

2024 NOTES FOR RESIDENTIAL PLANS REVIEW

1. AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. R311.2.
2. ONE BATHROOM ON THE GRADE LEVEL FLOOR MUST BE PROVIDED WITH A 29" CLEAR OPENING. HOWEVER, IF ONLY A TOILET ROOM IS PROVIDED, IT SHALL MEET THIS REQUIREMENT. R320.1
3. EACH BEDROOM MUST BE PROVIDED A SECONDARY MEANS OF EGRESS WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A WIDTH OF 20". THE MINIMUM OPENING AREA SHALL BE 5.0SF. AT THE GROUND FLOOR AND 5.7 SF. AT ALL OTHER LEVELS. R310.1
4. GARAGES ATTACHED TO LIVING SPACE MUST BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY AT LEAST ½" GYPSUM BOARD OR EQUIVALENT ON THE GARAGE SIDE. IF A HABITABLE ROOM IS LOCATED ABOVE THE GARAGE, 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT IS REQUIRED ON THE CEILING WITH ½" GYPSUM BOARD OR EQUIVALENT ON THE WALLS R302.5 AND TABLE R302.6
5. GUARDRAILS ARE TO BE 36" HIGH WITH GUARDS DESIGNED TO RESIST THE PASSAGE OF A 4" SPHERE WHEN THE WALKING SURFACE IS 30" OR MORE ABOVE GRADE. R312
6. WINDER STEPS MUST BE 6" HIGH WITH GUARDS DESIGNED TO RESIST THE PASSAGE OF A 4" SPHERE WHEN THE WALKING SURFACE IS 30" OR MORE ABOVE GRADE. R312
7. HANDRAILS ARE REQUIRED FOR STAIRS WITH 4 OR MORE RISERS, SHALL BE CONTINUOUS ON AT LEAST ONE SIDE, SHALL BE 34" TO 38" ABOVE THE TREAD NOSING, AND SHALL NOT DEAD END. R311.7.7
8. GLASS IN TUB AREAS, STAIRWAYS, AND POOL AREAS WITHIN 60" FROM FINISHED FLOOR REQUIRE SAFETY GLAZING. SAFETY GLAZING IS REQUIRED FOR WINDOWS WITHIN 24" OF A DOOR. EXCEPTION: GLAZING LOCATED ABOVE STAIRS WITH A SOLID WALL OR GUARD AT LEAST 34" ABOVE THE TREAD NOSING. R308.4
9. OPERABLE WINDOWS THAT ARE MORE THAN 72" ABOVE THE OUTSIDE GRADE SHALL NOT HAVE OPENINGS WITHIN 24" OF THE FINISHED FLOOR. OPENINGS LOWER THAN 24" SHALL HAVE A GUARD IN PLACE THAT IS DESIGNED TO RESIST PASSAGE OF A 4" SPHERE. R612.2
10. SMOKE ALARMS MUST BE ADJACENT TO AND INSIDE BEDROOMS, AND BE INTERCONNECTED WITH AT LEAST ONE ON EACH FLOOR. CARBON MONOXIDE DETECTORS ARE REQUIRED WITHIN 10 FEET OF EACH SLEEPING ROOM IN DWELLINGS WITH ATTACHED GARAGES, FUEL BURNING APPLIANCES, FIREPLACES, OR OTHER FEATURE, FIXTURE, OR ELEMENT THAT EMITS CARBON MONOXIDE. R314 AND R315
11. GFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES SERVING COUNTERTOPS, WHIRLPOOL MOTORS, DAMP AND WET LOCATIONS, AND GARAGES. NEC 210.8. ALL 120V CIRCUITS, EXCEPT THOSE REQUIRED TO BE GFCI PROTECTED, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. NEC210.12 ALL 15A & 20A 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT. NEC406.11
12. ALL DOORS AND WINDOWS GIVING ACCESS TO POOL AREA MUST HAVE AN ALARM THAT IS AUDIBLE THROUGHOUT THE HOUSE. R4101.17.1.9
13. WELDED WIRE MESH SHALL BE SUPPORTED EVERY 3' WHERE USED IN CONCRETE SLABS. R506.2.5
14. MECHANICAL EXHAUST VENTS, SUCH AS BATHROOM EXHAUST, MUST DISCHARGE DIRECTLY TO THE OUTDOORS WITH AN APPROVED COVER. M1501.1
15. SUBMITTALS FROM SUPPLIER/MANUFACTURER VERIFYING CODE COMPLIANCE FOR DOORS & WINDOWS (INCLUDE INSTALLATION INSTRUCTIONS), AND ENGINEERED TRUSS DRAWINGS MUST BE AVAILABLE AT THE FRAMING INSPECTION.
16. FOLLOW 2024 FLORIDA BUILDING, RESIDENTIAL, AND THE 2024 NATIONAL ELECTRICAL CODE.

# New Residence WaterColor Long Leaf Park Lot 17 Walton County, Florida

## Revision 2 February 4, 2026

**NOTE**

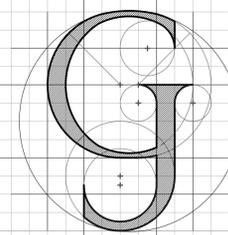
CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF DRAWINGS & SPECIFICATIONS TO EACH SUBCONTRACTOR & FOR INSURING THAT THE WORK OF EACH SUBCONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUBCONTRACTORS.

**INDEX TO DRAWINGS**

A 01	COVER SHEET
A 101	SITE PLAN
A 201	FIRST FLOOR PLAN
A 202	SECOND FLOOR PLAN
A 203	THIRD FLOOR PLAN
A 204	TOWER FLOOR PLAN / ROOF PLAN
A 301	SCHEDULES & PROFILE DIMENSIONS
A 401	ELEVATIONS
A 402	ELEVATIONS
A 403	ELEVATIONS
A 501	BUILDING SECTIONS
A 502	BUILDING SECTIONS
A 601	WALL SECTIONS
A 602	WALL SECTIONS
A 603	WALL SECTIONS
E 101	FIRST FLOOR ELECTRICAL PLAN
E 102	SECOND FLOOR ELECTRICAL PLAN
E 103	THIRD FLOOR ELECTRICAL PLAN
S 100	STRUCTURAL NOTES
S 101	FOUNDATION PLAN
S 102	FIRST FLOOR FRAMING PLAN
S 103	SECOND FLOOR FRAMING PLAN
S 104	THIRD FLOOR / ROOF FRAMING PLAN
S 105	ROOF FRAMING PLAN
S 200	STRUCTURAL DETAILS
S 201	STRUCTURAL DETAILS
S 202	STRUCTURAL DETAILS
S 203	STRUCTURAL DETAILS
S 204	STRUCTURAL DETAILS
S 205	STRUCTURAL DETAILS
S 206	STRUCTURAL DETAILS
S 207	STRUCTURAL DETAILS
L 1	LANDSCAPE PLAN

REVISION	DATE	SHEETS
1	5/28/25	
DESCRIPTION:		
MOVED BIKE RACK, MOVED OUTDOOR SHOWER (A-101)		
MOVED WINDOWS AT BED 1 (A-201 & A-402)		
MOVED WINDOWS AT BED 2 (A-202 & A-401 & A-402)		
MOVED WINDOWS AT BED 3 (A-202 & A-401 & A-403)		
RAISED PLATE HEIGHT AND WINDOWS BY 12' @ CH BUMPOUT (A-401 & A-403)		
RAISED BEAM HEIGHT BY 12' @ CH BALCONY (A-402 & A-403)		

2                      02/04/26



**GREGORY D JAZAYERI**  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach Fl 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

**NEW RESIDENCE  
WATERCOLOR  
LONG LEAF PARK  
LOT 17**

WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: **GDJ**  
**GREGORY D JAZAYERI, LLC**

**REVISION 2**

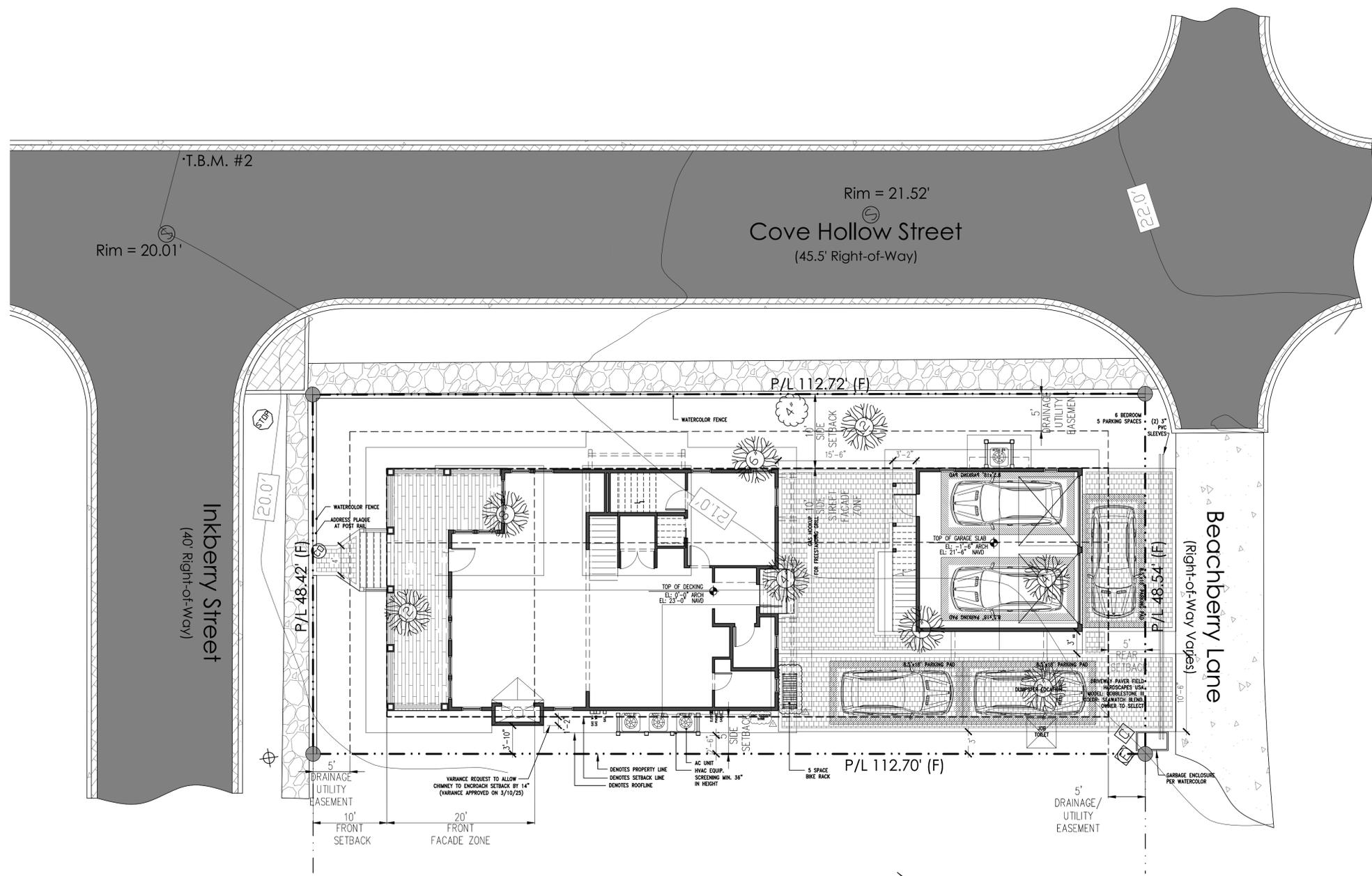
**COVER**

PROJECT NO.    240617

SHEET TITLE

# A-01

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



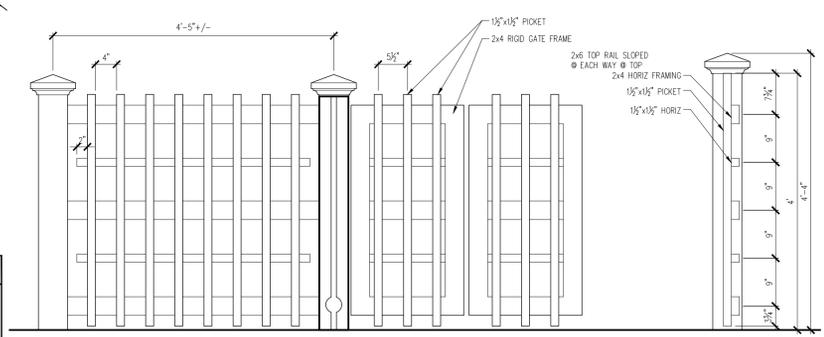
1 SITE PLAN BASED ON VOELKER SURVEYING DATE 09/16/2023  
 SCALE: 1/8" = 1' WHEN PLOTTED AT 24x36

AREA CALCULATIONS	
<b>MAIN HOUSE- CONDITIONED AREA</b>	
FIRST FLOOR INT. AREA	*1,394 SF
SECOND FLOOR INT. AREA	1,393 SF
THIRD FLOOR INT. AREA	1,260 SF
CARRIAGE HOUSE	537 SF
TOTAL CONDITIONED AREA	4,584 SF
<b>MAIN HOUSE- UNCONDITIONED AREA UNDER ROOF</b>	
FIRST FLOOR PORCHES	*354 SF
SECOND FLOOR PORCHES	332 SF
THIRD FLOOR PORCHES	0 SF
TOWER FLOOR PORCHES	0 SF
GARAGE	*495 SF
CARRIAGE HOUSE SECOND FLOOR PORCHES	30 SF
TOTAL PORCHES/GARAGE	1,181 SF
EXTERIOR STAIR	*63 SF
TOTAL UNCONDITIONED AREA UNDER ROOF	1,181 SF
<b>TOTAL POOL AND POOL DECK</b>	
AT GRADE POOL & DECK	xxx SF
RAISED POOL & DECK	*0 SF

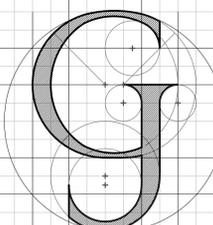
LOT COVERAGE CALCULATIONS	
TOTAL LOT AREA	5,464 SF
TOTAL AREA WITHIN SETBACKS	3,272 SF
MAXIMUM LOT COVERAGE: 70% OF SETBACK AREA	
DEVELOPED AREA	2,306 SF
(*) INDICATES DEVELOPED AREA	
TOTAL LOT COVERAGE PERCENTAGE	
DEVELOPED AREA / SETBACK AREA	2,306 / 3,272 70%

LEGAL DESCRIPTION	
FLOOD ZONE	X
PARCEL IDENTIFICATION NO.	15-3S-19-25425-000-0170
FUTURE LAND USE	RESIDENTIAL
BUILDING HEIGHT/STORIES	42'-3" / 3-STORIES
NUMBER OF BEDROOMS	6 BEDROOMS
FINISHED FLOOR ELEVATION	23.00' NAVD
BUILDING FOUNDATION TYPE	CONC. FOOTER W/ CMU PIERS
NEIGHBORHOOD PLAN	WATERCOLOR
WHITE SAND PROTECTION ZONE	N/A
WILDLIFE CONSERVATION ZONE	N/A
PRESERVATION CALCULATIONS	N/A
STORMWATER RETENTION CALCULATION	N/A

- SITE PLAN NOTES**
1. VERIFY LOCATION OF UTILITIES
  2. CONFIRM ELEVATIONS OF EXISTING GRADES
  3. VERIFY LOCATION OF ELECTRIC METER AND ALL OTHER UTILITY CONNECTIONS. ALL UTILITIES TO HAVE MAIN SHUT OFF OR DISCONNECTS.
  4. VERIFY EXACT BUILDING PLACEMENT & ORIENTATION.
  5. IF STRUCTURE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA, AN ELEVATION CERTIFICATE MUST BE SUBMITTED TO THE DEVELOPMENT SERVICES DIVISION BEFORE REQUESTING THE FRAMING INSPECTION.



2 SCREENING DETAILS  
 SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36



**GREGORY D JAZAYERI**  
 design  
 SANTA ROSA BEACH

110 Logan Lane, Suite 1  
 Santa Rosa Beach FL 32459  
 Phone 850.217.3286  
 Email gregjazayeri@gmail.com

---

**NEW RESIDENCE**  
**WATERCOLOR**  
 LONG LEAF PARK  
 LOT 17  
 WALTON COUNTY, FL

---

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
 GREGORY D JAZAYERI, LLC

REVISION 2

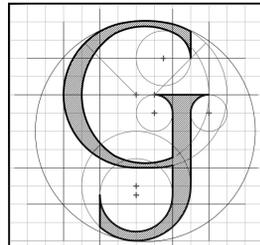
SITE PLAN

PROJECT NO. 240617

SHEET TITLE

# A-101

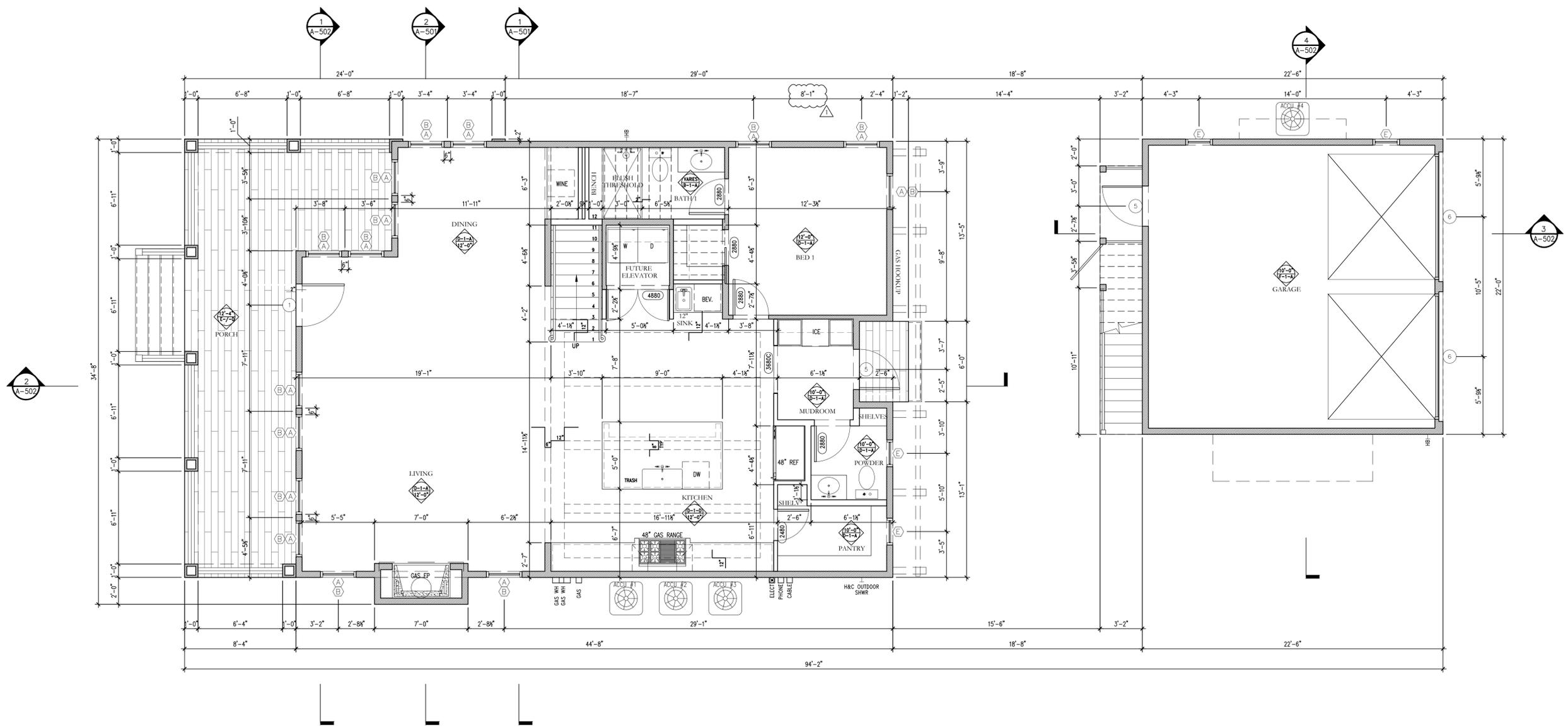
ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



**GREGORY D JAZAYERI**  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
**LONG LEAF PARK**  
**LOT 17**  
WALTON COUNTY, FL



**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36

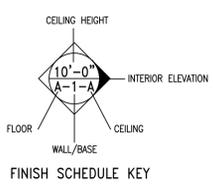
**FINISH SCHEDULE**

FLOOR	WALL / BASE	CEILING
A- CARPET	1- PAINTED GYP. BD.	A- PAINTED GYP. BOARD
B- CERAMIC TILE	WOOD BASE	B- EXPOSED WOOD RAFTERS
C- STONE	2- PAINTED T&G WOOD WALLS	C- 5/8" EXTERIOR SOFFIT BOARD
D- WOOD	WOOD BASE	D- 6" T&G PINE
E- 1" x 6" CUMARU DECKING	3- UNFINISHED	E- UNFINISHED
F- CONCRETE		
G- PAVERS		
H- PLYWOOD		

**GENERAL NOTES**

- REFER TO SHEET A-301 FOR WINDOW AND DOOR SCHEDULE.
- WINDOW HEADERS TO ALIGN WITH DOOR HEADERS (UNLESS NOTED OTHERWISE.)
- ALL SHOWER HEADS TO BE STUBBED OUT @ 90° A.F.F. (U.N.O.)
- FRAMER TO CONFIRM ALL DRAIN LOCATIONS.
- CEILING HEIGHTS ARE RELATIVE TO THE F.F.E.
- STANDARD DOOR OFFSET FROM CORNER IS 6" (U.N.O.)

**WALL LEGEND**



SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
GREGORY D JAZAYERI, LLC

REVISION 2

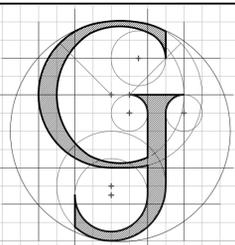
FLOOR PLAN

PROJECT NO. 240617

SHEET TITLE

**A-201**

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



GREGORY D JAZAYERI  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

NEW RESIDENCE  
WATERCOLOR  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY  
GDJ  
GREGORY D JAZAYERI, LLC

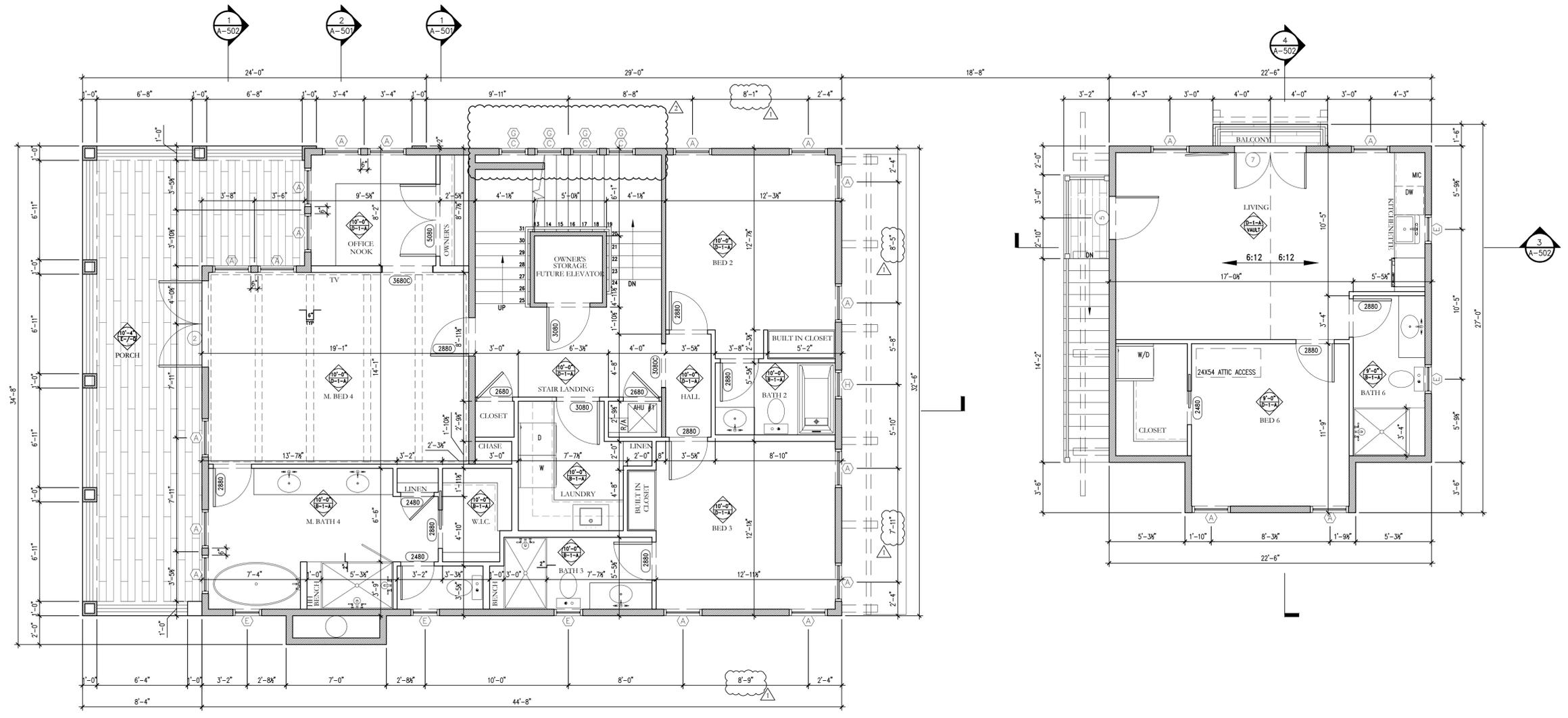
REVISION 2

FLOOR PLAN

PROJECT NO. 240617

SHEET TITLE

A-202



1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36

FINISH SCHEDULE

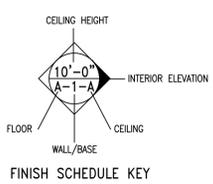
FLOOR	WALL / BASE	CEILING
A- CARPET	1- PAINTED GYP. BD.	A- PAINTED GYP. BOARD
B- CERAMIC TILE	WOOD BASE	B- EXPOSED WOOD RAFTERS
C- STONE	2- PAINTED T&G WOOD WALLS	C- 5/8" EXTERIOR SOFFIT BOARD
D- WOOD	WOOD BASE	D- 6" T&G PINE
E- 1"6" CUMARU DECKING	3- UNFINISHED	E- UNFINISHED
F- CONCRETE		
G- PAVERS		
H- PLYWOOD		

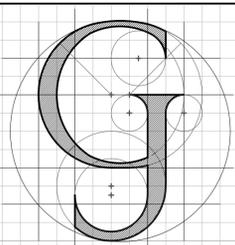
GENERAL NOTES

- REFER TO SHEET A-301 FOR WINDOW AND DOOR SCHEDULE.
- WINDOW HEADERS TO ALIGN WITH DOOR HEADERS (UNLESS NOTED OTHERWISE.)
- ALL SHOWER HEADS TO BE STUBBED OUT @ 90° A.F.F. (U.N.O.)
- FRAMER TO CONFIRM ALL DRAIN LOCATIONS.
- CEILING HEIGHTS ARE RELATIVE TO THE F.F.E.
- STANDARD DOOR OFFSET FROM CORNER IS 6" (U.N.O.)

WALL LEGEND

- DENOTES INTERIOR NON BEARING WALL
- DENOTES LOAD BEARING WALL





**GREGORY D JAZAYERI**  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach Fl 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
**LONG LEAF PARK**  
**LOT 17**  
WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
GREGORY D JAZAYERI, LLC

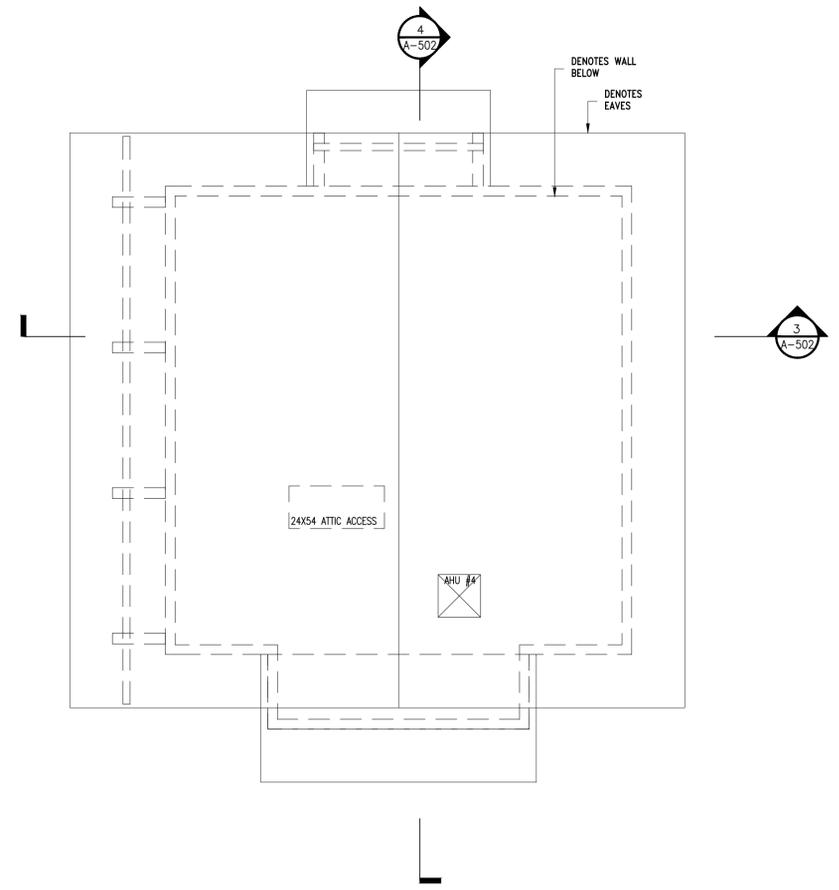
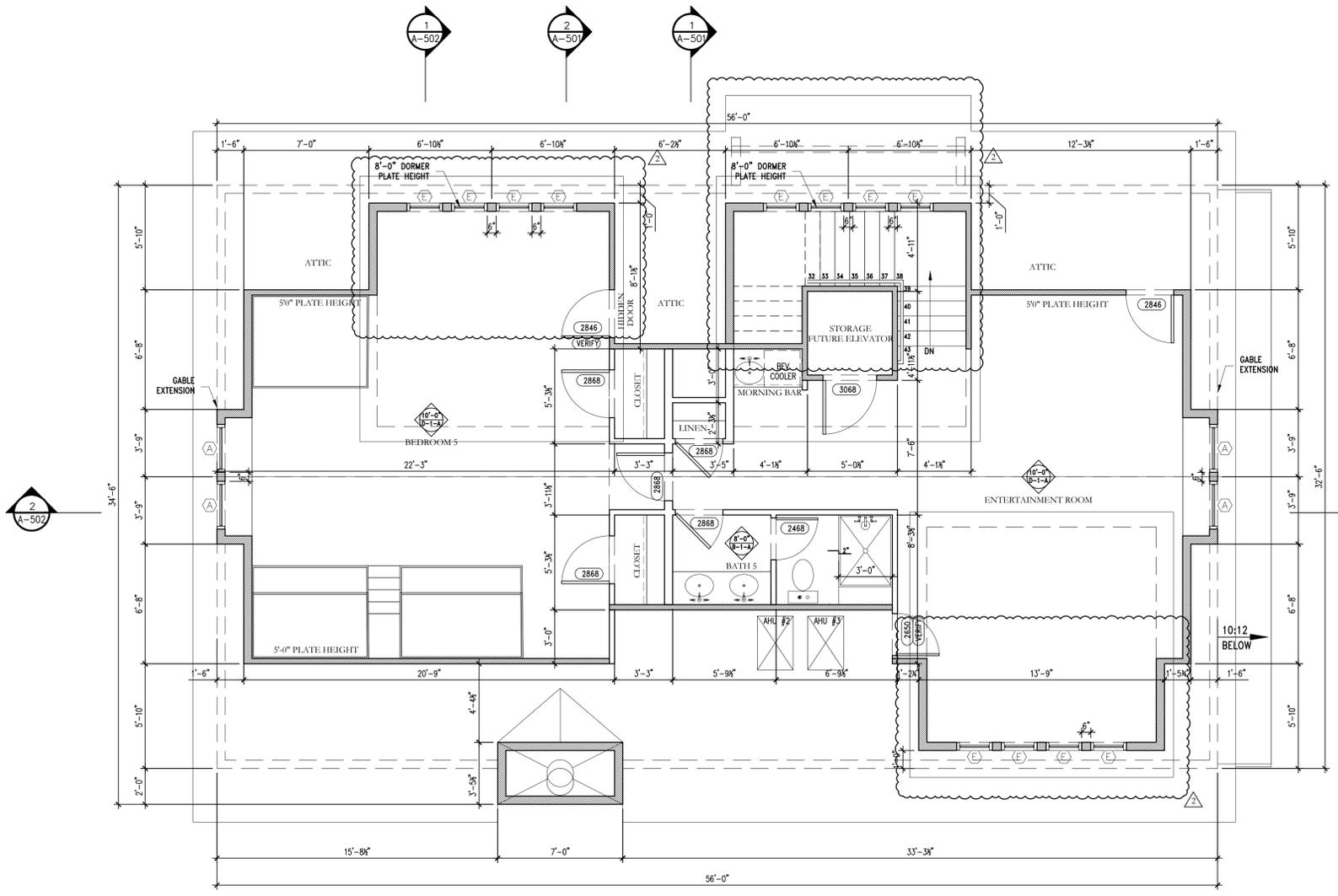
REVISION 2

FLOOR PLAN

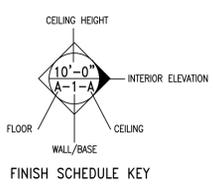
PROJECT NO. 240617

SHEET TITLE

**A-203**



**1 THIRD FLOOR PLAN**  
SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



FINISH SCHEDULE		
FLOOR	WALL / BASE	CEILING
A- CARPET	1- PAINTED GYP. BD.	A- PAINTED GYP. BOARD
B- CERAMIC TILE	WOOD BASE	B- EXPOSED WOOD RAFTERS
C- STONE	2- PAINTED T&G WOOD WALLS	C- 5/8" EXTERIOR SOFFIT BOARD
D- WOOD	WOOD BASE	D- 6" T&G PINE
E- 1"X6" CUMARU DECKING	3- UNFINISHED	E- UNFINISHED
F- CONCRETE		
G- PAVERS		
H- PLYWOOD		

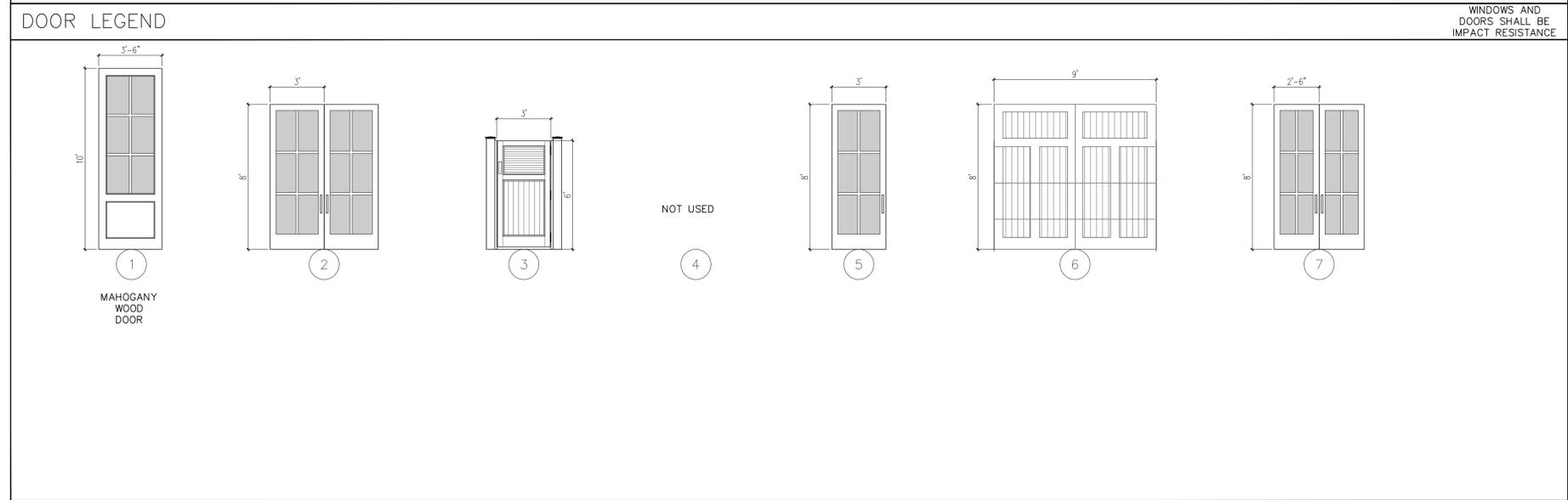
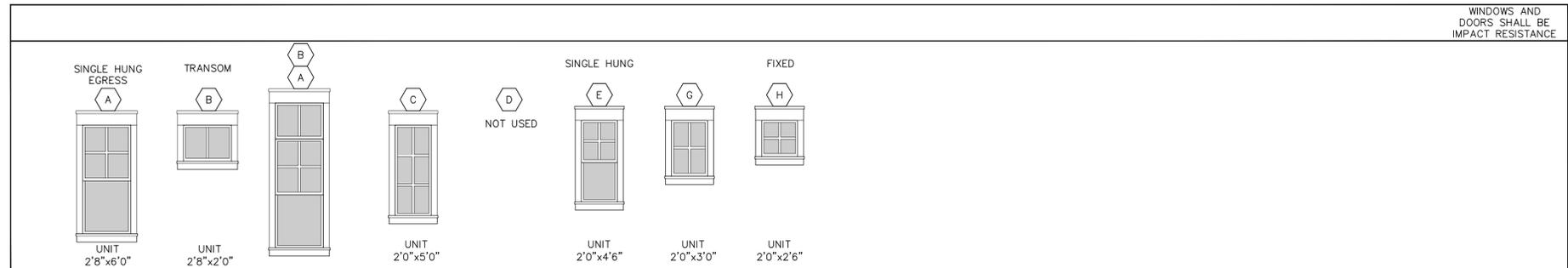
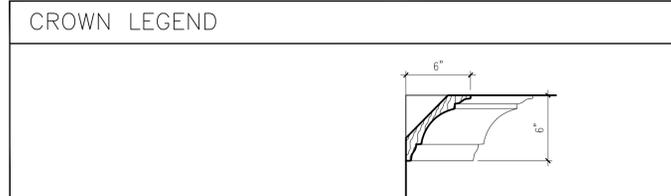
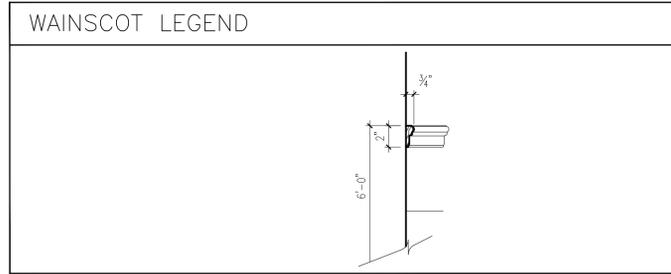
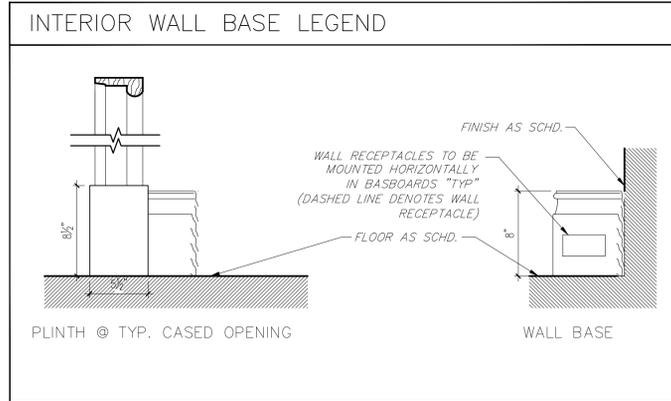
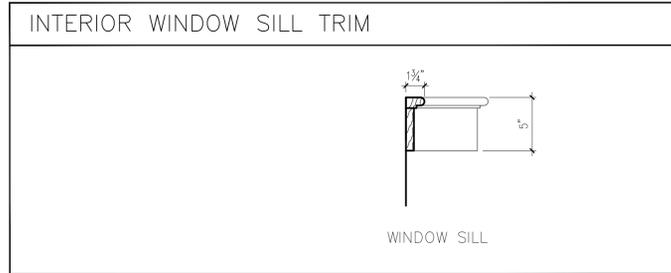
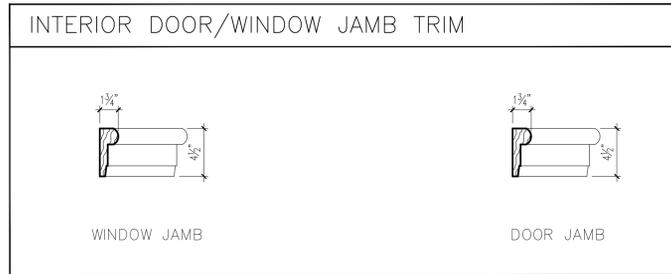
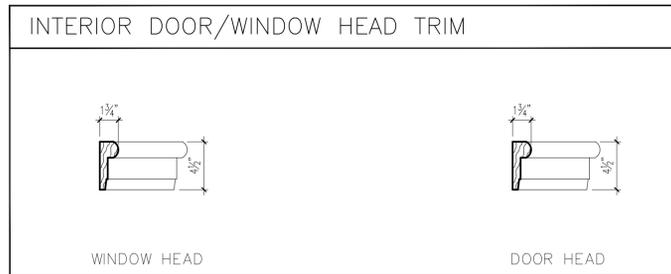
- GENERAL NOTES**
- REFER TO SHEET A-301 FOR WINDOW AND DOOR SCHEDULE.
  - WINDOW HEADERS TO ALIGN WITH DOOR HEADERS (UNLESS NOTED OTHERWISE.)
  - ALL SHOWER HEADS TO BE STUBBED OUT @ 90° A.F.F. (U.N.O.)
  - FRAMER TO CONFIRM ALL DRAIN LOCATIONS.
  - CEILING HEIGHTS ARE RELATIVE TO THE F.F.E.
  - STANDARD DOOR OFFSET FROM CORNER IS 6" (U.N.O.)

**WALL LEGEND**

	DENOTES INTERIOR NON BEARING WALL
	DENOTES LOAD BEARING WALL

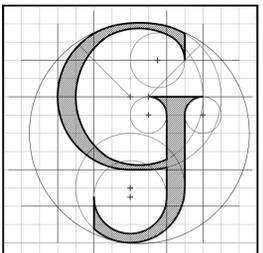
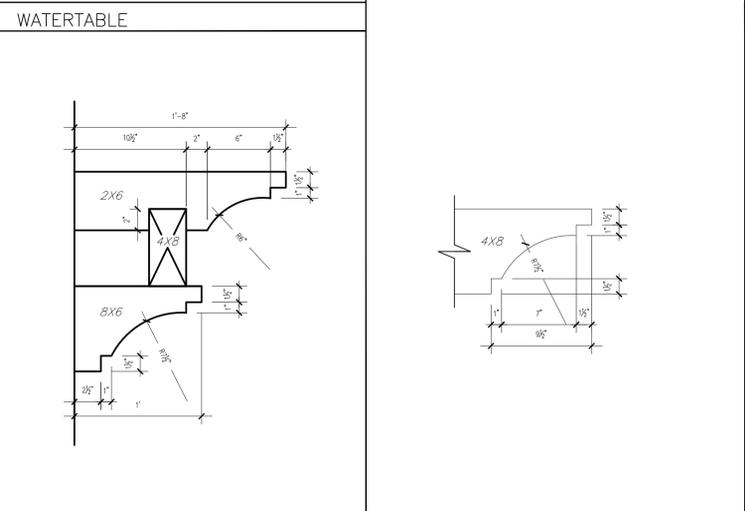
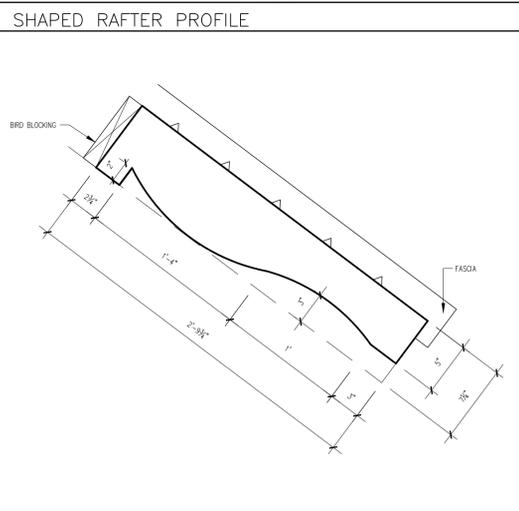
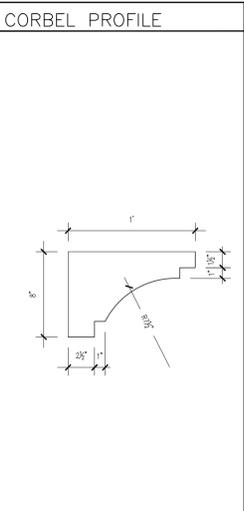
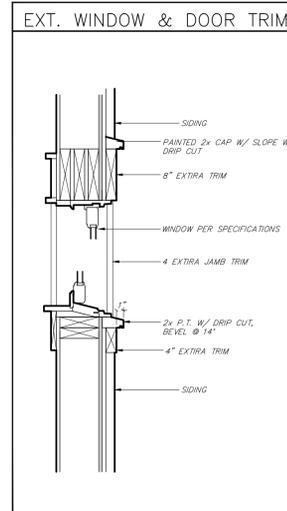
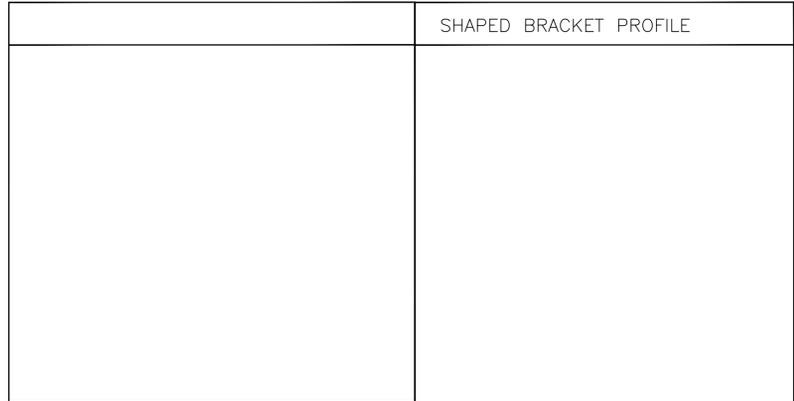
ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.





DOOR SCHEDULE

DOOR#	DOOR SIZE	MANUFACTURER	DESCRIPTION	REMARKS
1	3-6 x 10-0	CUSTOM	3/4 LITE SINGLE DOOR - MAHOGANY WOOD DOOR	-
2	(2) 3-0 x 8-0	SIERRA PAC. OR SIM	FULL LITE FRENCH DOOR	-
3	3-0 x 6-0	CUSTOM	SPANISH CEDAR GATE	-
4	NOT USED			-
5	3-0 x 8-0	SIERRA PAC. OR SIM	FULL LITE FRENCH DOOR	-
6	9-0 x 8-0	CUSTOM	WOOD CLAD OVERHEAD GARAGE DOOR	-
7	(2) 2-6 x 8-0	SIERRA PAC. OR SIM	FULL LITE FRENCH DOOR	-
8				-
9				-
10				-
11				-
12				-
13				-
14				-



GREGORY D JAZAYERI  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

NEW RESIDENCE  
WATERCOLOR  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

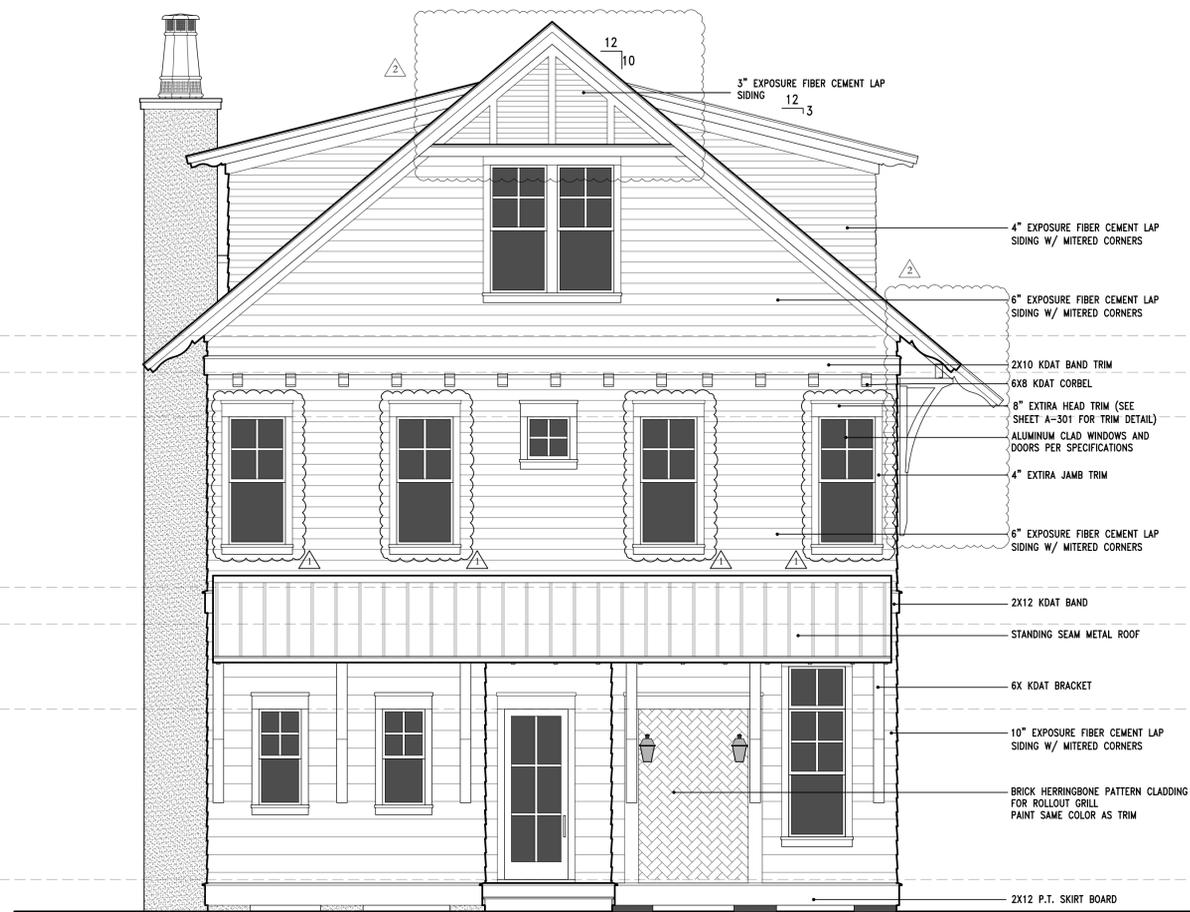
DRAWN BY: GDJ  
GREGORY D JAZAYERI, LLC  
REVISION 2

SCHEDULE

PROJECT NO. 240617

SHEET TITLE

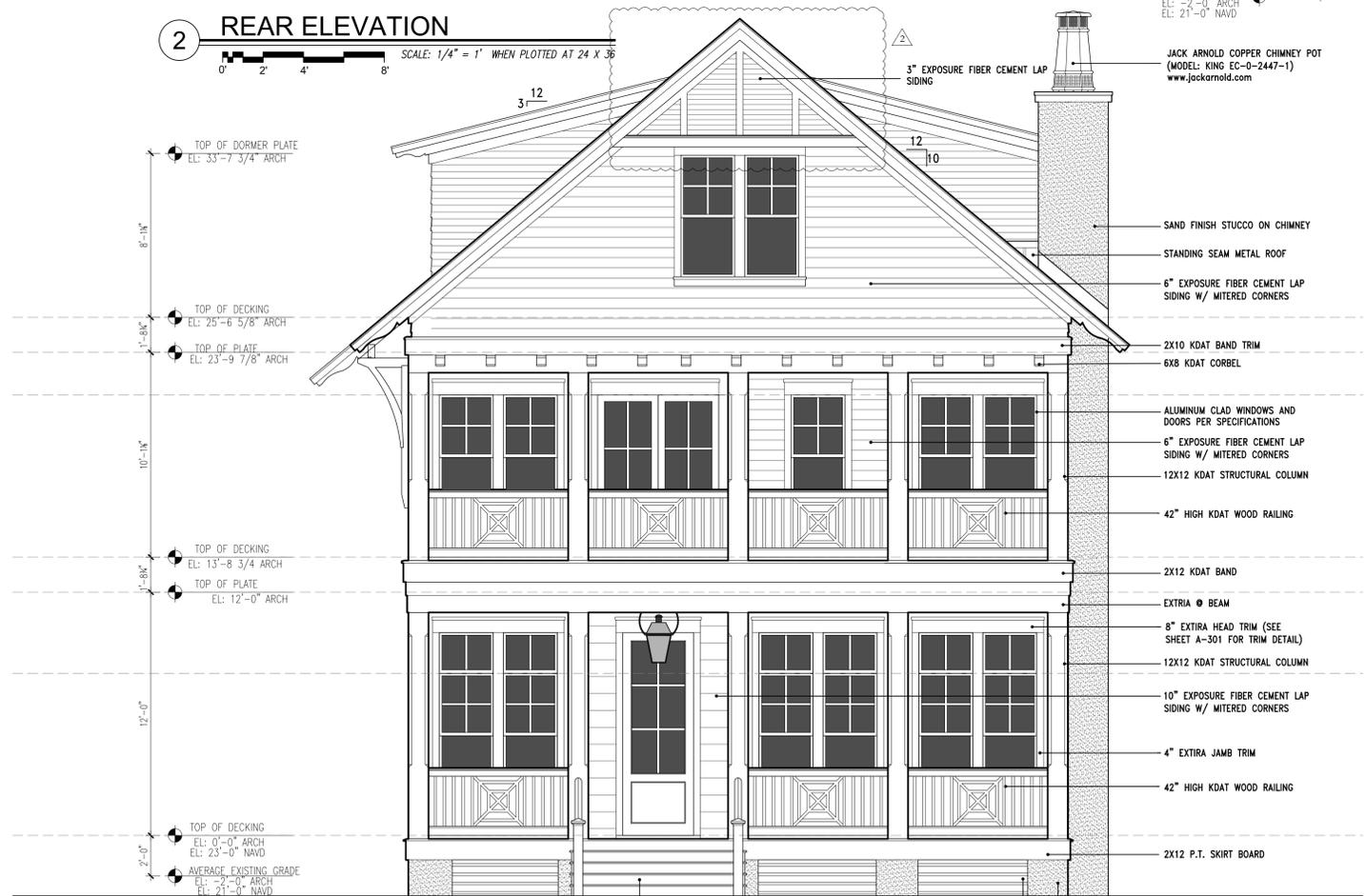
**A-301**



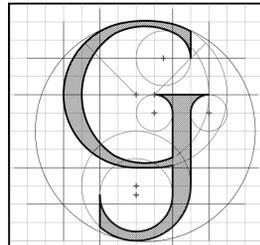
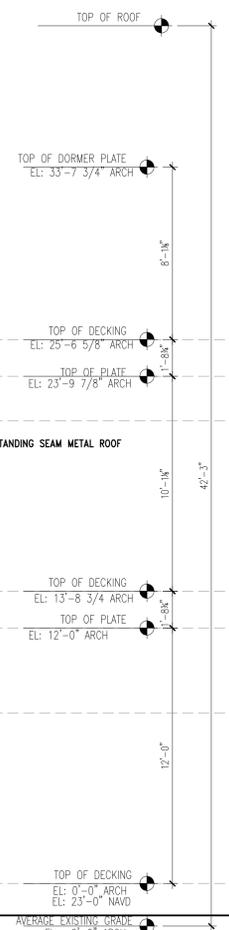
**1 REAR (HIDDEN) ELEVATION**  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



**2 REAR ELEVATION**  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



**3 FRONT (BOARDWALK) ELEVATION**  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



**GREGORY D JAZAYERI**  
 design  
 SANTA ROSA BEACH  
 110 Logan Lane, Suite 1  
 Santa Rosa Beach FL 32459  
 Phone 850.217.3286  
 Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
**LONG LEAF PARK**  
**LOT 17**  
 WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

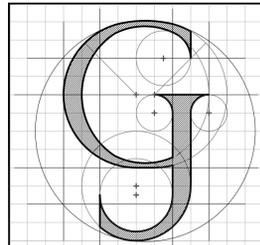
DRAWN BY: GDJ  
**GREGORY D JAZAYERI, LLC**  
 REVISION 2  
 ELEVATIONS  
 PROJECT NO. 240617  
 SHEET TITLE

**A-401**

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



1 SIDE (STREET) ELEVATION  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



GREGORY D JAZAYERI  
 design  
 SANTA ROSA BEACH

110 Logan Lane, Suite 1  
 Santa Rosa Beach FL 32459  
 Phone 850.217.3286  
 Email gregjazayeri@gmail.com

NEW RESIDENCE  
 WATERCOLOR  
 LONG LEAF PARK  
 LOT 17  
 WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY  
 GDJ  
 GREGORY D JAZAYERI, LLC  
 REVISION 2

ELEVATIONS  
 PROJECT NO. 240617

SHEET TITLE  
**A-402**

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.

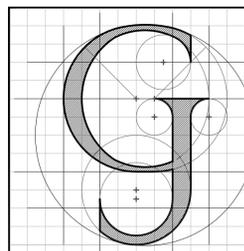


1 SIDE ELEVATION  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



2 ALLEY (CARRIAGE HOUSE) ELEVATION  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36

3 FRONT (CARRIAGE HOUSE) ELEVATION  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



GREGORY D JAZAYERI  
 design  
 SANTA ROSA BEACH

110 Logan Lane, Suite 1  
 Santa Rosa Beach FL 32459  
 Phone 850.217.3286  
 Email gregjazayeri@gmail.com

NEW RESIDENCE  
 WATERCOLOR  
 LONG LEAF PARK  
 LOT 17  
 WALTON COUNTY, FL

SEAL:

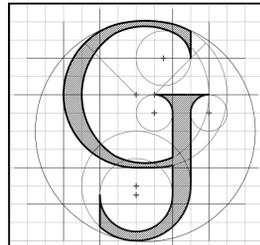
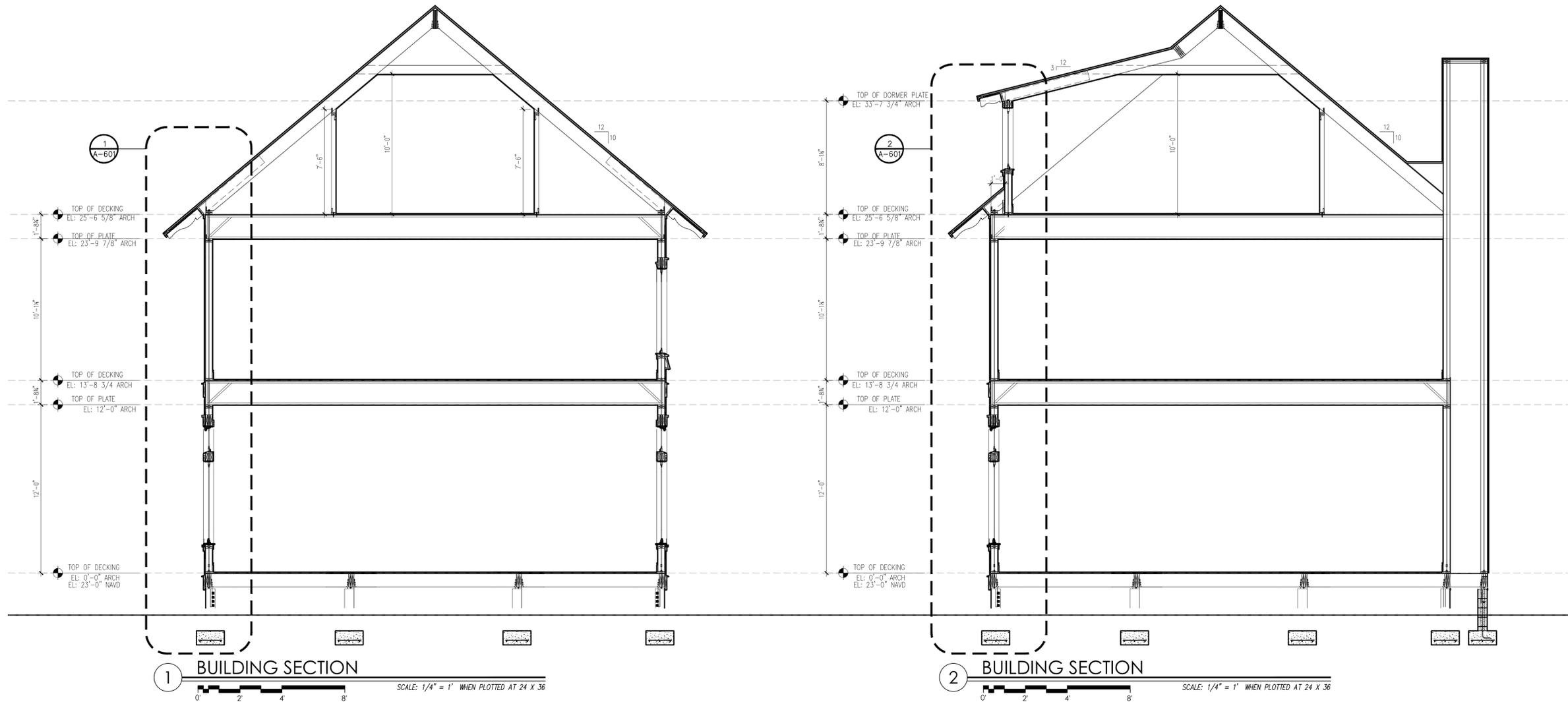
DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY  
 GDJ  
 GREGORY D JAZAYERI, LLC  
 REVISION 2

ELEVATIONS  
 PROJECT NO. 240617  
 SHEET TITLE

A-403

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



**GREGORY D JAZAYERI**  
 design  
 SANTA ROSA BEACH  
 110 Logan Lane, Suite 1  
 Santa Rosa Beach FL 32459  
 Phone 850.217.3286  
 Email gregjazayeri@gmail.com

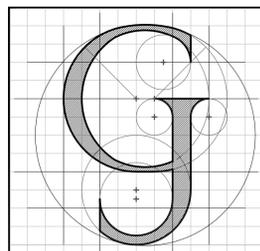
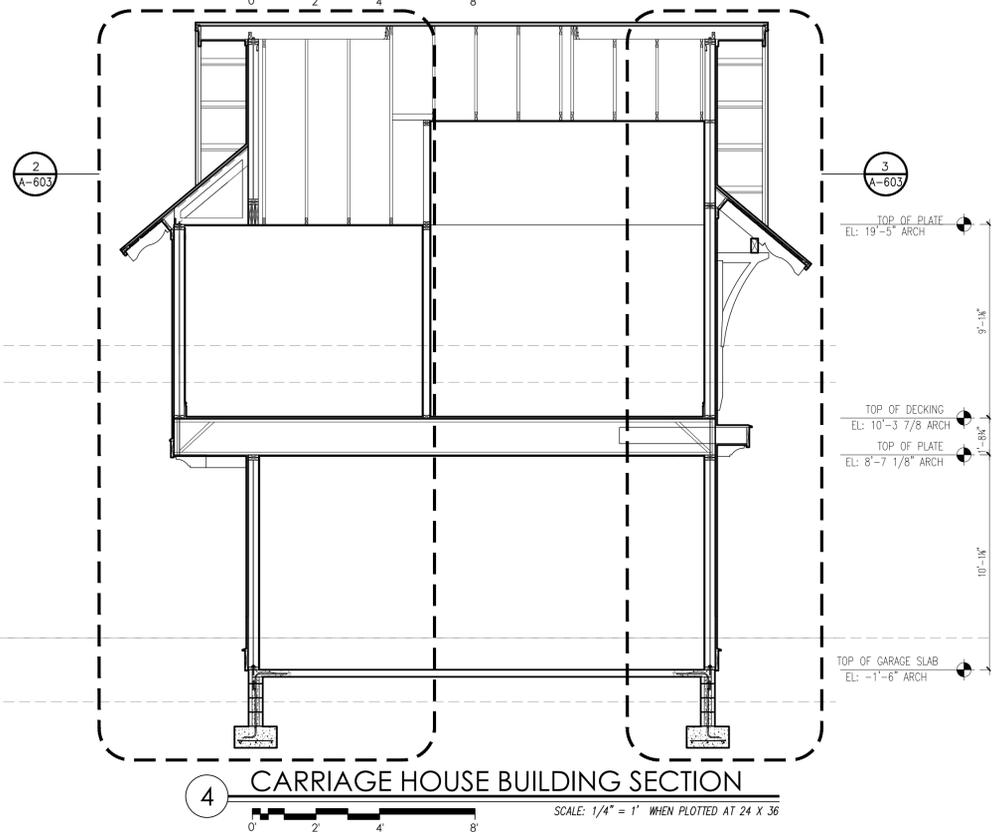
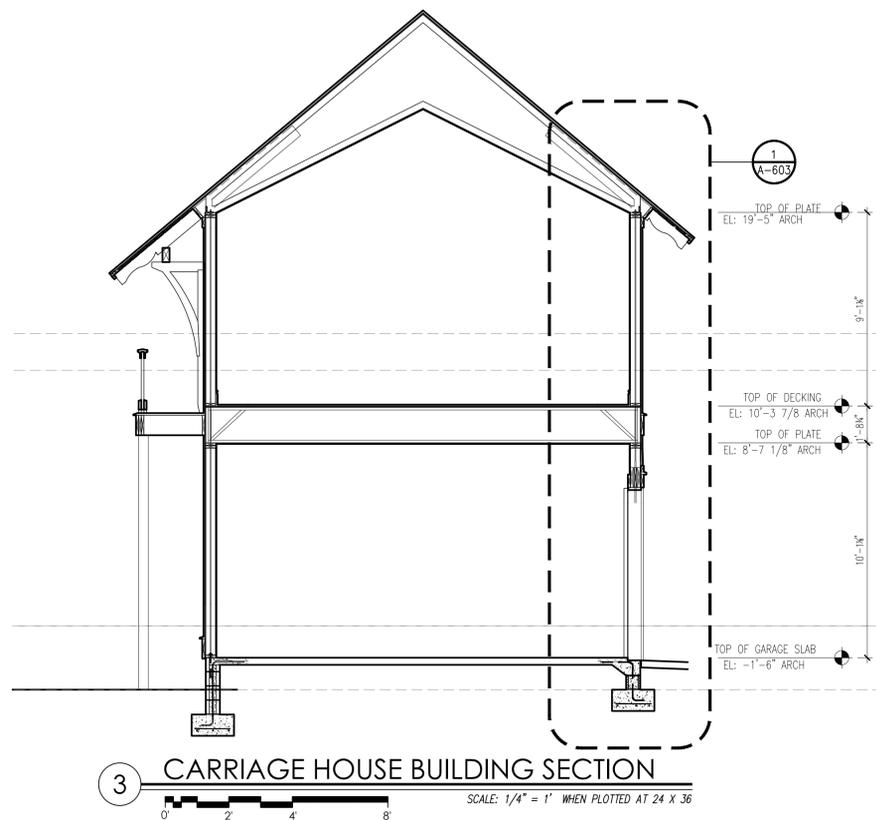
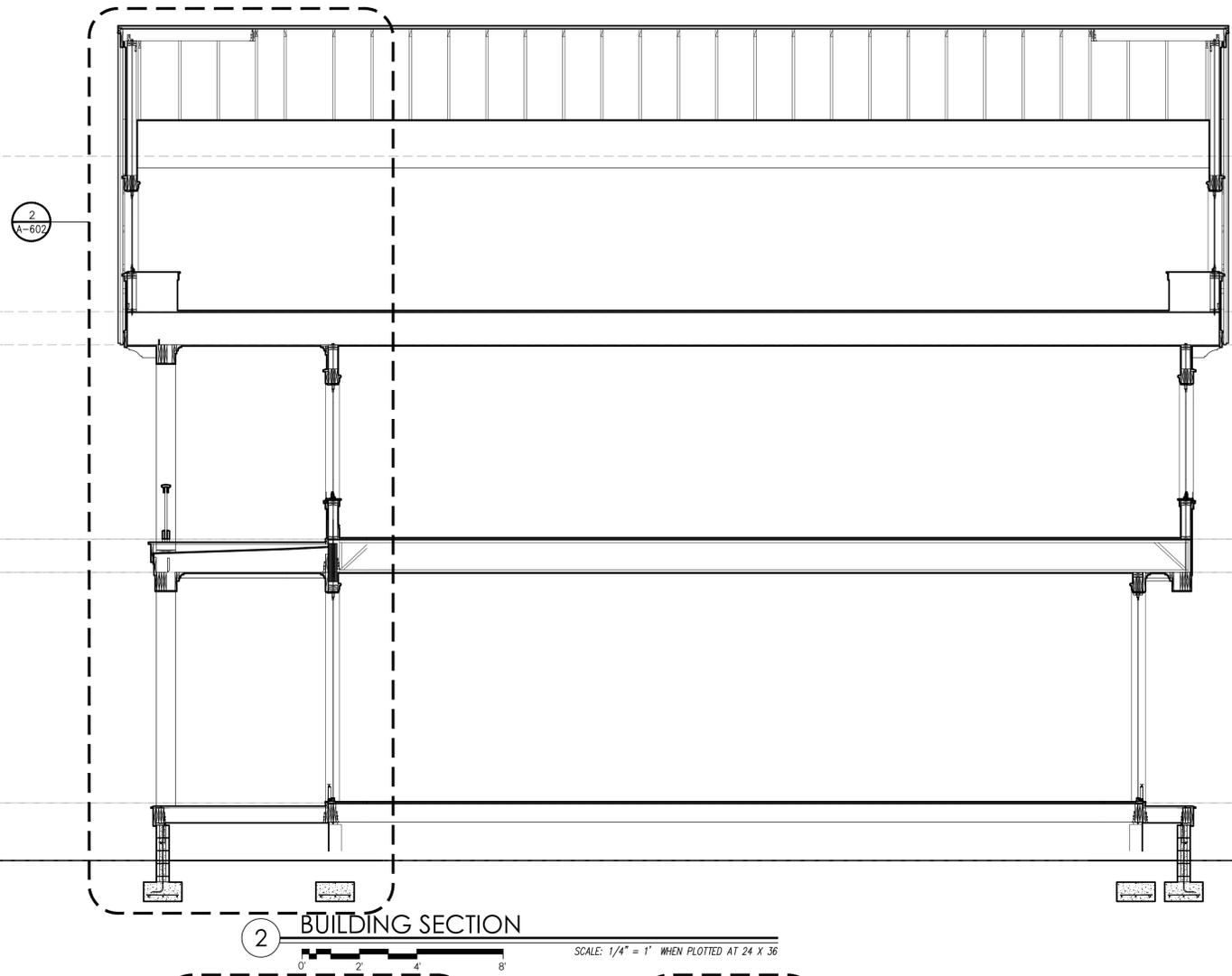
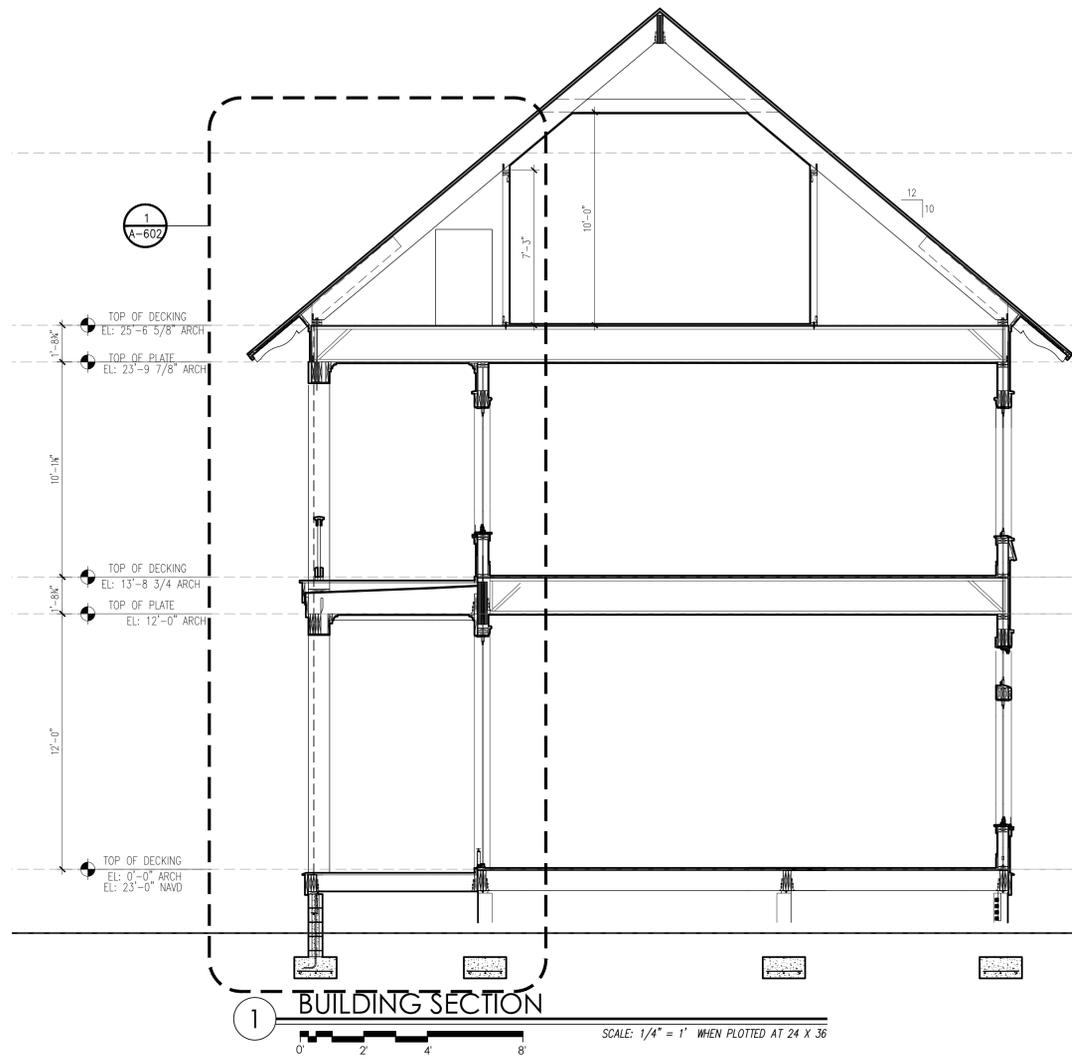
NEW RESIDENCE  
 WATERCOLOR  
 LONG LEAF PARK  
 LOT 17  
 WALTON COUNTY, FL

DATE DESCRIPTION  
 02/04/26 DATE ISSUED  
 09/20/24 SCHEMATIC DESIGN PHASE  
 10/28/24 PRELIMINARY DRB SET  
 01/22/25 DESIGN DEVELOPMENT SET  
 02/24/25 FINAL DRB SET  
 03/25/25 PERMIT SET  
 05/28/25 REVISION 1  
 02/04/26 REVISION 1  
 DRAWN BY GDJ  
 GREGORY D. JAZAYERI, LLC  
 REVISION 2

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY GDJ  
 GREGORY D. JAZAYERI, LLC  
 REVISION 2

BUILDING SECTION  
 PROJECT NO. 240617  
 SHEET TITLE  
**A-501**



GREGORY D JAZAYERI  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

NEW RESIDENCE  
WATERCOLOR  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL

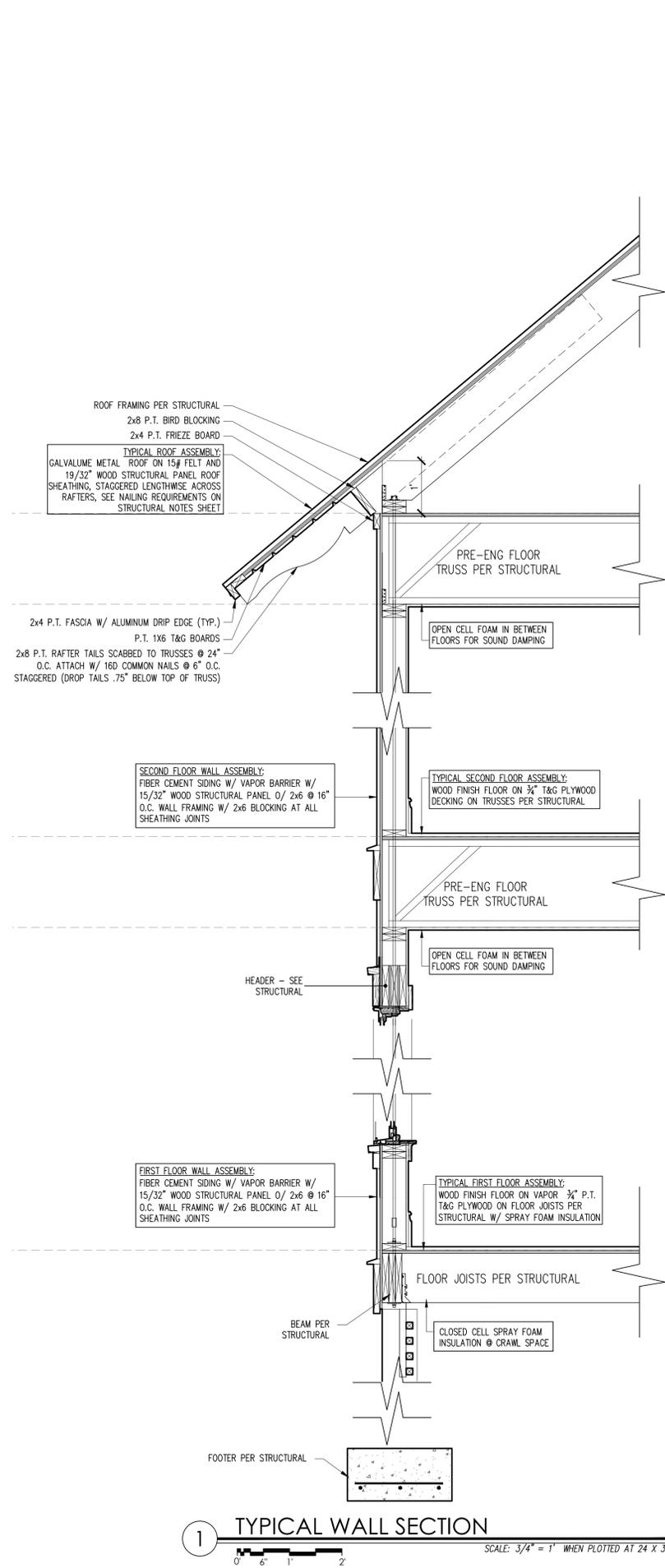
SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
GREGORY D JAZAYERI, LLC  
REVISION 2

BUILDING SECTION  
PROJECT NO. 240617  
SHEET TITLE

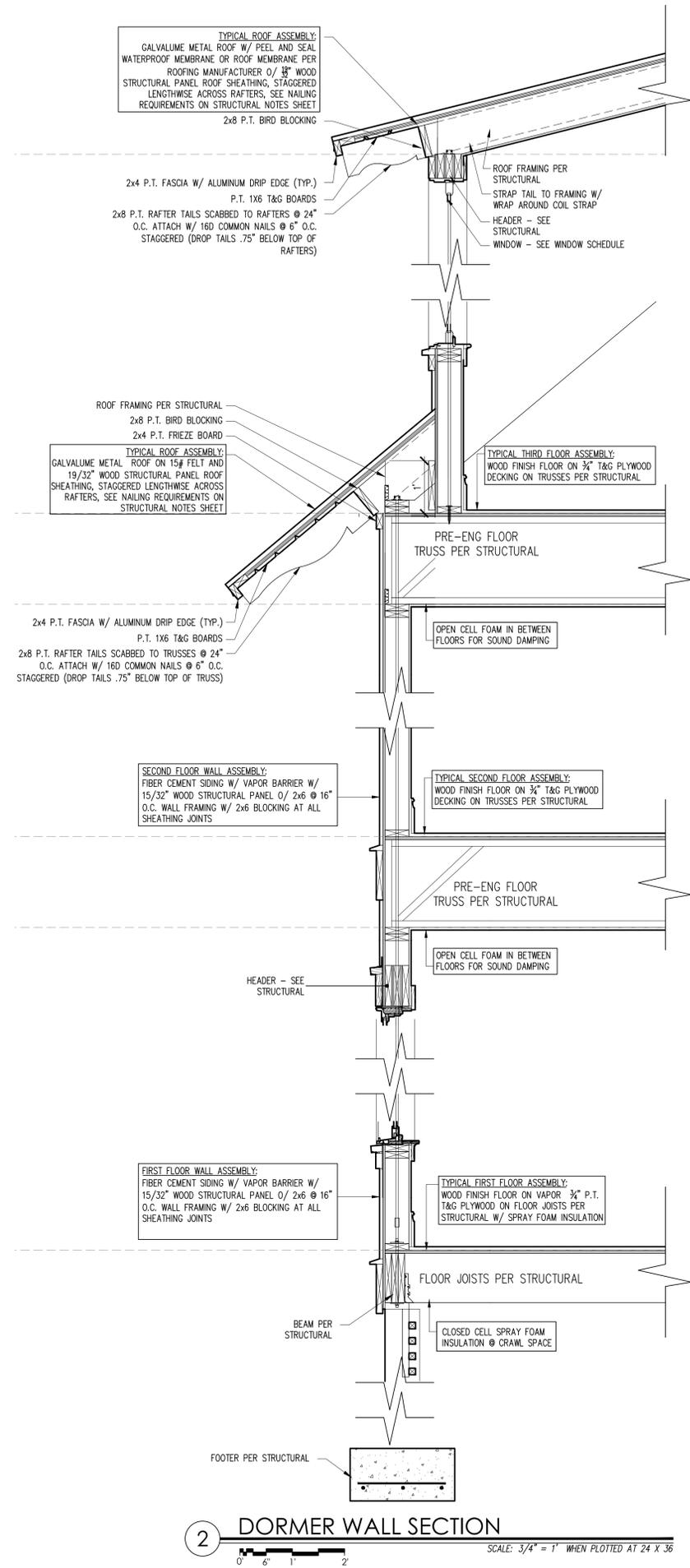
A-502



1 TYPICAL WALL SECTION



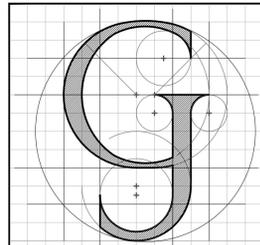
SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36



2 DORMER WALL SECTION



SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36



GREGORY D JAZAYERI  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach Fl 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

NEW RESIDENCE  
WATERCOLOR  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL

SEAL:

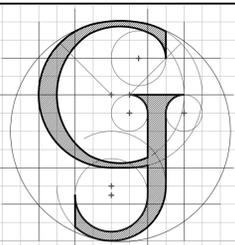
DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY  
GDJ  
GREGORY D JAZAYERI, LLC  
REVISION 2

WALL SECTIONS  
PROJECT NO. 240617

SHEET TITLE  
A-601

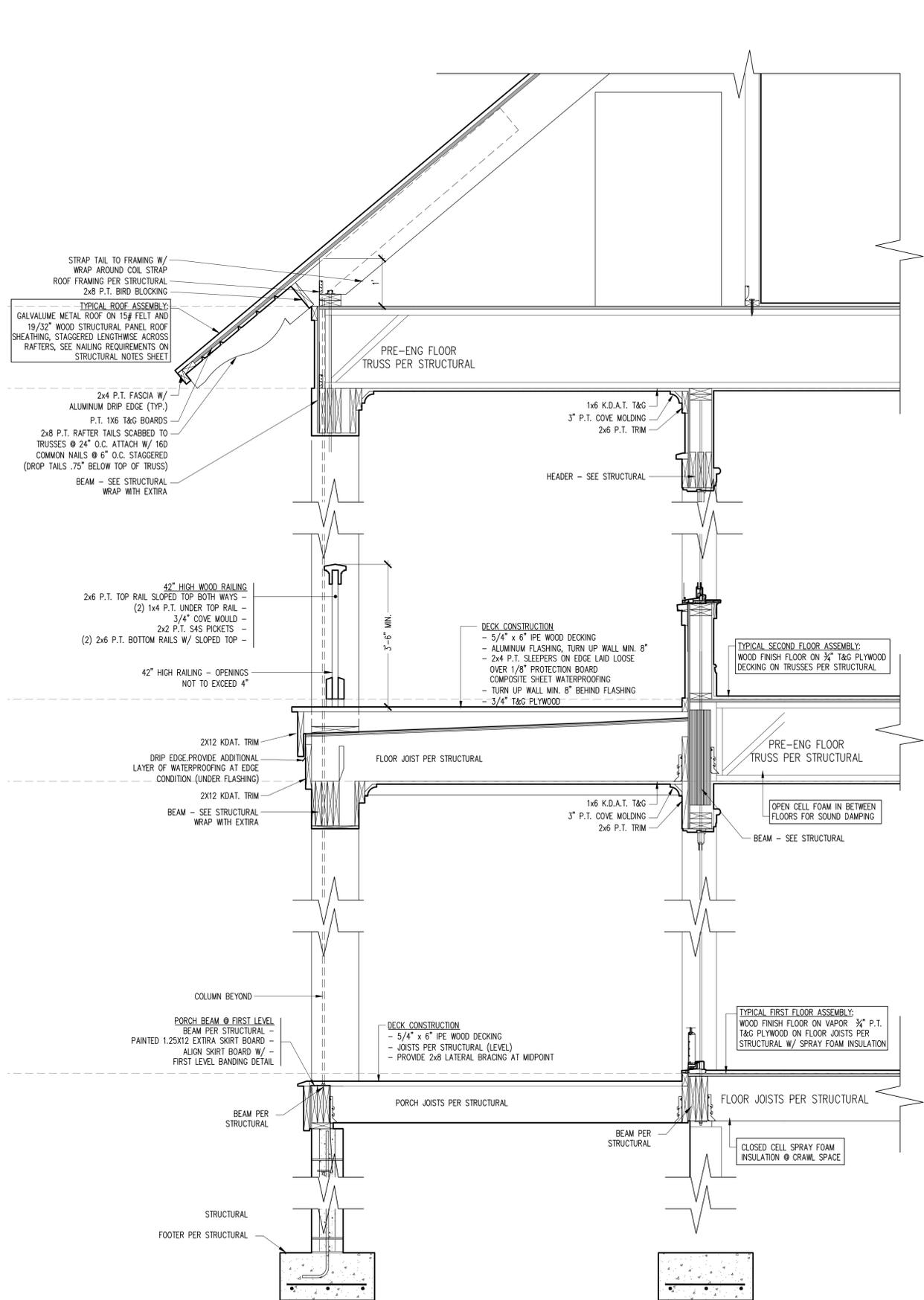
ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



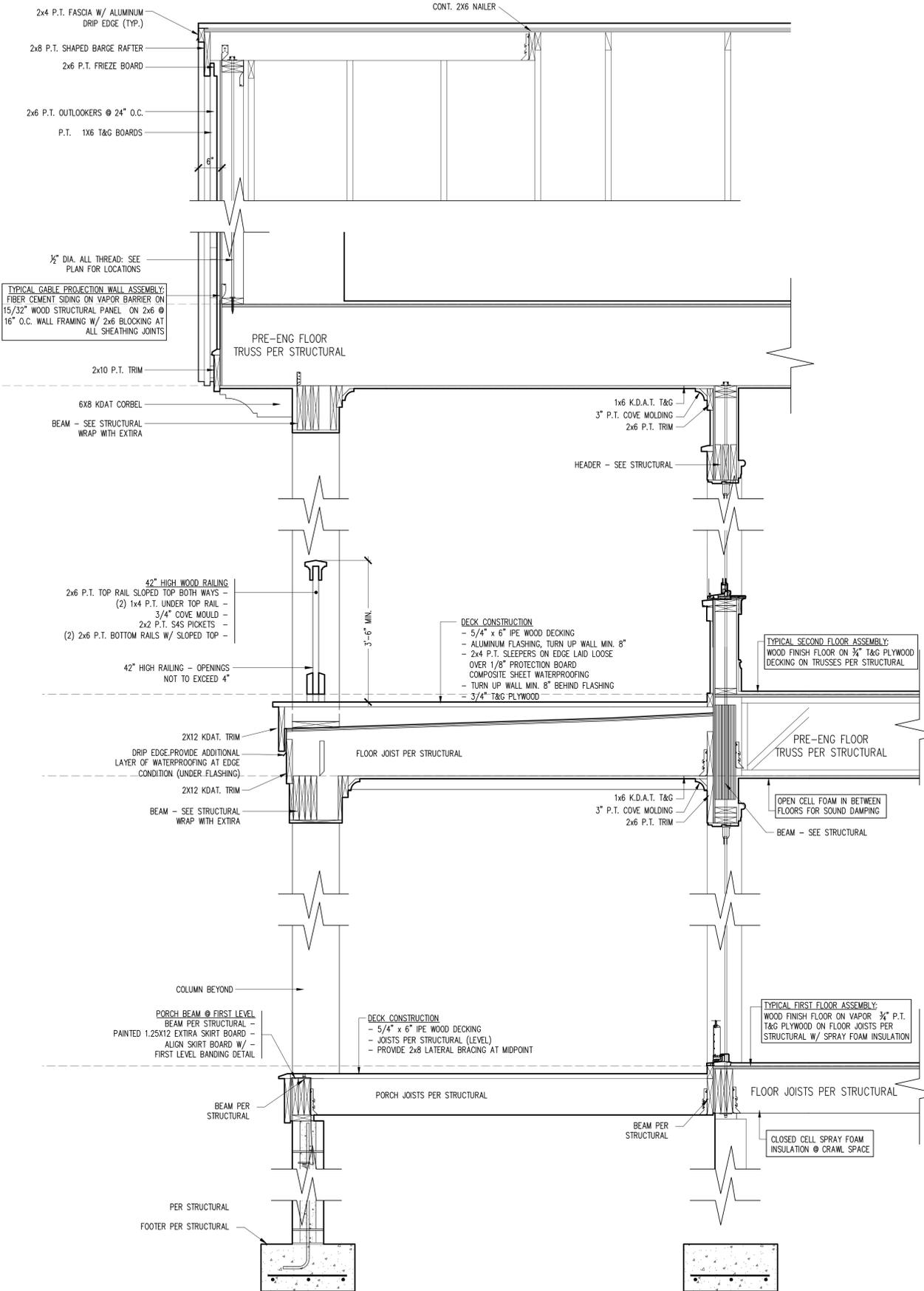
GREGORY D JAZAYERI  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

NEW RESIDENCE  
WATERCOLOR  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL



1 TYPICAL PORCH SECTION  
SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36

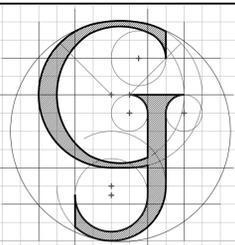


2 PORCH SECTION  
SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1
DRAWN BY: GDJ GREGORY D JAZAYERI, LLC	
REVISION 2	
WALL SECTIONS	
PROJECT NO.	240617
SHEET TITLE	A-602



**GREGORY D JAZAYERI**  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
**LONG LEAF PARK**  
**LOT 17**  
WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

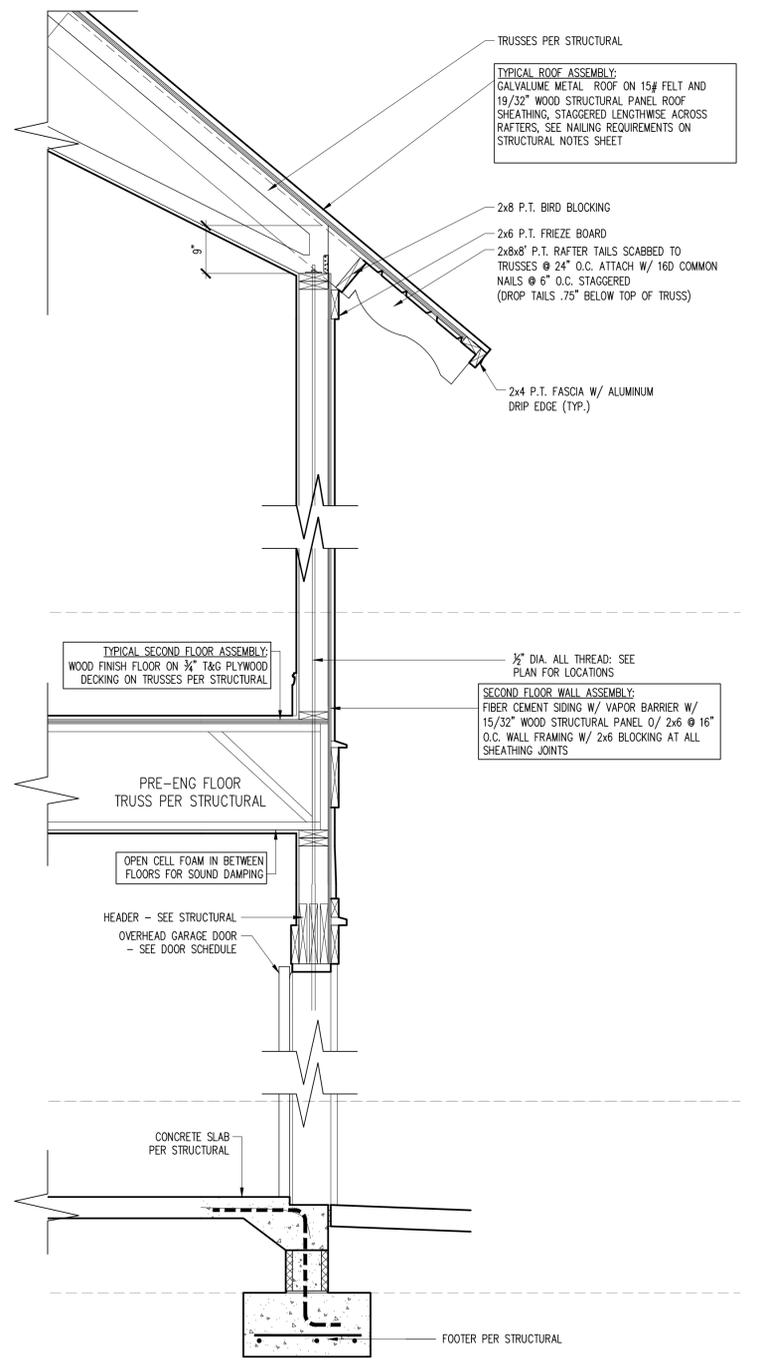
DRAWN BY  
GDJ  
GREGORY D JAZAYERI, LLC

REVISION 2  
WALL SECTIONS

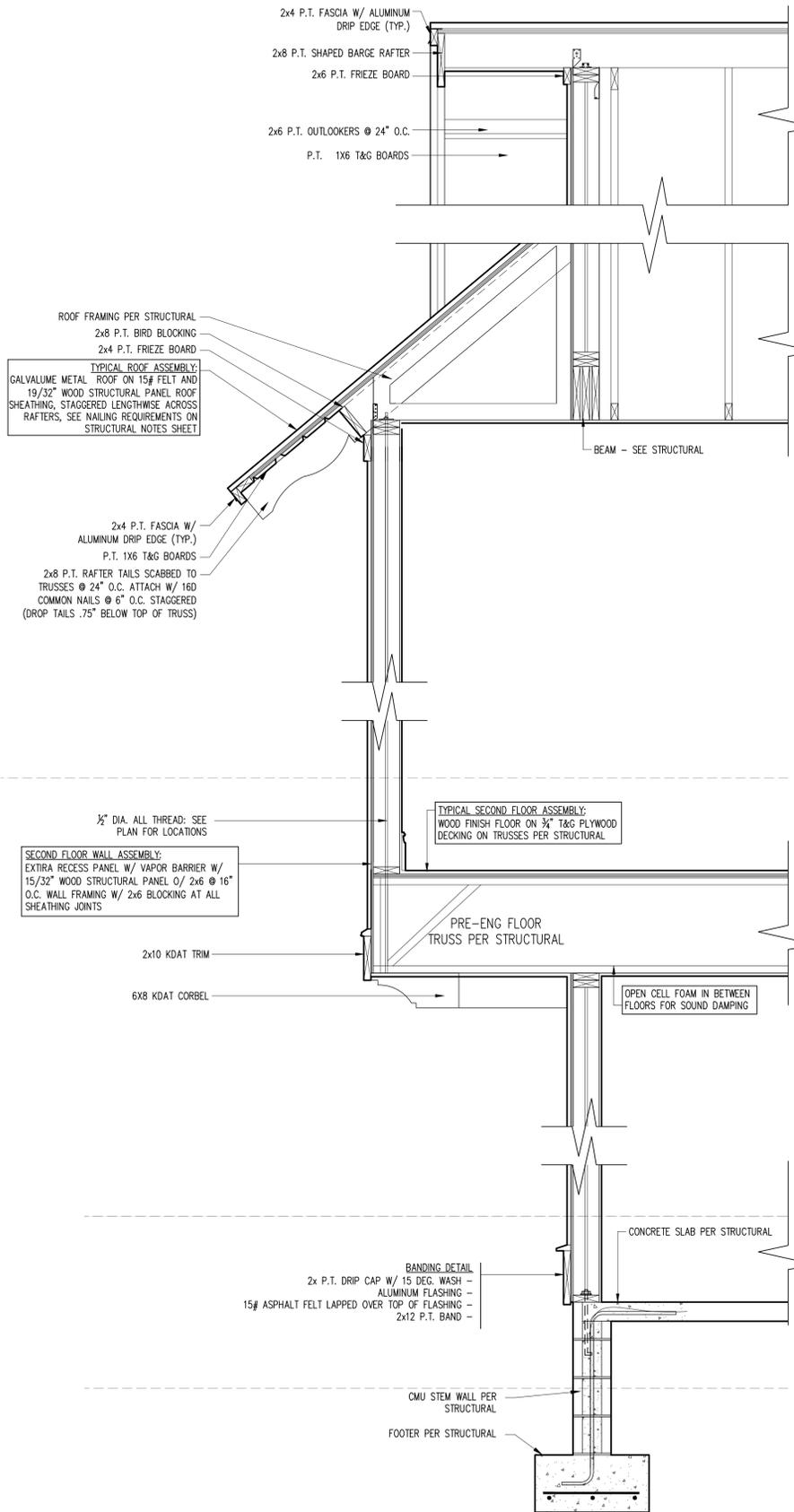
PROJECT NO. 240617

SHEET TITLE  
**A-603**

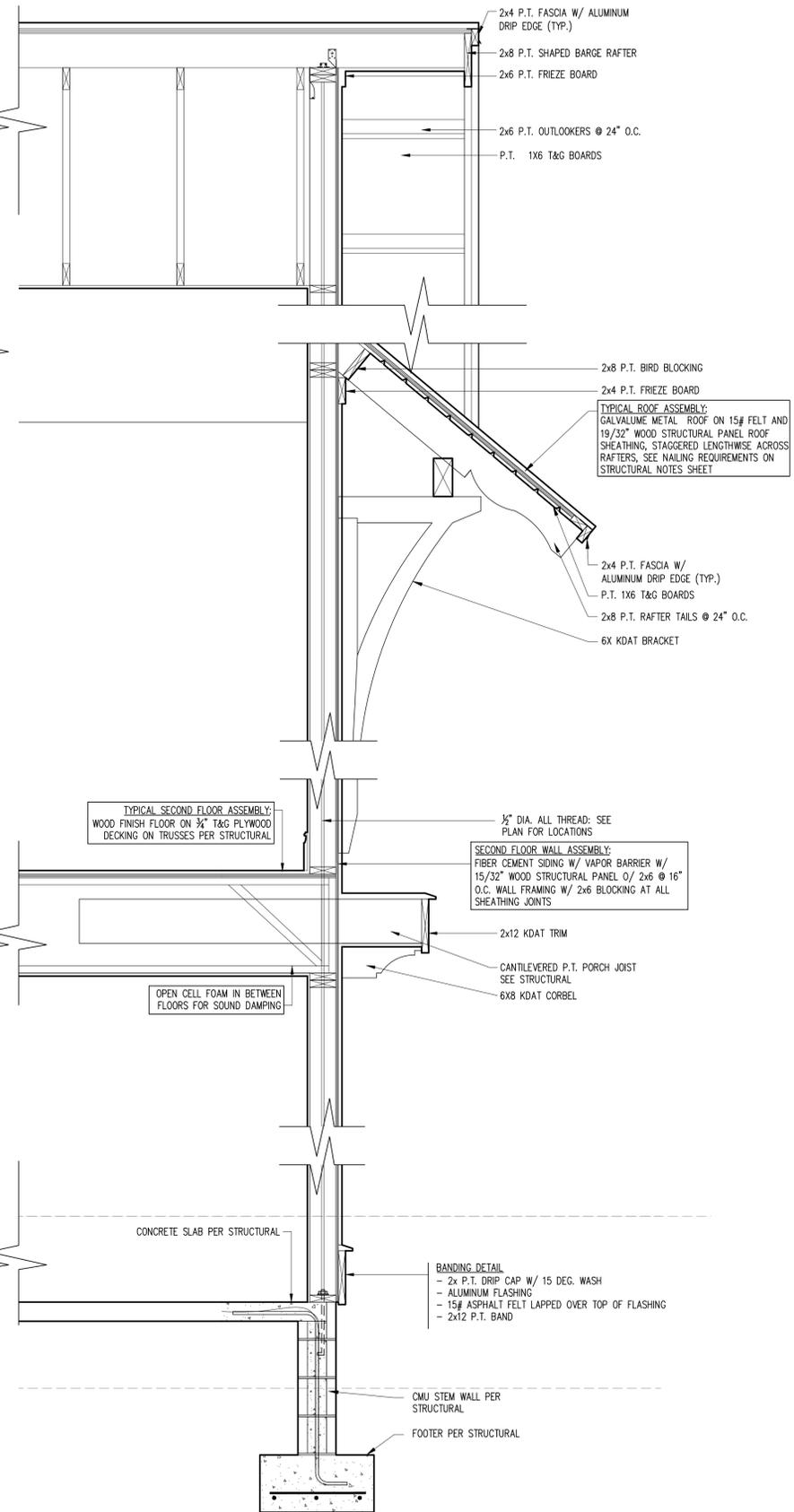
ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



**1 CARRIAGE HOUSE WALL SECTION**  
SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36



**2 CARRIAGE HOUSE WALL SECTION @ BUMPOUT**  
SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36

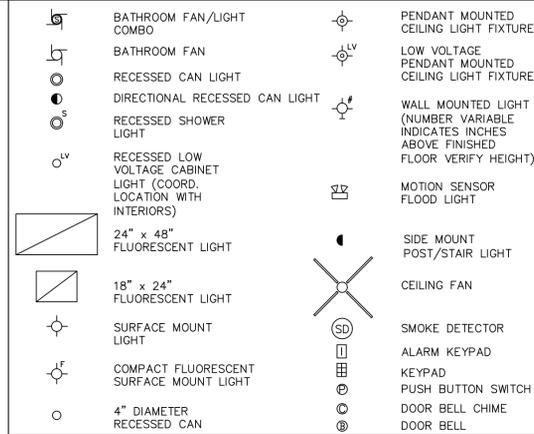


**3 CARRIAGE HOUSE WALL SECTION @ BALCONY**  
SCALE: 3/4" = 1' WHEN PLOTTED AT 24 X 36

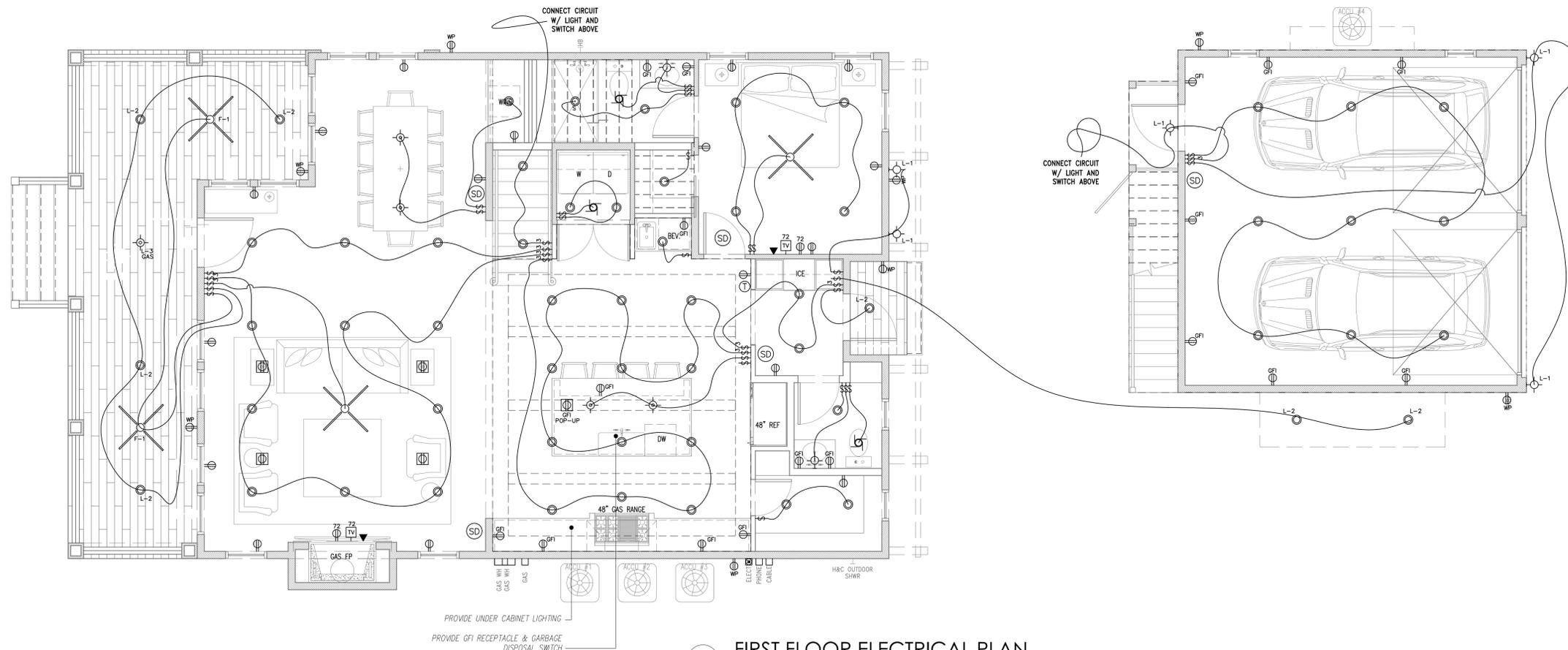
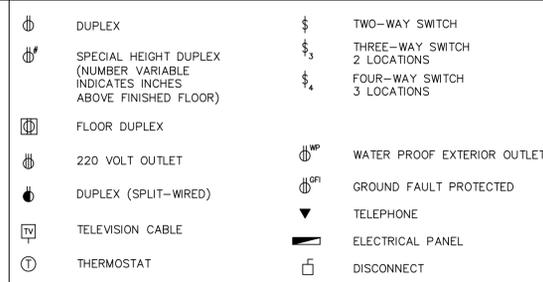
**GENERAL NOTES**

- GANG ALL SWITCHES & OR OUTLETS ON ONE PLATE IF SHOWN SIDE BY SIDE. NO GANG BOXES WIDER THAN (4).
- ALL SYMBOLS MAY NOT BE USED
- VERIFY ALL CABLE, TELEPHONE, AND FLOOR OUTLET LOCATIONS PRIOR TO INSTALLATION.
- ALL ELECTRICAL REQUIREMENTS FOR THE SPECIFIED APPLIANCES AND/OR PLUMBING FIXTURES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR WITH EACH MANUFACTURER.
- ALL LOCATIONS FOR LIGHTING FIXTURES AND/OR ELECTRICAL OUTLETS ARE FOR "DESIGN INTENT" ONLY. GENERAL CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL LOCAL AND STATE BUILDING CODES AND NOTIFY DESIGNER OF ANY MODIFICATIONS REQUIRED.
- VERIFY ALL MOUNTING HEIGHTS OF WALL MOUNTED FIXTURES AND JUNCTION BOXES WITH INTERIOR ELEVATIONS. IF ELEVATIONS DO NOT GIVE THE INFORMATION, REFER TO SPECIFICATIONS OR CONSULT DESIGNER PRIOR TO INSTALLING.
- GENERAL CONTRACTOR SHALL VERIFY ALL MOUNTING PLATE SIZES. "PIGTAIL" ALL WIRING PRIOR TO VERIFICATION.
- GENERAL CONTRACTOR SHALL NOTIFY DESIGNER/OWNER WHEN ELECTRICAL/LIGHTING ROUGH-IN IS COMPLETE SO FINAL WALK THROUGH MAY TAKE PLACE PRIOR TO DRYWALL PHASE.
- ALL OUTLET PLATES SHALL BE "WHITE" EXCEPT IF LOCATED IN CABINETS AND / OR ON A STONE BACKSPASH. VERIFY W/ ARCHITECT FOR COLOR AT THESE AREAS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL RECEPTACLES, SMOKE ALARMS, ECT. AS REQUIRED BY CODE.
- PROVIDE ELECTRICAL JUNCTION BOXES AS REQUIRED FOR LANDSCAPE LIGHTING.
- PROVIDE DIMMERS ON ALL LIGHTING UNLESS OTHERWISE SPECIFIED.
- ALL ELECTRICAL FIXTURES HAVE BEEN LOCATED BASED ON LINEAR ALIGNMENTS WITHIN THE CORRESPONDING SPACE. CONTRACTOR SHALL FIELD VERIFY ALL FIXTURE ALIGNMENTS PRIOR TO INSTALLATION. CONSULT ARCHITECT IF DISCREPANCIES ARE FOUND IN FIELD.
- ALL WALL SWITCHES SHALL BE LOCATED "TIGHT" TO CASING AT APPLICABLE OPENINGS. MAINTAIN CONSISTANT PLACEMENT THROUGHOUT HOUSE. CONSULT ARCHITECT IF DISCREPANCIES ARE FOUND IN FIELD.
- WALL OUTLETS SHOWN UNDER WINDOWS ARE CENTERED ON WINDOW, OFFSET FRAMING AS REQUIRED TO MAINTAIN DESIGN INTENT.
- PROVIDE ARC FAULT PROTECTION AT ALL BEDROOMS SWITCHES, OUTLETS, FANS.

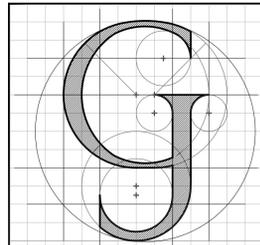
**LIGHTING LEGEND**



**ELECTRICAL LEGEND**



**1 FIRST FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36



**GREGORY D JAZAYERI**  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
**GREGORY D JAZAYERI, LLC**  
REVISION 2  
ELECTRICAL

PROJECT NO. 240617  
SHEET TITLE

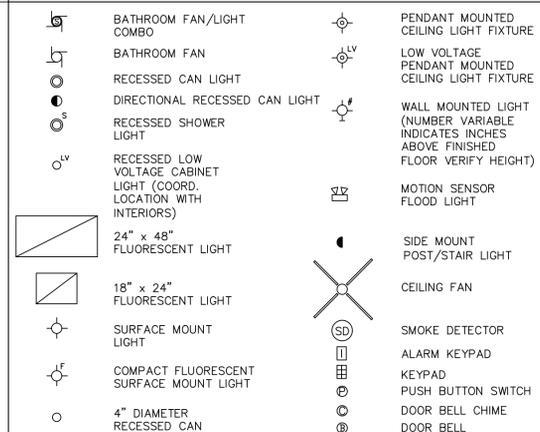
**E-101**

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.

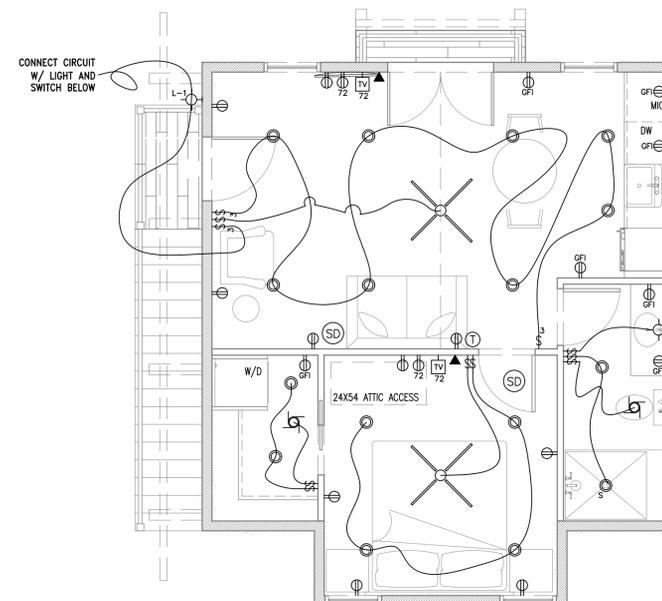
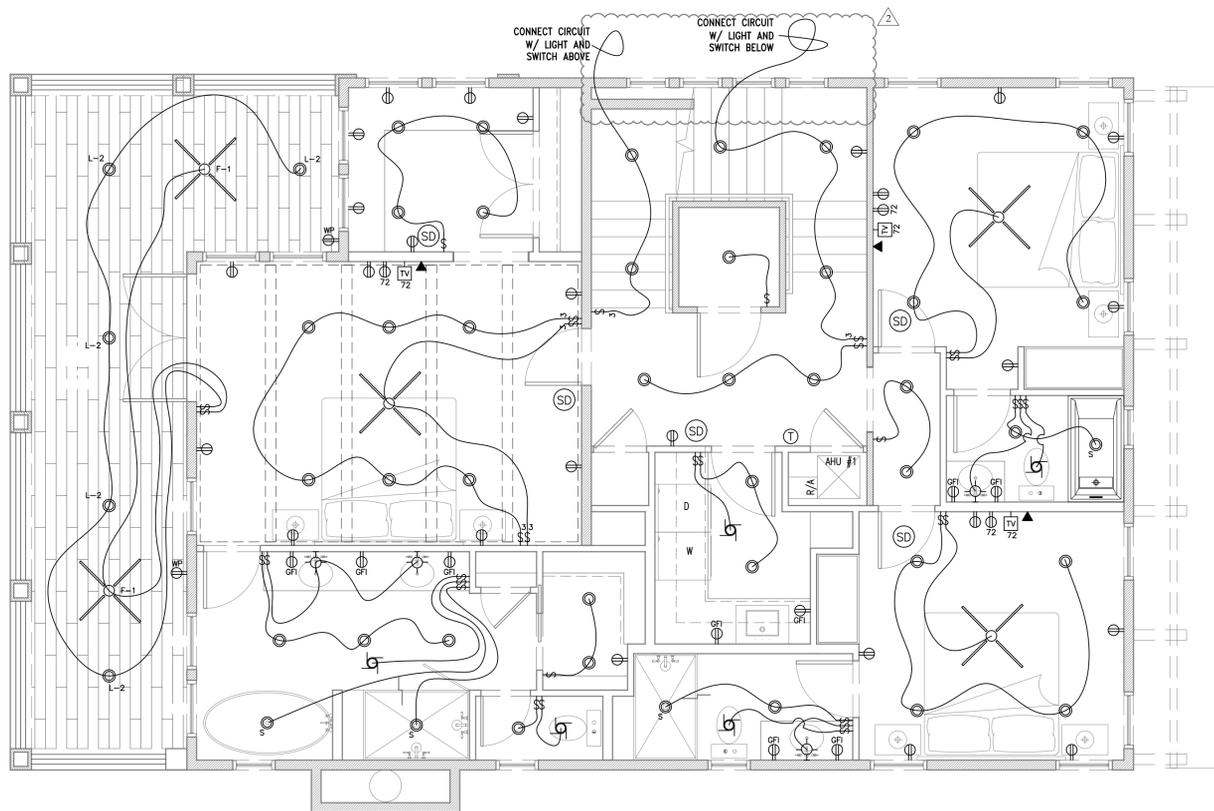
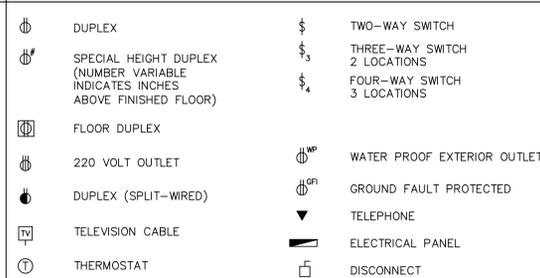
**GENERAL NOTES**

- GANG ALL SWITCHES & OR OUTLETS ON ONE PLATE IF SHOWN SIDE BY SIDE. NO GANG BOXES WIDER THAN (4).
- ALL SYMBOLS MAY NOT BE USED
- VERIFY ALL CABLE, TELEPHONE, AND FLOOR OUTLET LOCATIONS PRIOR TO INSTALLATION.
- ALL ELECTRICAL REQUIREMENTS FOR THE SPECIFIED APPLIANCES AND/OR PLUMBING FIXTURES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR WITH EACH MANUFACTURER.
- ALL LOCATIONS FOR LIGHTING FIXTURES AND/OR ELECTRICAL OUTLETS ARE FOR "DESIGN INTENT" ONLY. GENERAL CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL LOCAL AND STATE BUILDING CODES AND NOTIFY DESIGNER OF ANY MODIFICATIONS REQUIRED.
- VERIFY ALL MOUNTING HEIGHTS OF WALL MOUNTED FIXTURES AND JUNCTION BOXES WITH INTERIOR ELEVATIONS. IF ELEVATIONS DO NOT GIVE THE INFORMATION, REFER TO SPECIFICATIONS OR CONSULT DESIGNER PRIOR TO INSTALLING.
- GENERAL CONTRACTOR SHALL VERIFY ALL MOUNTING PLATE SIZES. "PIGTAIL" ALL WIRING PRIOR TO VERIFICATION.
- GENERAL CONTRACTOR SHALL NOTIFY DESIGNER/OWNER WHEN ELECTRICAL/LIGHTING ROUGH-IN IS COMPLETE SO FINAL WALK-THROUGH MAY TAKE PLACE PRIOR TO DRYWALL PHASE.
- ALL OUTLET PLATES SHALL BE "WHITE" EXCEPT IF LOCATED IN CABINETS AND / OR ON A STONE BACKSPASH. VERIFY W/ ARCHITECT FOR COLOR AT THESE AREAS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL RECEPTACLES, SMOKE ALARMS, ECT. AS REQUIRED BY CODE.
- PROVIDE ELECTRICAL JUNCTION BOXES AS REQUIRED FOR LANDSCAPE LIGHTING.
- PROVIDE DIMMERS ON ALL LIGHTING UNLESS OTHERWISE SPECIFIED.
- ALL ELECTRICAL FIXTURES HAVE BEEN LOCATED BASED ON LINEAR ALIGNMENTS WITHIN THE CORRESPONDING SPACE. CONTRACTOR SHALL FIELD VERIFY ALL FIXTURE ALIGNMENTS PRIOR TO INSTALLATION. CONSULT ARCHITECT IF DISCREPANCIES ARE FOUND IN FIELD.
- ALL WALL SWITCHES SHALL BE LOCATED "TIGHT" TO CASING AT APPLICABLE OPENINGS. MAINTAIN CONSISTANT PLACEMENT THROUGHOUT HOUSE. CONSULT ARCHITECT IF DISCREPANCIES ARE FOUND IN FIELD.
- WALL OUTLETS SHOWN UNDER WINDOWS ARE CENTERED ON WINDOW, OFFSET FRAMING AS REQUIRED TO MAINTAIN DESIGN INTENT.
- PROVIDE ARC FAULT PROTECTION AT ALL BEDROOMS SWITCHES, OUTLETS, FANS.

**LIGHTING LEGEND**

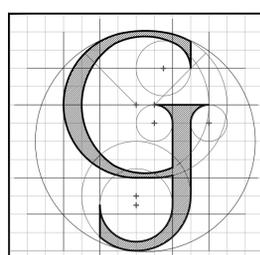


**ELECTRICAL LEGEND**



**1 SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



**GREGORY D JAZAYERI**  
 design  
 SANTA ROSA BEACH

110 Logan Lane, Suite 1  
 Santa Rosa Beach FL 32459  
 Phone 850.217.3286  
 Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
 LONG LEAF PARK  
 LOT 17  
 WALTON COUNTY, FL

SEAL:

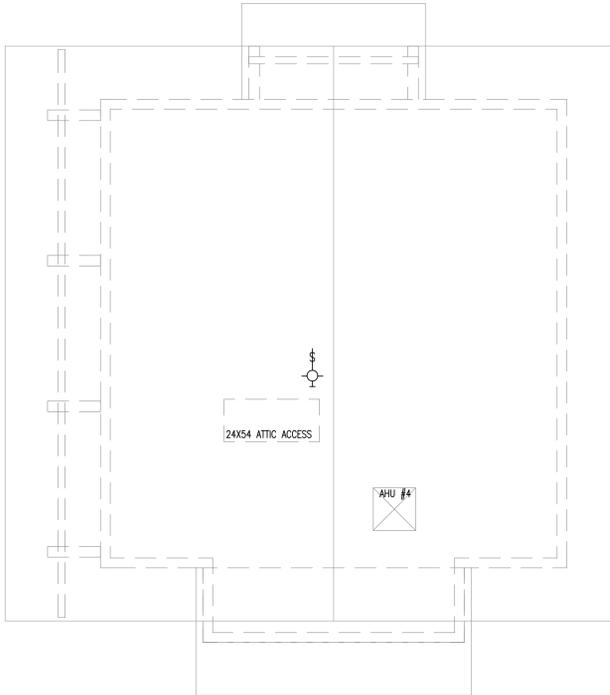
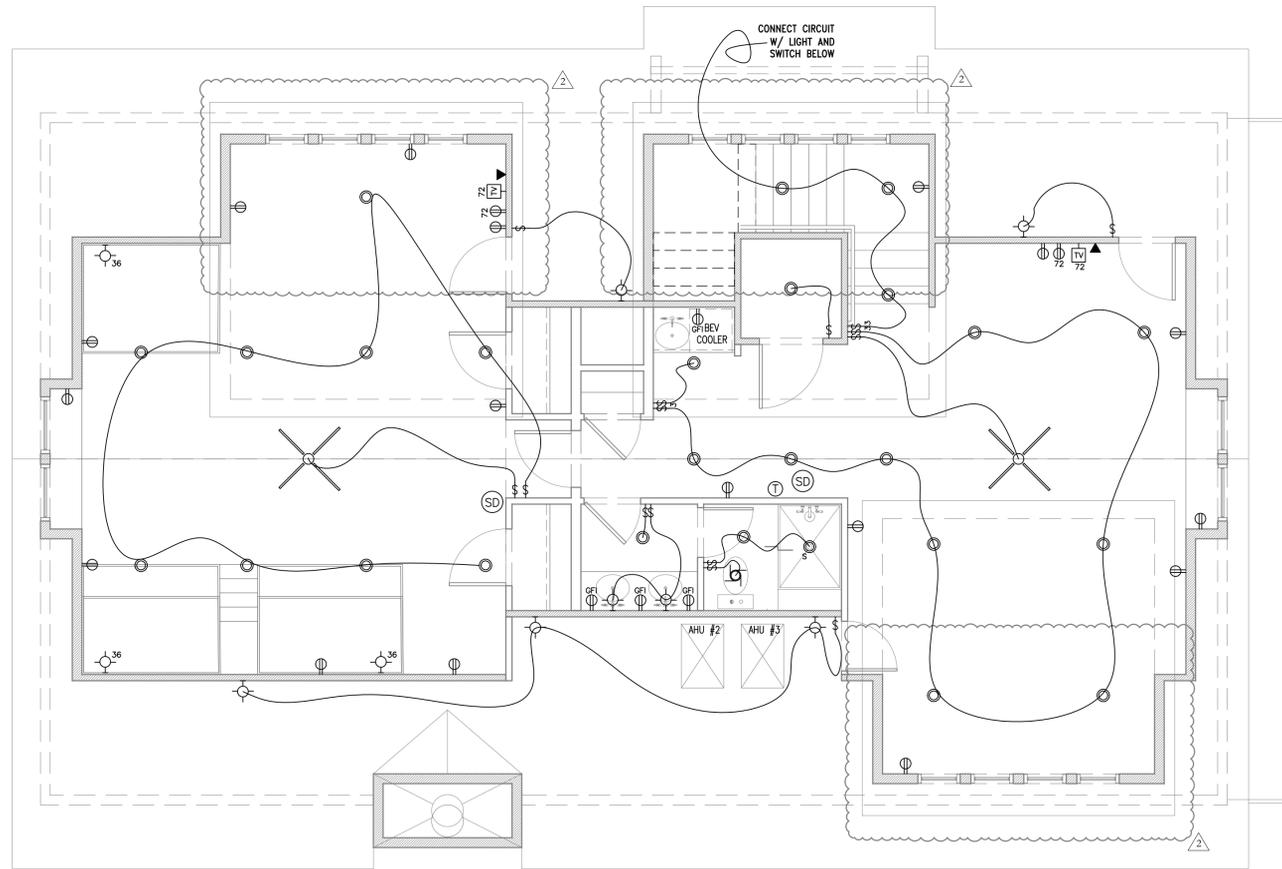
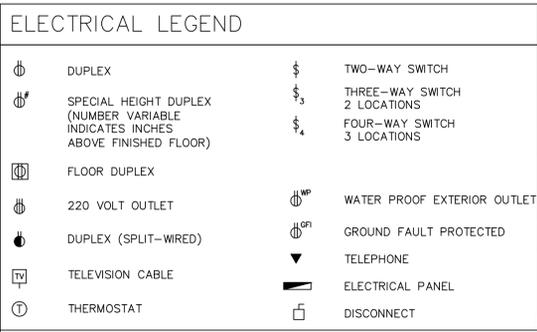
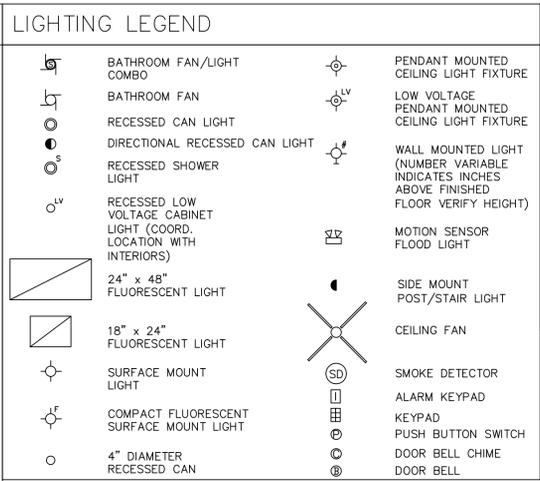
DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
 GREGORY D JAZAYERI, LLC  
 REVISION 2

ELECTRICAL  
 PROJECT NO. 240617

SHEET TITLE  
**E-102**

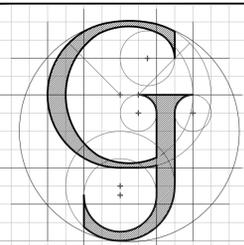
- GENERAL NOTES**
- GANG ALL SWITCHES & OR OUTLETS ON ONE PLATE IF SHOWN SIDE BY SIDE. NO GANG BOXES WIDER THAN (4).
  - ALL SYMBOLS MAY NOT BE USED
  - VERIFY ALL CABLE, TELEPHONE, AND FLOOR OUTLET LOCATIONS PRIOR TO INSTALLATION.
  - ALL ELECTRICAL REQUIREMENTS FOR THE SPECIFIED APPLIANCES AND/OR PLUMBING FIXTURES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR WITH EACH MANUFACTURER.
  - ALL LOCATIONS FOR LIGHTING FIXTURES AND/OR ELECTRICAL OUTLETS ARE FOR "DESIGN INTENT" ONLY. GENERAL CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL LOCAL AND STATE BUILDING CODES AND NOTIFY DESIGNER OF ANY MODIFICATIONS REQUIRED.
  - VERIFY ALL MOUNTING HEIGHTS OF WALL MOUNTED FIXTURES AND JUNCTION BOXES WITH INTERIOR ELEVATIONS. IF ELEVATIONS DO NOT GIVE THE INFORMATION, REFER TO SPECIFICATIONS OR CONSULT DESIGNER PRIOR TO INSTALLING.
  - GENERAL CONTRACTOR SHALL VERIFY ALL MOUNTING PLATE SIZES. "PIGTAIL" ALL WIRING PRIOR TO VERIFICATION.
  - GENERAL CONTRACTOR SHALL NOTIFY DESIGNER/OWNER WHEN ELECTRICAL/LIGHTING ROUGH-IN IS COMPLETE SO FINAL WALK THROUGH MAY TAKE PLACE PRIOR TO DRYWALL PHASE.
  - ALL OUTLET PLATES SHALL BE "WHITE" EXCEPT IF LOCATED IN CABINETS AND / OR ON A STONE BACKSPASH. VERIFY W/ ARCHITECT FOR COLOR AT THESE AREAS.
  - GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL RECEPTACLES, SMOKE ALARMS, ECT. AS REQUIRED BY CODE.
  - PROVIDE ELECTRICAL JUNCTION BOXES AS REQUIRED FOR LANDSCAPE LIGHTING.
  - PROVIDE DIMMERS ON ALL LIGHTING UNLESS OTHERWISE SPECIFIED.
  - ALL ELECTRICAL FIXTURES HAVE BEEN LOCATED BASED ON LINEAR ALIGNMENTS WITHIN THE CORRESPONDING SPACE. CONTRACTOR SHALL FIELD VERIFY ALL FIXTURE ALIGNMENTS PRIOR TO INSTALLATION. CONSULT ARCHITECT IF DISCREPANCIES ARE FOUND IN FIELD.
  - ALL WALL SWITCHES SHALL BE LOCATED "TIGHT" TO CASING AT APPLICABLE OPENINGS. MAINTAIN CONSISTANT PLACEMENT THROUGHOUT HOUSE. CONSULT ARCHITECT IF DISCREPANCIES ARE FOUND IN FIELD.
  - WALL OUTLETS SHOWN UNDER WINDOWS ARE CENTERED ON WINDOW, OFFSET FRAMING AS REQUIRED TO MAINTAIN DESIGN INTENT.
  - PROVIDE ARC FAULT PROTECTION AT ALL BEDROOMS SWITCHES, OUTLETS, FANS.



**1 THIRD FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1' WHEN PLOTTED AT 24 X 36

ALL GRAPHIC AND WRITTEN MATERIAL CONTAINED HEREIN CONSTITUTES ORIGINAL AND UNPUBLISHED WORK AND IS NOT TO BE COPIED, DISTRIBUTED, OR USED IN WHOLE OR IN PART, WITHOUT EXPRESSED WRITTEN PERMISSION OF GREGORY D. JAZAYERI, LLC. THIS DRAWING IS PROTECTED UNDER ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990.



**GREGORY D JAZAYERI**  
design  
SANTA ROSA BEACH

110 Logan Lane, Suite 1  
Santa Rosa Beach FL 32459  
Phone 850.217.3286  
Email gregjazayeri@gmail.com

**NEW RESIDENCE**  
**WATERCOLOR**  
LONG LEAF PARK  
LOT 17  
WALTON COUNTY, FL

SEAL:

DATE	DESCRIPTION
02/04/26	DATE ISSUED
09/20/24	SCHEMATIC DESIGN PHASE
10/28/24	PRELIMINARY DRB SET
01/22/25	DESIGN DEVELOPMENT SET
02/24/25	FINAL DRB SET
03/25/25	PERMIT SET
05/28/25	REVISION 1
02/04/26	REVISION 1

DRAWN BY: GDJ  
GREGORY D. JAZAYERI, LLC  
REVISION 2  
ELECTRICAL

PROJECT NO. 240617  
SHEET TITLE  
**E-103**