



WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB SITE MUST CHECK ALL DIMENSIONS AND OTHER DETAILS FOR ACCURACY BEFORE AND DURING CONSTRUCTION, AND BE RESPONSIBLE FOR THE SAME.

A NEW PLAN FOR:
CARROTTOP BEACH DEVELOPMENT
SECLUSION BAY LOT 48, SANTA ROSA BEACH
LEFT SIDE ELEVATION
WALTON COUNTY, FLORIDA

SCALE:
SCALE: 1/4" = 1'-0"

DRAWN:
BJP

CHECKED:
JDB

PROJECT NO.:
24480.02

CAD FILE:
24480.02.PLAN

DATE	REVISION
2024/06/26	EOF1E0

DATE:
8/6/2024

DRAFT

SHEET NUMBER

A-1.2



A-1.2 LEFT SIDE ELEVATION



WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB SITE MUST CHECK ALL DIMENSIONS AND OTHER DETAILS FOR ACCURACY BEFORE AND DURING CONSTRUCTION, AND BE RESPONSIBLE FOR THE SAME.

A NEW PLAN FOR:
CARROTTOP BEACH DEVELOPMENT
SECLUSION BAY LOT 48, SANTA ROSA BEACH
RIGHT SIDE ELEVATION
MALTON COUNTY, FLORIDA

SCALE:
SCALE: 1/4" = 1'-0"

DRAWN:
BJP

CHECKED:
JDB

PROJECT NO.:
24480.02

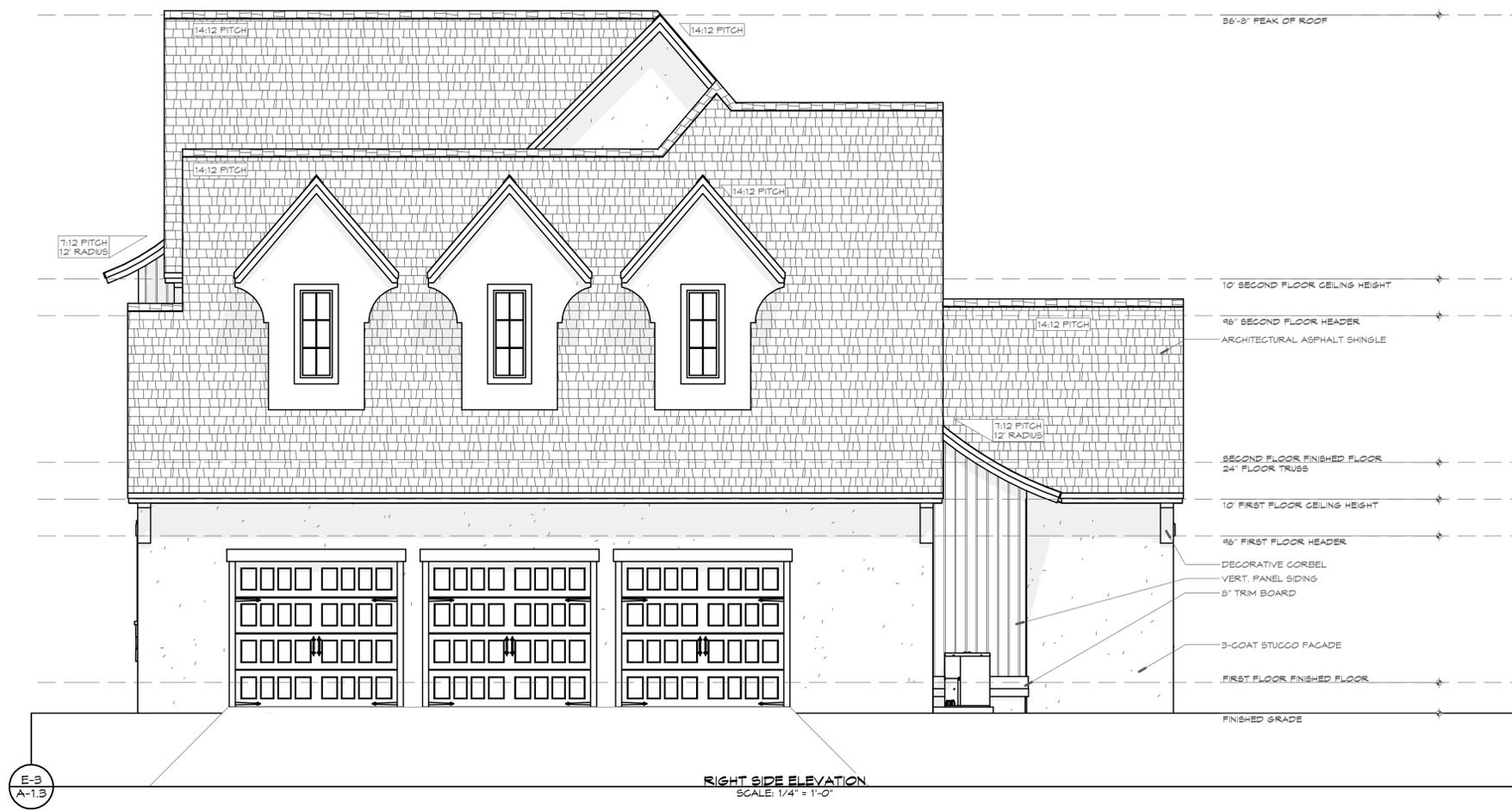
CAD FILE:
24480.02.PLAN

DATE	REVISION
2024/08/26	EOF1E0

DATE:
8/6/2024

DRAFT

SHEET NUMBER
A-1.3



A-1.3 RIGHT SIDE ELEVATION



WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB SITE MUST CHECK ALL DIMENSIONS AND OTHER DETAILS FOR ACCURACY BEFORE AND DURING CONSTRUCTION, AND BE RESPONSIBLE FOR THE SAME.

A NEW PLAN FOR:
CARROTTOP BEACH DEVELOPMENT
SECTION BAY LOT 48, SANTA ROSA BEACH
REAR ELEVATION
NALTON COUNTY, FLORIDA

SCALE:

SCALE: 1/4" = 1'-0"

DRAWN:
BJP

CHECKED:
JDB

PROJECT NO.:
24480.02

CAD FILE:
24480.02.PLAN

DATE	REVISION
2024/06/26	EOF1E0

DATE:

8/6/2024

DRAFT

SHEET NUMBER

A-1.4



REAR ELEVATION
SCALE: 1/4" = 1'-0"

E-4
A-1.4

A-1.4 REAR ELEVATION



BAYSIDE ENGINEERING & CONSULTING, LLC
15 GRANDVIEW DRIVE, SHALMAR, FL 32571
PHONE: (850) 832-7515
EMAIL: JOE@BAYSIDE-ENG.COM
ENGINEERING FIRM REGISTRY NO. 24481
17 5445 P.E. LICENSE NO. 15462

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB SITE MUST CHECK ALL DIMENSIONS AND OTHER DETAILS FOR ACCURACY BEFORE AND DURING CONSTRUCTION, AND BE RESPONSIBLE FOR THE SAME.

A NEW PLAN FOR:
CARROT TOP BEACH DEVELOPMENT
SECLUSION BAY LOT 48, SANTA ROSA BEACH
FLOOR PLAN - FIRST FLOOR
MALTON COUNTY, FLORIDA

SCALE:
SCALE: 1/4" = 1'-0"

DRAWN:
BJP

CHECKED:
JDB

PROJECT NO:
24480.02

CAD FILE:
24480.02.PLAN

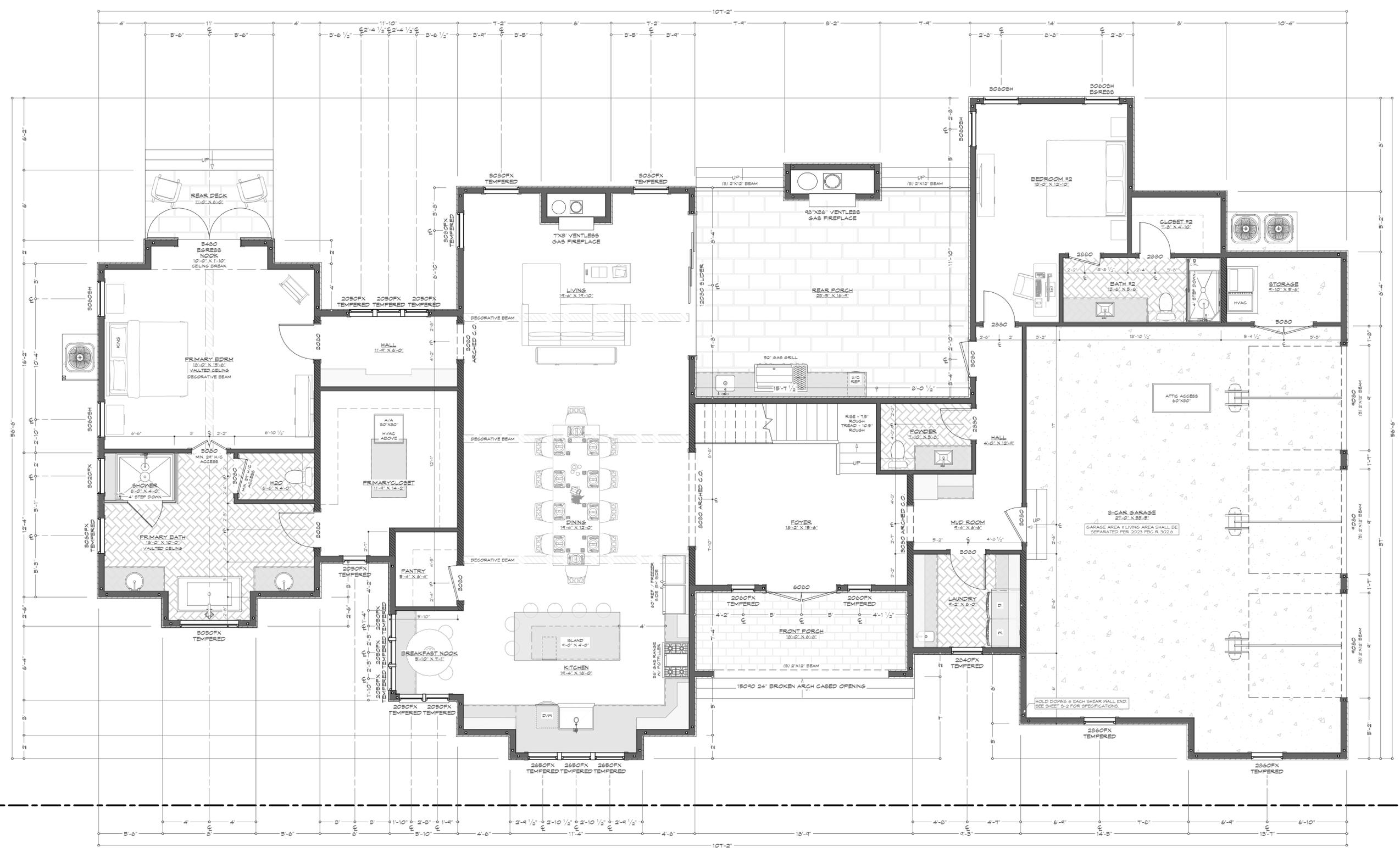
DATE	REVISION
2024/06/26	EOF1E0

DATE:
8/6/2024

DRAFT

SHEET NUMBER

A-2.1



A-2.1 FLOOR PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES:**
1. CEILING HEIGHT SHALL BE 10' U.N.O.
 2. 2" X 6" WOOD FRAMING FOR EXTERIOR WALLS, U.N.O.
 3. ALL DIMENSIONS ARE TO CENTER OF ROUGH OPENINGS.
 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
 5. ALTERNATIVE CONNECTORS MAY BE SUBSTITUTED FOR SIMPSON STRONGTIE IF THEIR LOAD CAPACITIES MEET OR EXCEED THOSE SPECIFIED. ALL CONNECTORS SHALL BE INSTALLED PURSUANT TO MANUFACTURER REQUIREMENTS FOR MAXIMUM CAPACITY.
 6. CONTRACTOR SHALL INSTALL CONTINUOUS MID-HEIGHT BLOCKING BETWEEN ALL LOWER-LEVEL STUDS WHICH SUPPORT THE LEVEL ABOVE.
 7. ALL INTERIOR GLASS PANELS USED IN NET APPLICATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES & SAFETY STANDARDS & SHALL CONFORM TO THE ASTM C1048 (STANDARD SPECIFICATION FOR HEAT STRENGTHENED & FULLY TEMPERED FLAT GLASS).

AREA CALCULATIONS

FIRST FLOOR LIVING SPACE	2,800 S.F.
SECOND FLOOR LIVING SPACE	1,182 S.F.
TOTAL LIVING SPACE	3,982 S.F.
FRONT PORCH	134 S.F.
GARAGE & STORAGE	1,044 S.F.
REAR PORCH	442 S.F.
TOTAL COVERED	5,602 S.F.

WALL SCHEDULE

EXTERIOR 2"X6" WALL	[Symbol]
INTERNAL 2"X6" WALL	[Symbol]
INTERNAL 2"X4" WALL	[Symbol]
RAILING	[Symbol]

A-2.1 FLOOR PLAN - FIRST FLOOR



This item has been digitally signed and sealed by J.D. BASS on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

BAYSIDE ENGINEERING & CONSULTING, LLC
15 GRANDVIEW DRIVE, SHALMAR, FL 32874
PHONE: (850) 832-7515
EMAIL: JCEBASS@BAYSIDE-ENG.COM
ENGINEERING FIRM REGISTRY NO. 24801
17/24/2015 P.E. LICENSE NO. 15462

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB SITE MUST CHECK ALL DIMENSIONS AND OTHER DETAILS FOR ACCURACY BEFORE AND DURING CONSTRUCTION, AND BE RESPONSIBLE FOR THE SAME.

A BONUS SPACE BUILD-OUT PLAN FOR:
CARROT TOP BEACH DEVELOPMENT
SECLUSION BAY LOT 48, SANTA ROSA BEACH
PROPOSED FLOOR PLAN - SECOND STORY
MILTON COUNTY, FLORIDA

SCALE:
SCALE: 1/4" = 1'-0"

DRAWN:
BJP, MDC

CHECKED:
JDB

PROJECT NO:
24480.02

CAD FILE:
24480.02.PLAN

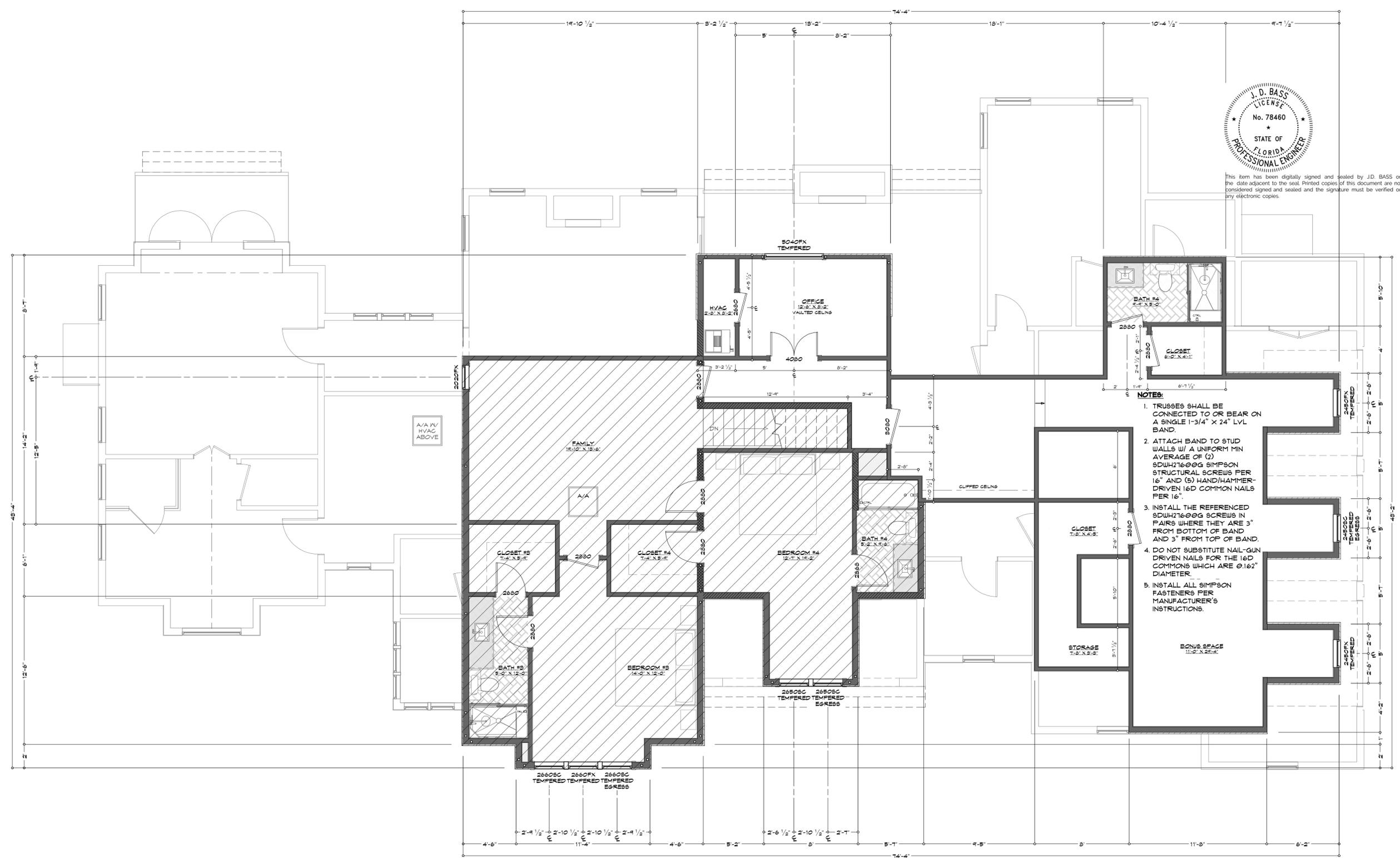
DATE	REVISION
2024/06/26	EOF1E0
2025/03/25	BONUS SPACE

DATE:
3/26/2025

FINAL

SHEET NUMBER

A-2.3



NOTES:

- TRUSSES SHALL BE CONNECTED TO OR BEAR ON A SINGLE 1-3/4" X 24" LVL BAND.
- ATTACH BAND TO STUD WALLS W/ A UNIFORM MIN AVERAGE OF (2) SDWH271600G SIMPSON STRUCTURAL SCREWS PER 16" AND (5) HAND/HAMMER-DRIVEN 16D COMMON NAILS PER 16".
- INSTALL THE REFERENCED SDWH271600G SCREWS IN PAIRS WHERE THEY ARE 3" FROM BOTTOM OF BAND AND 3" FROM TOP OF BAND.
- DO NOT SUBSTITUTE NAIL-GUN DRIVEN NAILS FOR THE 16D COMMONS WHICH ARE 0.162" DIAMETER.
- INSTALL ALL SIMPSON FASTENERS PER MANUFACTURER'S INSTRUCTIONS.

NOTES:

- THIS PLAN WAS PREVIOUSLY ENGINEERED AND PERMITTED, AND CONSTRUCTION BEGAN.
- THE OWNERS HAD A NEED TO ADD A BONUS ROOM OVER THE GARAGE.
- THIS REVISION IS TO ADD A BONUS ROOM OVER THE GARAGE.
- ALL REQUIREMENTS IN THE ORIGINALLY PERMITTED PLANS REMAIN IN FORCE.
- TRUSS DESIGN DOCUMENTS PROVIDED TO THE EOR INDICATE LOADS FOR THE BONUS ROOM OVER THE GARAGE TO BE 1,235 LBS REACTION PER TRUSS FOR AN OVERALL LOAD OF 881 PLF.

WALL SCHEDULE

[Symbol]	EXTERIOR 2"x6" WALL
[Symbol]	INTERIOR 2"x6" SHEAR WALL
[Symbol]	INTERNAL 2"x6" WALL
[Symbol]	INTERNAL 2"x4" WALL
[Symbol]	RAILING

EXISTING AREA CALCULATIONS

2,804 S.F.	FIRST FLOOR LIVING SPACE
1,182 S.F.	SECOND FLOOR LIVING SPACE
3,986 S.F.	TOTAL LIVING SPACE
134 S.F.	FRONT PORCH
1,044 S.F.	GARAGE & STORAGE
442 S.F.	REAR PORCH
78 S.F.	REAR DECK
5,684 S.F.	TOTAL COVERED

BUILD-OUT AREA CALCULATIONS

886 S.F.	TOTAL COVERED
-----------------	----------------------

TOTAL AREA CALCULATIONS

5,684 S.F.	EXISTING AREA
886 S.F.	ADDITION AREA
6,570 S.F.	TOTAL COVERED

FLOOR PLAN NOTES:

- 2"x6" WOOD FRAMING FOR EXTERIOR WALLS, U.N.O.
- ALL DIMENSIONS ARE TO FRAMING. DIMENSIONS OF OPENINGS ARE TO CENTER OF ROUGH OPENING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
- ALTERNATIVE CONNECTORS MAY BE SUBSTITUTED FOR SIMPSON STRONGTIE IF THEIR LOAD CAPACITIES MEET OR EXCEED THOSE SPECIFIED. ALL CONNECTORS SHALL BE INSTALLED PURSUANT TO MANUFACTURER REQUIREMENTS FOR MAXIMUM CAPACITY.
- ALL INTERIOR GLASS PANELS USED IN NET APPLICATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES & SAFETY STANDARDS & SHALL CONFORM TO THE ASTM C1048 (STANDARD SPECIFICATION FOR HEAT STRENGTHENED & FULLY TEMPERED FLAT GLASS).

A-2.3 PROPOSED FLOOR PLAN - SECOND STORY

A-2.3

PROPOSED FLOOR PLAN - SECOND STORY
SCALE: 1/4" = 1'-0"



WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB SITE MUST CHECK ALL DIMENSIONS AND OTHER DETAILS FOR ACCURACY BEFORE AND DURING CONSTRUCTION, AND BE RESPONSIBLE FOR THE SAME.

A BONUS SPACE BUILD-OUT PLAN FOR:
CARROT TOP BEACH DEVELOPMENT
SECLUSION BAY LOT 48, SANTA ROSA BEACH
ELECTRICAL PLAN - SECOND STORY
NALTON COUNTY, FLORIDA

SCALE:
SCALE: 1/4" = 1'-0"

DRAWN:
BJP, MDC

CHECKED:
JDB

PROJECT NO.:
24480.02

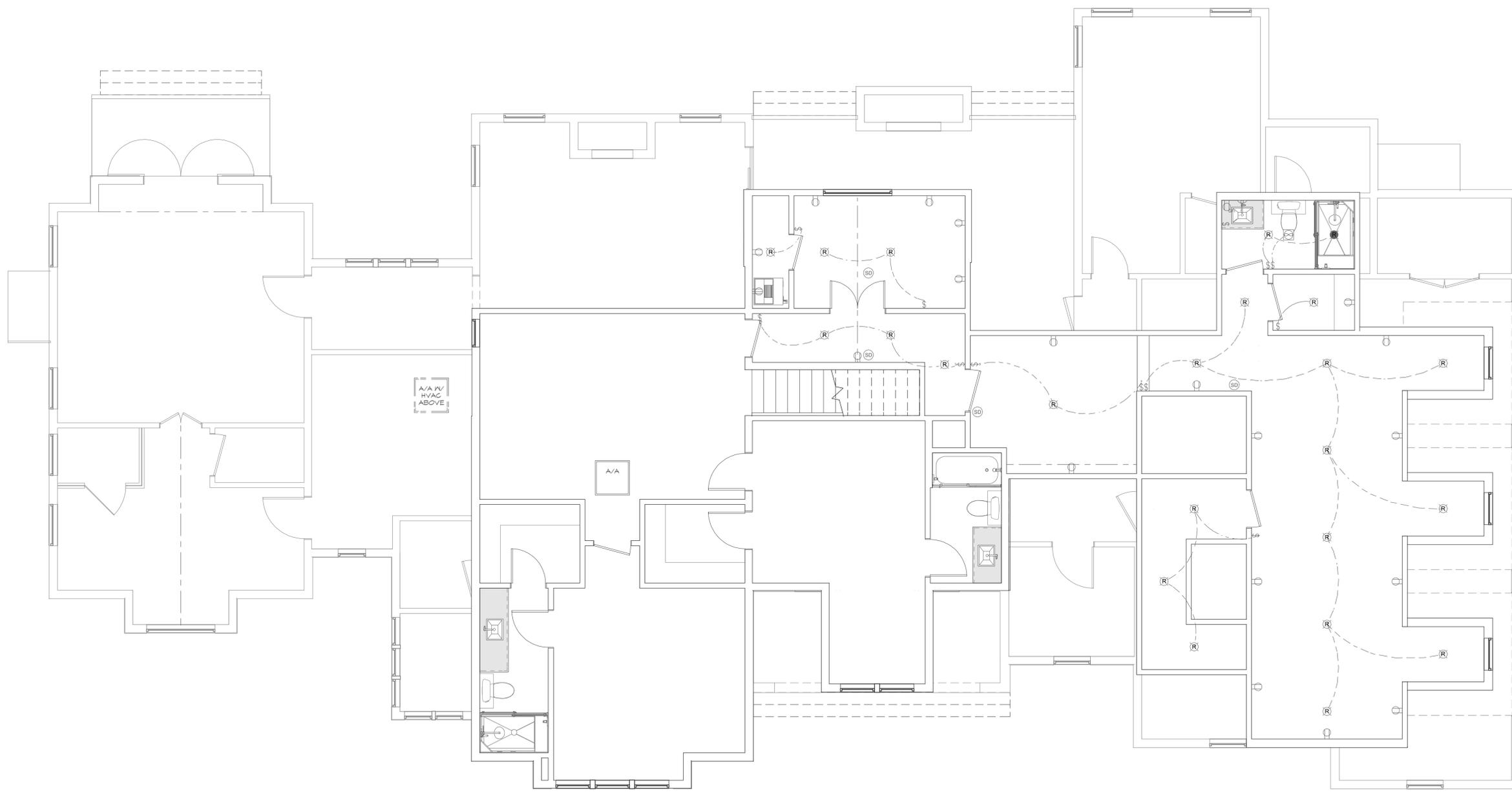
CAD FILE:
24480.02.PLAN

DATE	REVISION
2024/06/26	EOF1E0
2025/03/25	BONUS SPACE

DATE:
3/26/2025

FINAL

SHEET NUMBER
E-1.3



E-1.3 ELECTRICAL PLAN - SECOND STORY
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
LIGHTING	
(P) (R) (N)	PENDANT / RECESSED / NET RATED / FLUSH MOUNT
(S)	DUAL SPOTLIGHT / SCONE / WALL LAMP
(U)	UNDER CABINET LED FUCH / LED STRIP / CEILING LED
(C)	CHANDELIER / FAN W/ LIGHT
SWITCHES / OUTLETS	
(S)	SWITCH / 3-WAY / 4-WAY
(GFI) (WP) (DW) (GD)	OUTLETS - 120V WALL & CEILING GFCI / WATER PROOF / 220V
(R) (DW) (GD)	APPLIANCE SPEC.: REFRIGERATOR / DISH WASHER / GARBAGE DISPOSAL
OTHER MEP	
(SD)	SMOKE / CARBON MONOXIDE DETECTOR COMBINATION
(V)	CEILING MOUNTED VENTILATION FAN / VENTILATION FAN W/ LIGHT

ELECTRICAL PLAN NOTES:
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, VACUUM, ETC.
ELECTRICAL NOTES:
1. PROVIDE MIN. 200 AMP SERVICE TO MAIN PANEL.
2. ALL APPLIANCES & UTILITIES TO HAVE DESIGNATED CIRCUITS. SEE MEP'S SPECS. FOR REQUIREMENTS.
3. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
4. ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED.
5. PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR/ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
6. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
7. FINAL SWITCHES FOR THINGS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
8. SWITCHES TO BE SPECIFIED BY HOME OWNER.
9. ALL SWITCHES TO BE 48" O.C. ABF. OUTLETS TO BE 15" O.C. ABF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM (ABF = ABOVE SUBFLOOR).
10. EXTERIOR OUTLETS SHALL BE WATER PROOFED & GFCI.
AUDIO:
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN. RUN CIRCUIT OF SPEAKER PAIRING TO AUDIO HOME PANEL. SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
3. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA / CABLE PANELS SIMILAR TO ION G. SYSTEM TO BE APPROVED BY HOME OWNER.
DATA / CABLE:
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY HOME OWNER.

E-1.3 ELECTRICAL PLAN - SECOND STORY