. He shall routinely be at the job site and be available on a daily basis during normal construction working days and hours. The Contractor shall provide the Architect with a list of all proposed Subcontractors. The Architect shall have final approval of Subcontractors that will be employed on the project.

Applicable standards of the construction industry have the same force and effect on the performance of the work as if copied directly into the contract documents. Standards referenced in the contract documents or in governing regulations have precedence over non-referenced standards. Insofar as different standards may contain overlapping or conflicting requirements, comply with standards in effect as of the date of the contract documents, unless otherwise indicated.

It is the Contractor's responsibility to be knowledgeable of the Industry Standards referenced in this document. If a copy of a Standard is required for field use, the Contractor shall contact the organization below to obtain the Standard for site use.

Abbreviations: Where abbreviations or acronyms are used in the contract documents, they mean the recognized name of the entity in the building construction industry; refer to any uncertainties in the "Encyclopedia of Associations" by Gale Research Co.:

ABBR.	FULL NAME & PHONE NUMBER
ACI	American Concrete Inst. (313) 532-2600
AISC	American Institute of Steel Construction (312) 670-2400
ALSC	American Lumber Standard Committee (301) 972-1700
ANSI	American National Standards Inst. (212) 642-4900
APA	American Plywood Assn. (204) 565-6600
ASTM	American Society for Testing Materials (215) 299-5400
AWI	Architectural Woodwork Inst. (703) 222-1100
AWPI	American Wood Preservers' Ins. (817) 326-6300
AWS	American Welding Society (800) 443-9353
BIA	Brick Inst. of America (703) 620-0010
CRSI	Concrete Reinforcing Steel Institute (847) 517-1200
HPMA	Hardwood Plywood Products Assn. (703) 435-2900
KCMA	Kitchen Cabinet Manufacturers Association (703) 264-1690
NCMA	National Concrete Masonry Association (703) 713-1900
NFPA	Natl. Forest Products Assn. (202) 463-2700
NLGA	Natl. Lumber Grade Authority (604) 451-7323
NRCA	Natl. Roofing Contr. Assn. (708) 299-9070
NRMCA	National Ready Mixed Concrete Association (301) 587-1400
NWWMA	National Woodwork Manufacturers Assoc. (847) 299-5200
PCA	Portland Cement Association (847) 966-6200
SMACNA	Sheet Metal and Air Cond. Cont. Natl. Assn. (703) 803-2980
SPIB	Southern Pine Inspection Bureau (904) 434-2611
TCA	Tile Council of America (609) 921-7050
TPI	Truss Plate Inst. (608) 833-5900

**SITE INSPECTION:** The General Contractor shall inspect the site and excavated conditions prior to starting construction. The General Contractor shall notify the Owner, Architect and Structural Engineer if any non-typical conditions are discovered with regard to soils, ground water, or any issue, which may require additional engineering review and/or design. The Contractor shall field verify all existing conditions and dimensions. The Contractor shall notify the Architect regarding any discrepancies with the documents or site information prior to starting construction or ordering materials.

**TERMITE TREATMENT:** The scope of work shall include providing a complete termite treatment, which complies with all codes and is installed in a timely manner that ensures the termite treatments longevity. Verify the soil conditions and construction schedule to coordinate the exact treatment and installation date that will provide the most effective application. Engage a licensed professional pest control operator for application of the soil treatment solution. Furnish a written five (5) year warranty certifying that the applied soil poisoning treatment will prevent infestation of subterranean termites. If subterranean termite activity is discovered during the warranty period, the Contractor shall retreat the soil and repair or replace all damage caused by termite infestation. Post signs in areas of the application warning workers that soil poisoning has been applied. Remove signs when these areas are covered by other construction.

**CLEAN UP:** The Contractor shall furnish trash containers and at all times shall keep the premises free from the accumulation of waste materials or rubbish caused by its operations. At the completion of the work, all remaining waste, materials and rubbish shall be disposed of legally, and tools, construction equipment, machinery and surplus materials shall be removed from the site. The Contractor shall repair any damages. Immediately before the Owner and Architect certify that the project is complete and ready for occupancy, all finished surfaces are to be cleaned, all equipment is to be cleaned and all return air filters and lamps shall be clean and operating.

General Notes Construction Documents

**DIMENSIONS AND DOCUMENTS:** The Contractor shall verify and be responsible for the accuracy of all dimensions and conditions of the project and will report any discrepancies to the Architect. Specifications shall control over all Drawings except in the case where Structural Drawings and Notes duplicate and/or conflict with the Specifications in the Project Manual or in the Architectural Drawings; the Structural Drawings and Notes shall apply. Drawing Schedules shall control over General Drawings and Large-Scale Details take precedence over Small-Scale Details. The Drawings are intended to show the general arrangement, design and extent of the work, and are partly diagrammatic; they are not intended to be scaled for rough-in measurements or to serve as Shop Drawings. If it becomes necessary to scale the drawings contact the Architect for clarification. Any part of the drawings can be enlarged and furnished to the Contractor. The contractor shall request any necessary clarification before construction. The Contractor shall cross-reference the architectural and structural drawings for conformity. If discrepancies occur between the architectural drawings, project manual, structural drawings and notes, the Contractor shall contact the Architect for clarification. The Contractor shall be responsible for obtaining clarifications before continuing with construction. The conditions covered under the latest edition of AIA Document A201 General Conditions of the Contractor Construction are a part of the Construction Documents.

**CHANGES TO THE WORK:** The Architect's written consent is required for any change to the work. No changes to the work shown in the construction documents or work that may be reasonably implied from them shall be performed unless this written consent is requested and received. Substitutions of equal products from other manufacturers will be accepted only when written approval by the Architect is granted.

**PLAN DIMENSIONS:** Exterior wall dimensions are called out from the face of masonry or outside of wood studs. Interior wall dimensions are to the face of masonry, face of or centerline of wood studs. Openings are dimensioned to the centerline of the opening. Dimensions for elevations, sections and details are to the top of the sub floor or finish floor as shown. Walls in plan may be drawn and dimensioned nominally. The Contractor shall make the necessary allowances for the actual dimensions. Any dimension discrepancies shall be clarified with the Architect before fabrication of the area in question.

**FRAMES:** Interior doorframe locations are to be typically coordinated so that the door is centered on a wall segment. In some cases the door trim may meet in the corner with the trim from an adjacent door. Coordinate precise locations with the Architect prior to construction.

**STRUCTURE:** All structural members shall have been or are to be sized by the engineer of record or by the product manufacturer's licensed engineer as indicated in the construction documents. All unspecified fasteners are to be non-corrosive and made of A316 stainless steel. SEE STRUCTURAL NOTES ON 65.

**MISCELLANEOUS FRAMING:** Double the number of the specified structural members under interior walls that run parallel to the floor framing. Double the number of the specified structural members under all bathtubs taking care not to block pipes, drains, lights etc. The Contractor shall install blocking and structural supports for all millwork, counters, ledges, shelving, mirrors, accessories etc, taking care not to impede or hinder any associated MEP rough-in work. Provide blocking in bathrooms for future installation of grab bars at the toilet and the master shower.

All framing lumber to be min #1 Southern Yellow Pine (SYP) unless otherwise noted.

Wood lintels over all interior openings at non-bearing partitions to be min. (2) 2x8 unless otherwise noted. Provide min. (2) studs at end of all beams, lintels, double joists, inside and outside corners unless otherwise noted.

Install solid 2x wood bridging or cross bracing at maximum 8'-0" at all joist areas.

All wood exposed to weather shall be smooth, clear and free of defects, checking etc. and shall be pressure treated pine or cedar unless otherwise noted.

Provide metal flashing over all windows and doors in exterior walls throughout. Provide pan flashing under all exterior doors. Provide all wall, base, cap, thru-wall, counter-flashing, etc. as required to prevent the entrance of moisture and water.

All bolts, nails, staples, hinges, hangers, etc. exposed to weather or in contact with pressure treated wood shall be stainless steel or hot dipped galvanized.

**EXTERIOR SILLS AND KEYING:** The Contractor shall coordinate and install sill extensions for exterior wall conditions with the Architect. The Contractor shall coordinate the keying system (master, grandmaster, etc.) requirements with the Owner.

**OPENINGS:** The contractor shall obtain written documentation that the windows & doors to be installed in the project meet or exceed the specified design pressures and all pertinent design criteria as indicated in the specifications and contract documents. This requirement shall also apply to any substitutions that may be made during the course of the project. Caulk and seal all joints and cracks around windows, chimneys, doors, counters, etc. with proper exterior and interior compounds approved by the Architect. Generally match the adjacent surface but in all cases, verify the type and color with the Architect and install in accordance with the Manufacturer's printed instructions. One window from each sleeping room shall have a minimum net clear opening height of 24" and a minimum net clear opening width of 20" and the sill height shall be equal to or less than 4" above the floor.

**FINISHES:** All exposed finish work shall be continuous and uniform, free from abrasions and/or tool marks. All finishes shall be installed in accordance with the Manufacturer's written instructions.

**ELECTRICAL SERVICE:** The Electrical Contractor shall verify and/or size the electrical system to meet or surpass NEC and local requirements.

**ELECTRICAL DEVICE AND FIXTURE LOCATIONS:** The Contractor shall organize a pre-installation meeting or meetings with the Architect, Owner and all related Sub-contractors to coordinate all electrical and communications device and fixture locations. The meeting shall be after all walls are framed and before any wall finishes are installed. The Contractor, Electrical Contractor and other Communication Sub-contractors shall verify the precise location of all outlets, receptacles, switches, fixtures, smoke detectors, alarms, speakers, etc. with the Architect and Owner before construction. Modify the installation locations to accommodate Owner supplied equipment and as required to properly execute the finished work. All rough-in work shall be inspected and approved by the Architect and Owner before installing any wire. All components are to be precisely installed and aligned in equal increments as shown in the drawings or as verified in the field.

**PLUMBING:** All materials and methods shall be installed in accordance with all codes, ordinances and local practices and requirements. Pipes installed above grade and exposed inside the building shall be concealed in chases or furred spaces except when they are located in mechanical rooms. Provide rated chases where required and coordinate the required enclosure with all trades as needed to conceal the plumbing material. All water piping at fixtures connections shall be thoroughly secured in and/or on the wall of the pipe chase behind the fixtures. Coordinate required, desired or recommended access hatches with the Architect and Owner before construction. Domestic water lines in unheated open areas shall be insulated. Offset plumbing vents through roof as required to avoid any obstructions. All roof penetrations where practical are to be on the backside of the ridge away from and concealed from view from the front. Any unspecified plumbing fixtures to be selected by Architect or Owner.

**HVAC:** Provide and install heat pump HVAC system-layout of ductwork (in compliance with State Energy Code) to be approved by Owner. Mechanical Contractor to submit sketches of ductwork layout and grill locations to be approved by Architect.

WINDOW SCHEDULE

Mark	Frame Size	Label	Description	Mull	Jamb	Casing	Notes
a	2'-2 3/16" x 1'-10 3/16"	21x17	2 lite fixed	n/a	4 9/16"	s3s 2x4 (3)	doorner
b	1'-8 3/16" x 5'-6 3/16"	15x59	3 lite casement	n/a	4 9/16"	s3s 2x4 (3)	
c	2'-4 3/16" x 5'-6 3/16"	23x59	6 lite casement	n/a	4 9/16"	s3s 2x4 (3)	
d	2'-4 3/16" x 5'-6 3/16"	23x59 - 3W	6 lite casements	3"	4 9/16"	s3s 2x4 (3)	
e	3'-1 3/14" x 5'-6 3/16"	custom x59	9 lite fixed	n/a	4 9/16"	s3s 2x4 (3)	
f	3'-3" x 5'-6 3/16"	custom x59	9 lite fixed	n/a	4 9/16"	s3s 2x4 (3)	
g	2'-4 3/16" x 5'-6 3/16" + 2'-4 3/16" x 1'-6 3/16"	23x59 + 23x13	6 lite casement + 2 light transom	3"	4 9/16"	s3s 2x4 (3)	
h	2'-0 3/16" x 5'-6 3/16" + 2'-3 3/16" x 1'-6 3/16"	19x59 + 19x13 - 3W	6 lite casements + 2 light transoms	3"	4 9/16"	s3s 2x4 (3)	
k	2'-4 3/16" x 5'-6 3/16" + 2'-4 3/16" x 1'-6 3/16"	23x59 + 23x13 - 3W	6 lite casements + 2 light transoms	3"	4 9/16"	s3s 2x4 (3)	
l	2'-6 3/16" x 5'-6 3/16" + 2'-6 3/16" x 1'-6 3/16"	25x59 + 23x13 - 3W	6 lite casements + 2 light transoms	3"	4 9/16"	s3s 2x4 (3)	
m	2'-6 3/16" x 5'-6 3/16" + shaped transom	25x59 + custom - 3W	6 lite casement + custom transom	3"	4 9/16"	s3s 2x4 (3)	
n	3'-8" x 7'-8 1/8"	-	6 lite direct set	n/a	4 9/16"	custom	
o	3'-8" x 9'-0" + 3'-8" x 1'-11 5/8"	-	6 lite direct set + 2 light transom	n/a	4 9/16"	custom	

Notes

- Windows sized as Sierra Pacific Feel Safe - clad. Windows may be Pinnacle Impact Select.
- Windows to be wind rated per design pressure requirements for this job.
- Use black tape for simulated divided lites. Use black spacer bar for double glazed simulated divided lite if used.
- Windows to have field applied sill but no apron.
- Casement handing is left - fixed - right.
- Order bedroom windows with egress hardware.
- Jambos extended to the exterior as detailed.
- Architect to approve shop drawings provided by window manufacturer.
- Rough Openings by supplier.
- Windows to be installed (including perimeter fastening) per manufacturer's recommendations!

DOOR SCHEDULE

Mark	Size	Description	Jamb	Casing	Notes
<b>Exterior</b>					
1	3'-8" x 9'-0" + 3'-8" x 1'-11 5/8"	6 lite + 2 light transom			
2	3'-8" x 9'-0"	6 lite			
3	2'-8" x 8'-0"	6 lite over 1 panel			
4	14'-0" x 9'-0"	5 panel bifold door - 6 lites ea panel			
5	12'-6" x 9'-0" + transoms	3 panel bifold door - 6 lites ea panel (with transoms)			
6	9'-6" x 12'-0"	garage doors			

Interior

10	2'-0" x 8'-1" pair	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
11	2'-4" x 8'-1"	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
12	2'-4" x 8'-1" pocket	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
13	2'-4" x 8'-1" pair	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
14	2'-6" x 8'-1"	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
15	2'-6" x 8'-1" pair	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
16	2'-8" x 8'-1"	2 panel door - flat panel with beveled stop	varies	finish sch	
17	3'-0" x 8'-1"	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
18	4'-0" x 8'-1" pair	2 panel door - flat panel with beveled stop	4 5/8"	finish sch	
19	2'-4" x 8'-1"	hidden door	n/a	finish sch	
20	3'-0" x 8'-1"	hidden door	n/a	finish sch	
21	3'-0" x 8'-1" pair	hidden door	n/a	finish sch	
22	2'-6" x 8'-1"	cased opening	4 5/8"	finish sch	
23	3'-2" x 8'-1"	cased opening	5 1/8"	finish sch	
24	4'-0" x 8'-1"	cased opening	5 1/8"	finish sch	

Notes

- Exterior doors Mark "1-3" to be Mahogany. Doors to meet design pressures specified.
- Exterior doors Mark "4 & 5" to be from the window manufacturer. Doors to meet design pressures specified.
- Glass to be impact rated, laminated single glaze with 7/8" simulated divided lites. Use black tape.
- Interior doors to have 4" sills and head rail, 8" lock rail centered @ 36", and 8" bottom rail.
- Architect or owner to select panel sticking detail.
- Architect or owner to approve shop drawings for all doors.
- Exterior Doors to have full weather stripping.
- Field Verify all jamb widths prior to ordering.
- All hinges to be architectural grade satin nickel over brass, square-butt.
- Architect or owner to select door hardware.

PROPERTY LINE

125'-2"

10' BUILDING SETBACK

99'-8"

20'-6"

5'-0"

25'-5"

PROPERTY LINE

73'-4"

10' BUILDING SETBACK

OUTDOOR KITCHEN

FIRE PIT

POOL

15' BUILDING SETBACK

PROPERTY LINE

27'-0"

73'-4"

back of curb

10' BUILDING SETBACK

PROPERTY LINE

15'-0"

SITE PLAN - LOT 136

SCALE : 3/16" = 1'-0"

THIS IS A SET OF DESIGN PLANS FOR CARROT TOP BEACH DEVELOPMENTS. STRUCTURE BY OTHERS. CONTRACTOR RESPONSIBLE FOR BUILDING CODE COMPLIANCE, ALL FLASHING, AND WATERPROOFING DETAILS. ALL DESIGN CHANGES MUST BE APPROVED BY WATERSOUND, CAMP CREEK ARB.



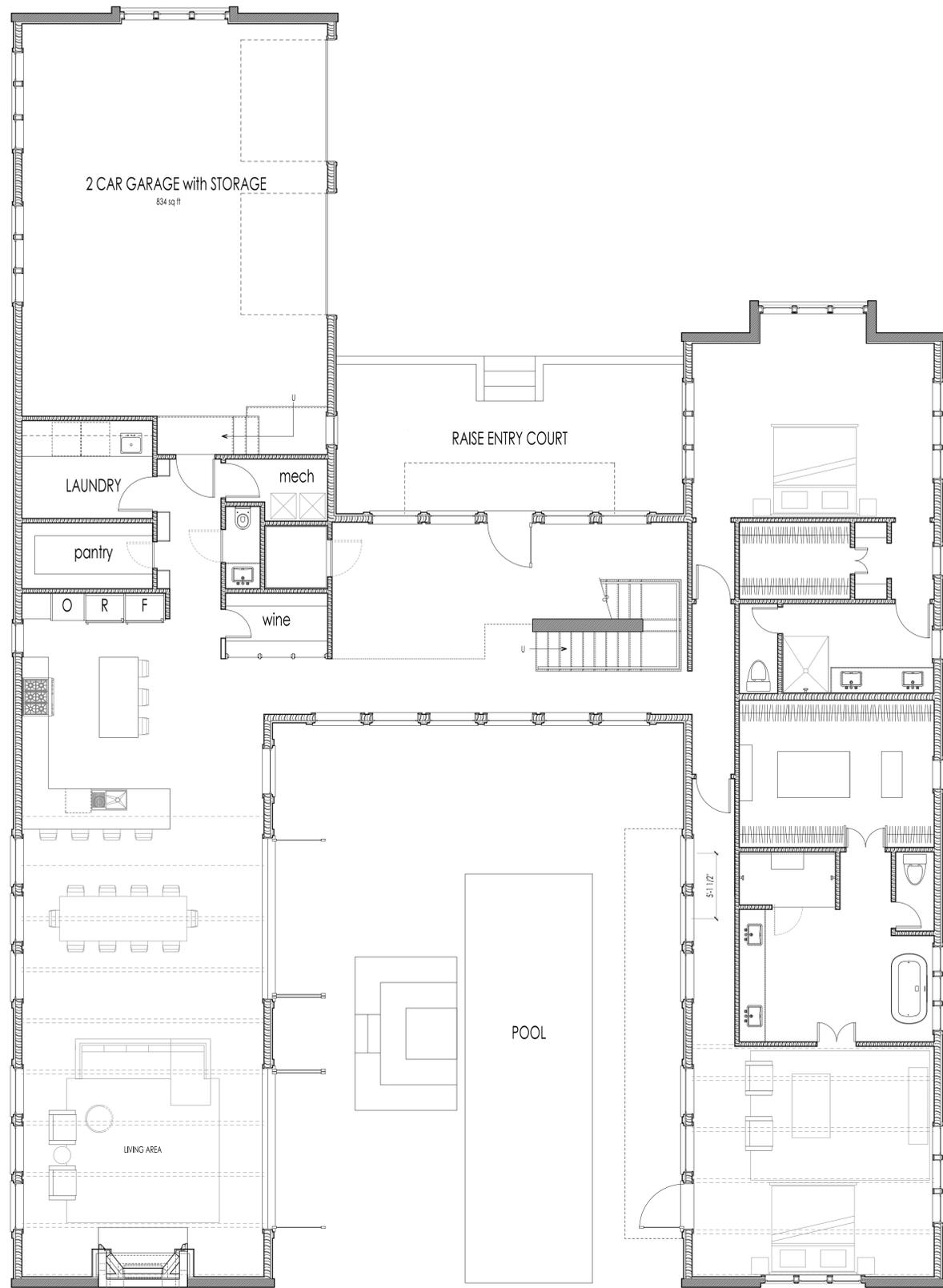
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CARROT TOP  
lot 136 - Camp Creek

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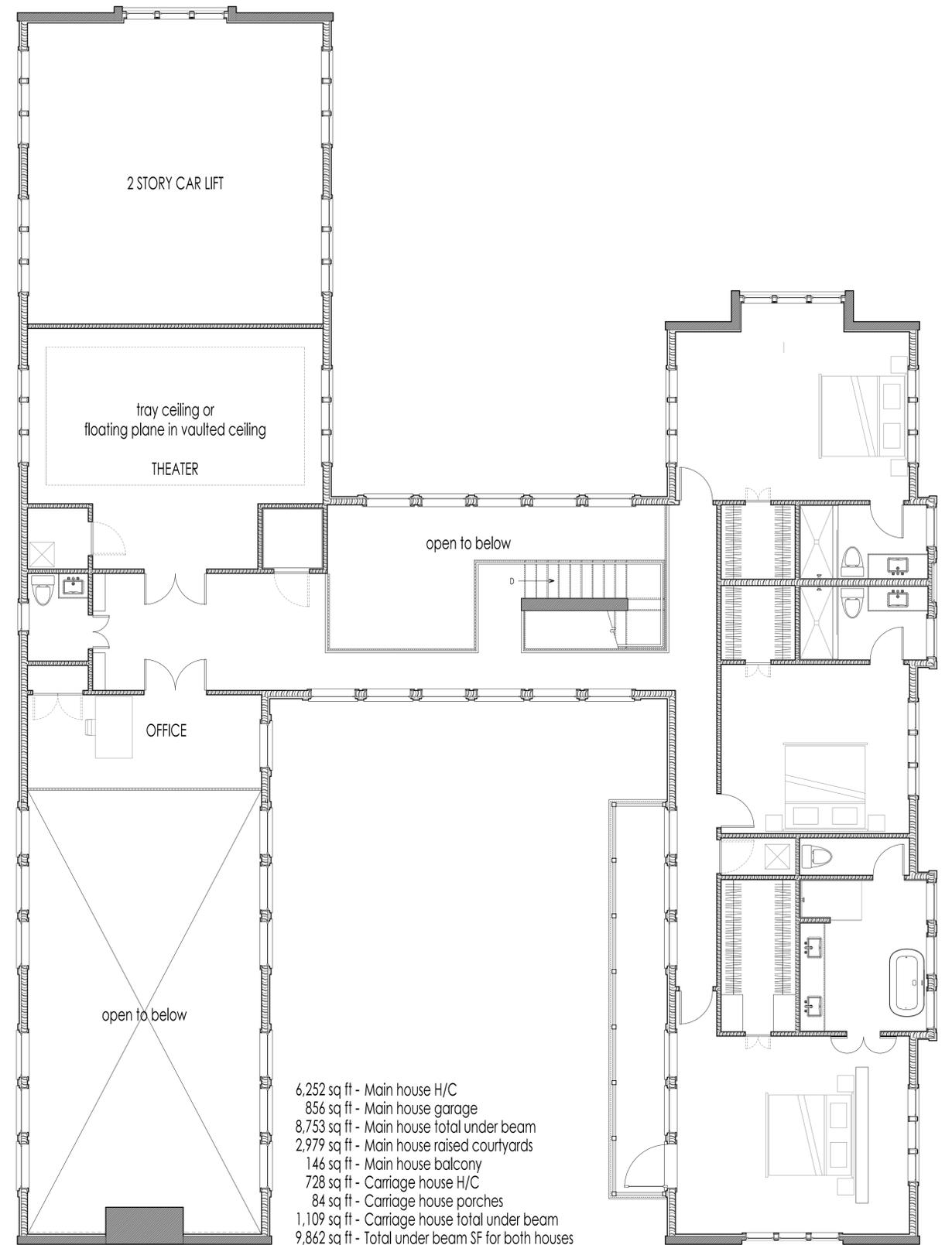
12/24/24



3505 sq ft (heated and cooled)

### FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

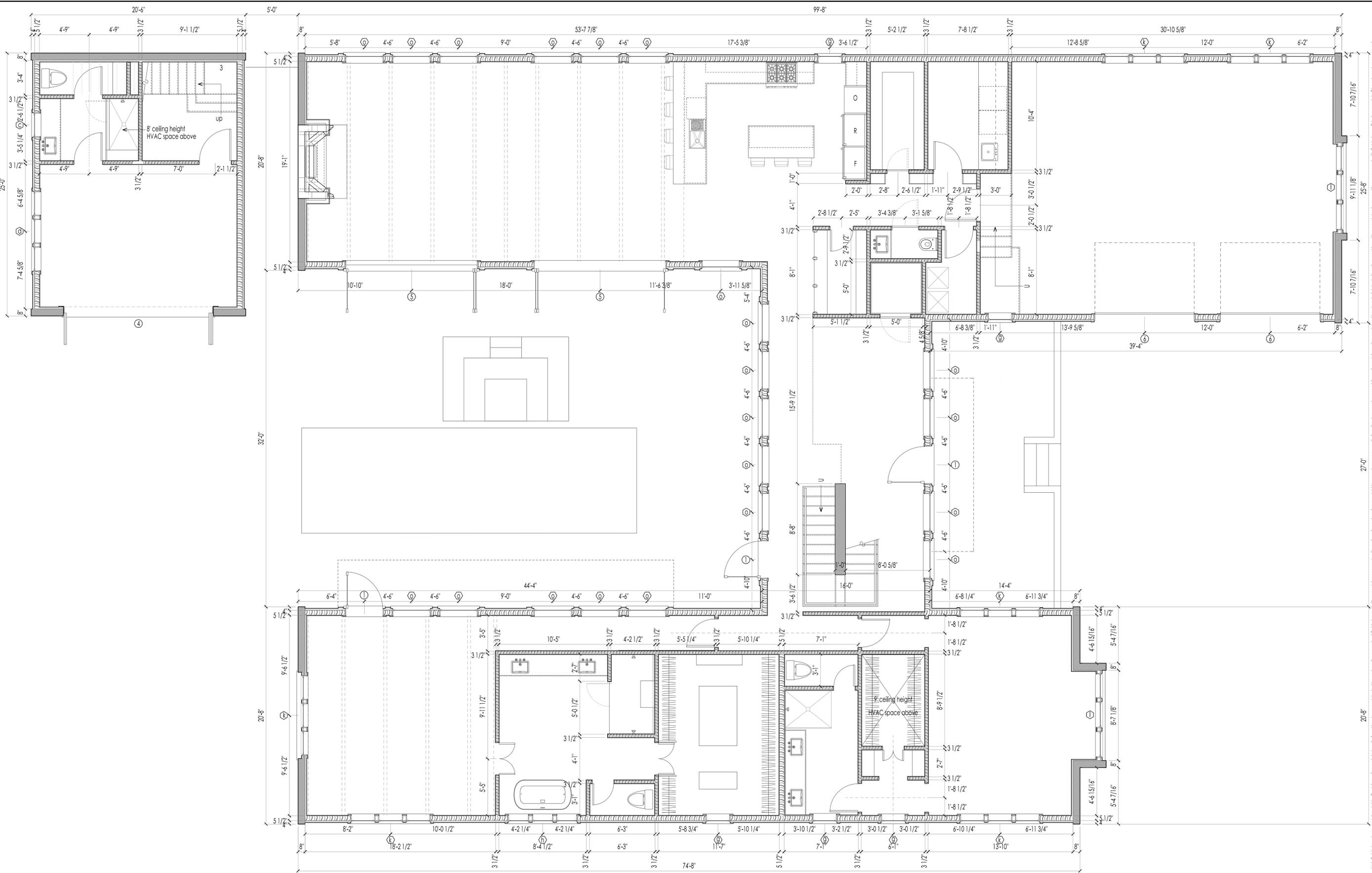


2747 sq ft (heated and cooled)

### SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

- 6,252 sq ft - Main house H/C
- 856 sq ft - Main house garage
- 8,753 sq ft - Main house total under beam
- 2,979 sq ft - Main house raised courtyards
- 146 sq ft - Main house balcony
- 728 sq ft - Carriage house H/C
- 84 sq ft - Carriage house porches
- 1,109 sq ft - Carriage house total under beam
- 9,862 sq ft - Total under beam SF for both houses



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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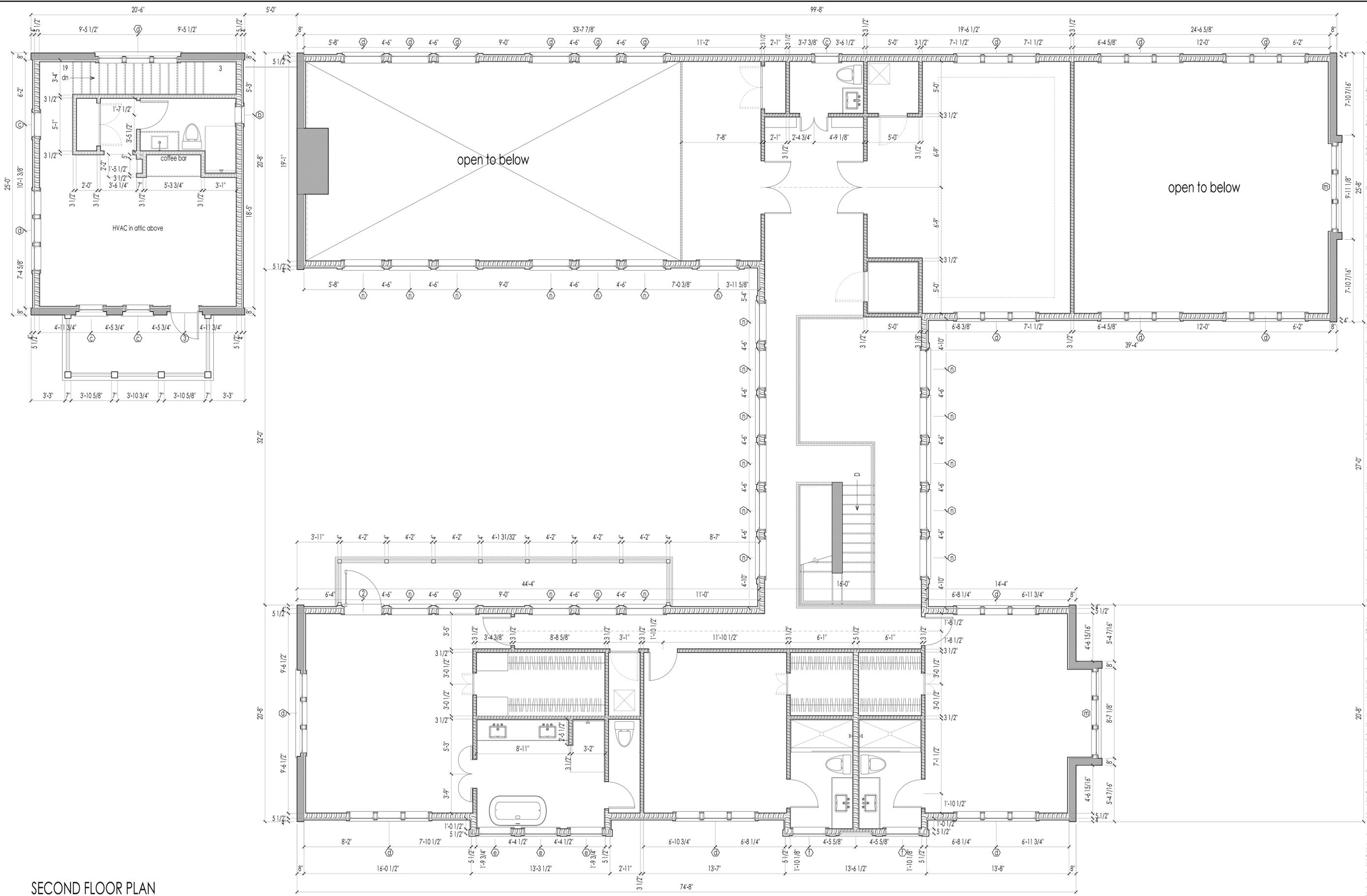
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**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

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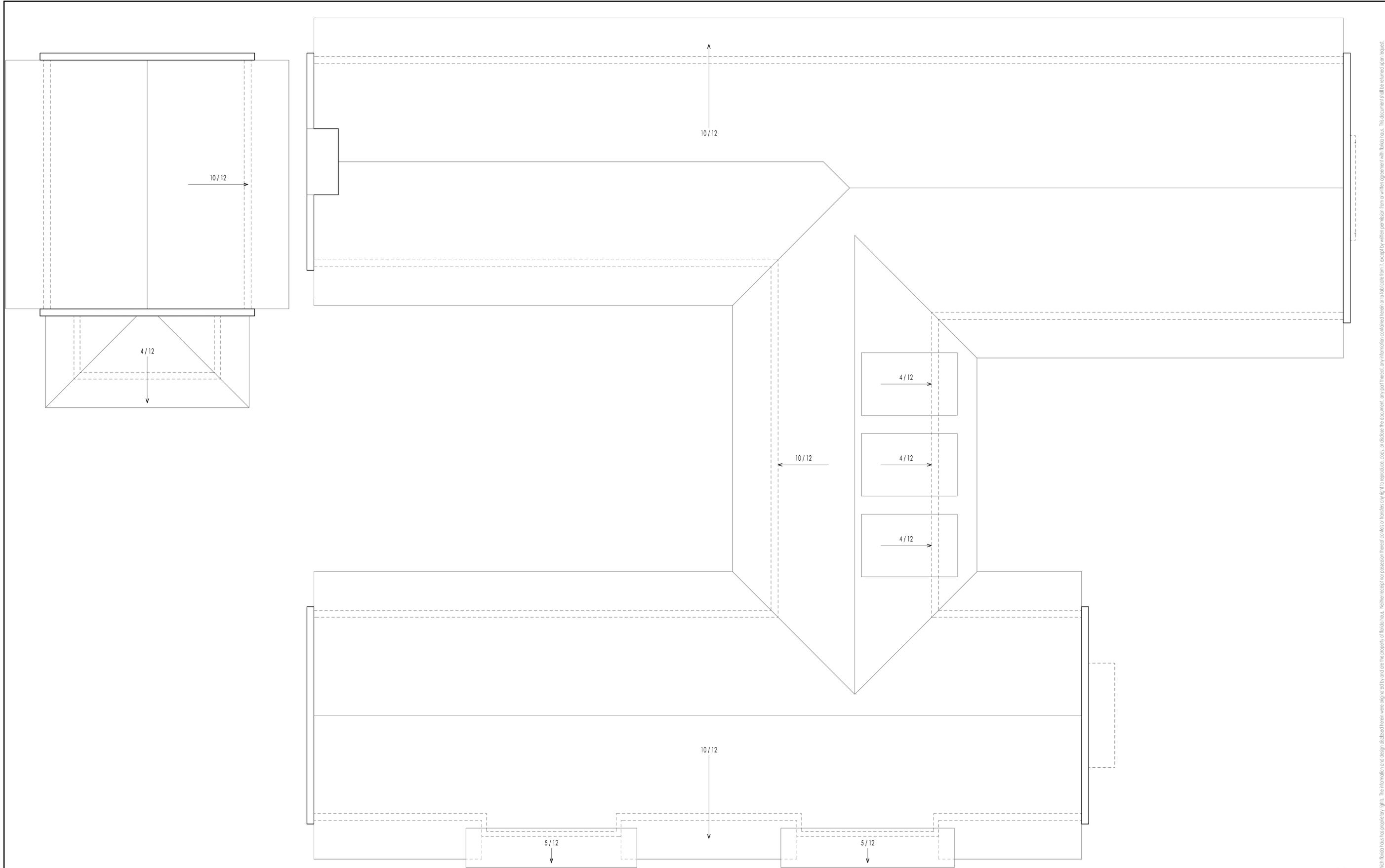
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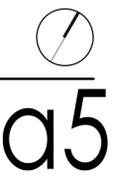
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ROOF PLAN

SCALE: 1/4" = 1'-0"

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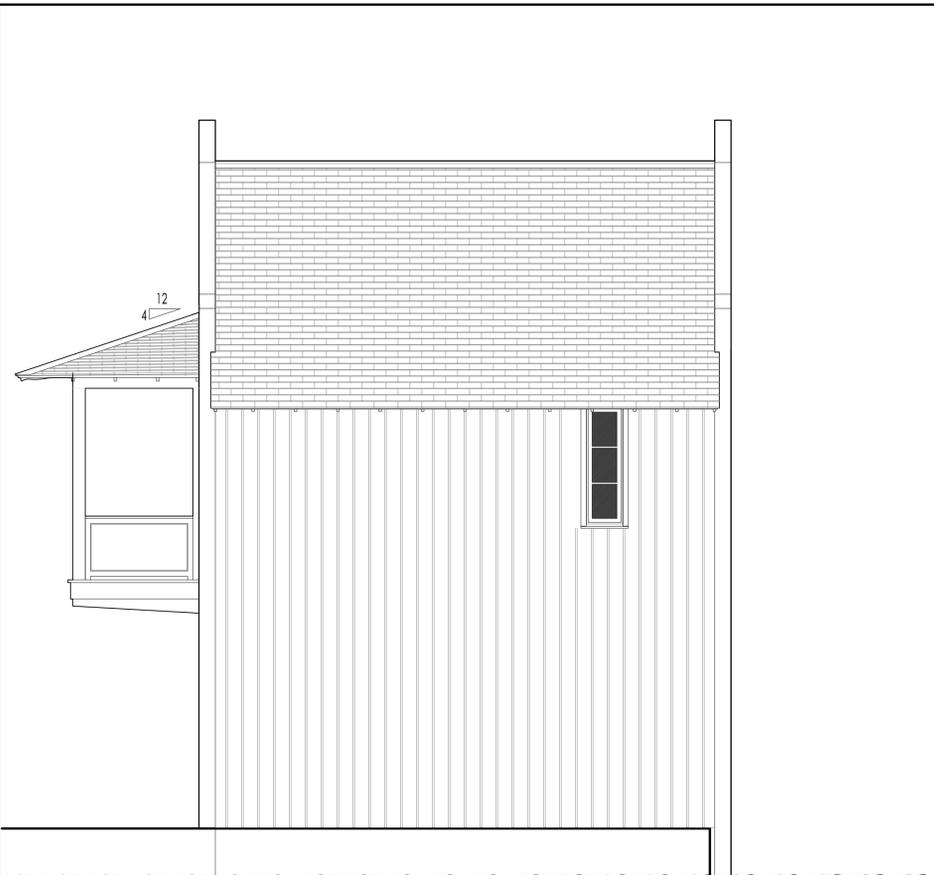
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12/24/24

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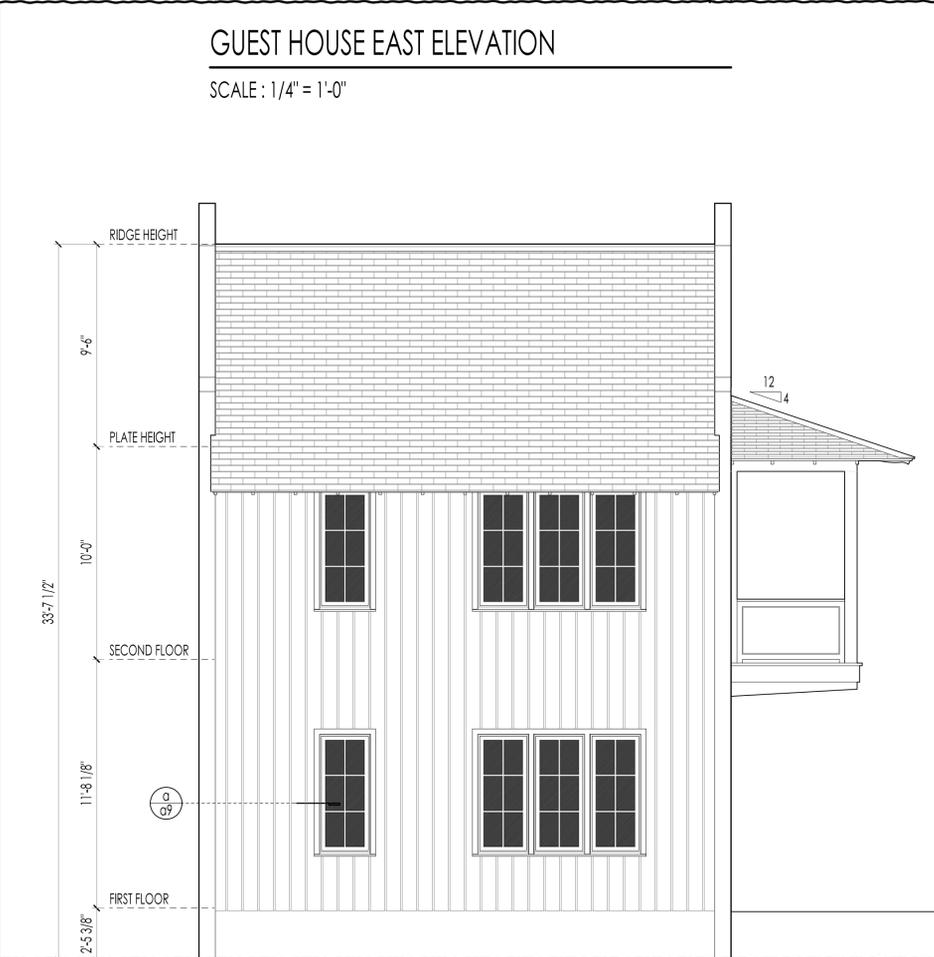
GUEST HOUSE EAST ELEVATION

SCALE: 1/4" = 1'-0"



STREET (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



GUEST HOUSE REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

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12/24/24

synthetic concrete shingles  
 hard trowel stucco over block  
 KDAT cantilevered oriel window  
 3/4" Xteria reverse board and batten (8" board - 1" gap)



SOUTH ELEVATION - BEDROOM WING

SCALE : 1/4" = 1'-0"



SOUTH ELEVATION - LIVING AREA WING

SCALE : 1/4" = 1'-0"

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COURTYARD (NORTH) ELEVATION - BEDROOM WING

SCALE : 1/4" = 1'-0"



COURTYARD (SOUTH) ELEVATION - LIVING AREA WING

SCALE : 1/4" = 1'-0"

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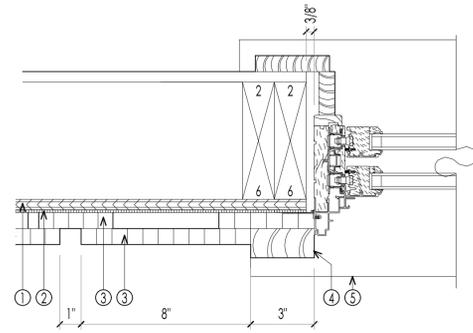
a8

CARROT TOP  
lot 136 - Camp Creek

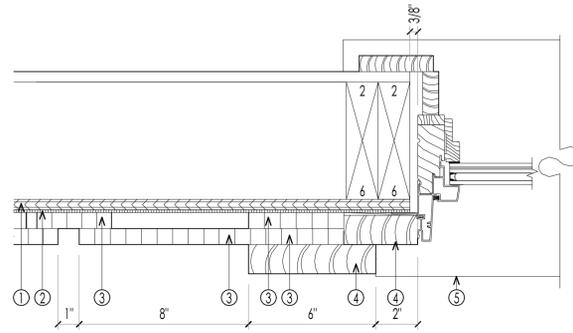
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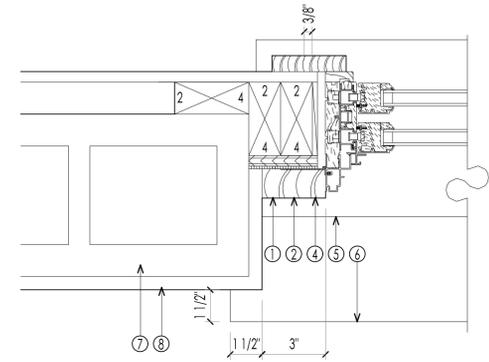
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**a**  
**a9** TYPICAL CLAD WINDOW DETAIL  
SCALE : 3" = 1'-0"



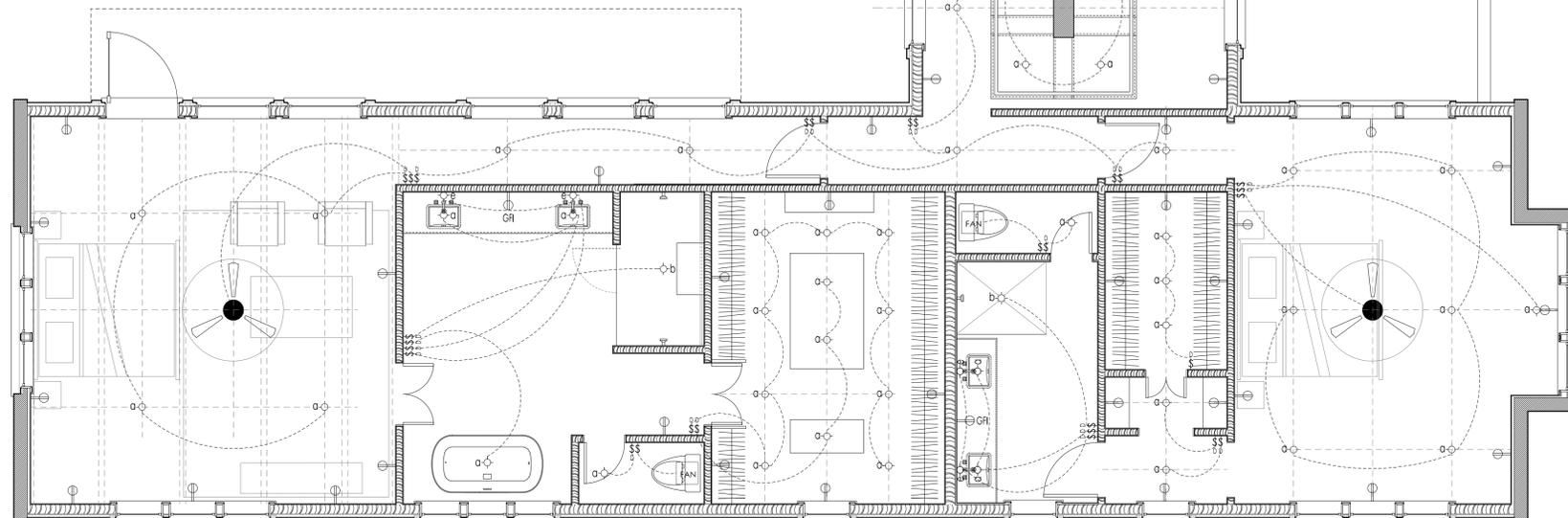
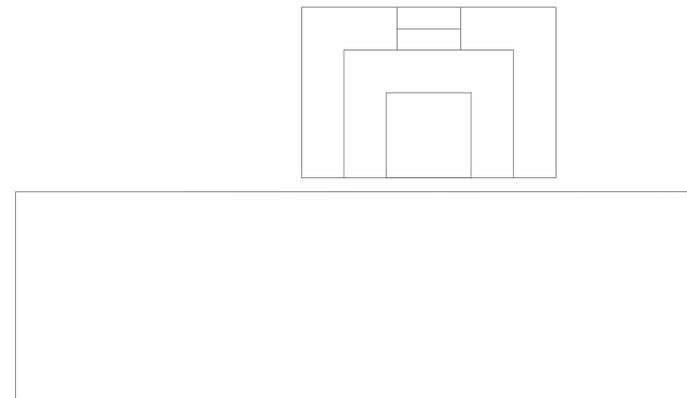
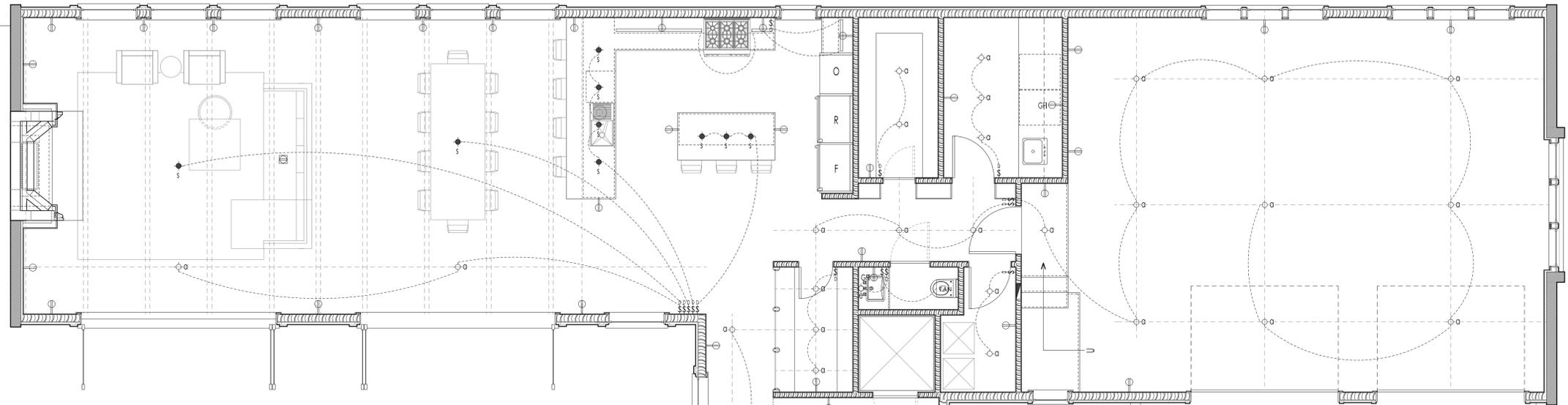
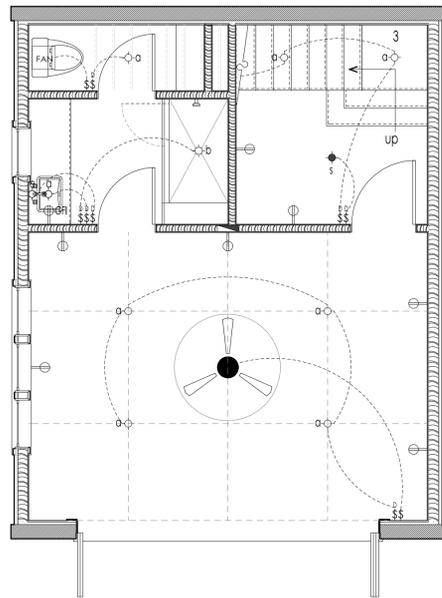
**b**  
**a9** LARGE FIXED WINDOW DETAIL  
SCALE : 3" = 1'-0"



**c**  
**a9** MASONRY OPENING CLAD WINDOW DETAIL  
SCALE : 3" = 1'-0"

NOTES

- |  |                        |
|--|------------------------|
| ① 1/2" plywood   | ⑥ poured concrete sill |
| ② elastomeric membrane (R-Guard CAT 5)                                 | ⑦ 8" cmu walls         |
| ③ 3/4" Exteria reverse board and batten - 8" boards, 1" gap            | ⑧ stucco               |
| ④ 1 3/8" KDAT window trim - pad or notch trim to accommodate nail fin. | ⑨ -                    |
| ⑤ outside edge of window sill  | ⑩ -                    |



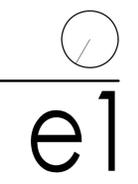
**ELECTRICAL KEY**

- CEILING FAN W/O LIGHT - HUNTER ORIGINAL 4 BLADE
- DUPLEX OUTLET
- GFI
- AFCI
- WP
- USB
- FLOOR OUTLET
- SURFACE MOUNTED LIGHT FIXTURE (SEE SCHEDULE)
- RECESSED CAN LIGHT FIXTURE (SEE SCHEDULE)
- WALL MOUNTED LIGHT FIXTURE (SEE SCHEDULE)
- UNDER COUNTER LIGHTING - match existing or WAC Lighting InvisibleLED 24 V tape light LED-124-27L - ( ) - WT
- PANEL
- SINGLE CAT 7
- DOUBLE CAT 7
- (1) CAT 7 - (1) RG6
- (1) CAT 7 - (1) RG6 + (1) outlet + HDMI chase
- (1) clock outlet + HDMI chase at 60" AFF (unless dimensioned otherwise)
- (2) CAT 7 - (2) RG6
- EXHAUST FAN - PANASONIC FV-0511VF1
- SMOKE DETECTOR - CEILING MOUNTED [DIRECT POWER SOURCE - ARC-FAULT]
- SMOKE DETECTOR - WALL MOUNTED @ CODE HEIGHT [DIRECT POWER SOURCE - ARC-FAULT]
- SWITCH - 48" AFF [TOP OF BOX]
- DIMMER SWITCH - 48" AFF [TOP OF BOX]

NOTES  
 \*PROVIDE OUTLET/POWER FOR ALL APPLIANCES.  
 \*PROVIDE OUTLET/POWER FOR ALL MECHANICAL EQUIPMENT.  
 \*ALL LIGHTS TO BE ON DIMMERS - (SEE KEY ABOVE) SELECTED ACCORDING TO LOAD, FIXTURE AND LAMP TYPE  
 \*ELECTRICAL CONTRACTOR TO FURNISH ALL LAMPING.  
 \*ALL SWITCHES AND OUTLETS TO BE INSTALLED PLUMB AND LEVEL.  
 \*SEE ARCHITECT FOR GFI LOCATIONS ABOVE COUNTERTOPS  
 \*ALL SWITCHES & OUTLETS TO BE THE SAME TYPE (MANUF.) & THE SAME COLOR  
 \*WIRE FOR MOST CURRENT INTERNET ACCESS @ TIME OF CONSTRUCTION - UPGRADE EXISTING  
 \*OUTLETS LOCATED HORIZONTALLY IN BASE BOARDS.

**FIRST FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"



**CARROTTOP**  
 lot 136 - Camp Creek

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SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

