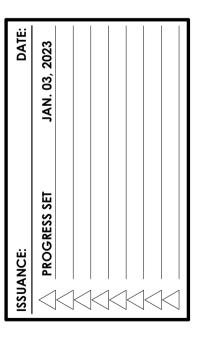


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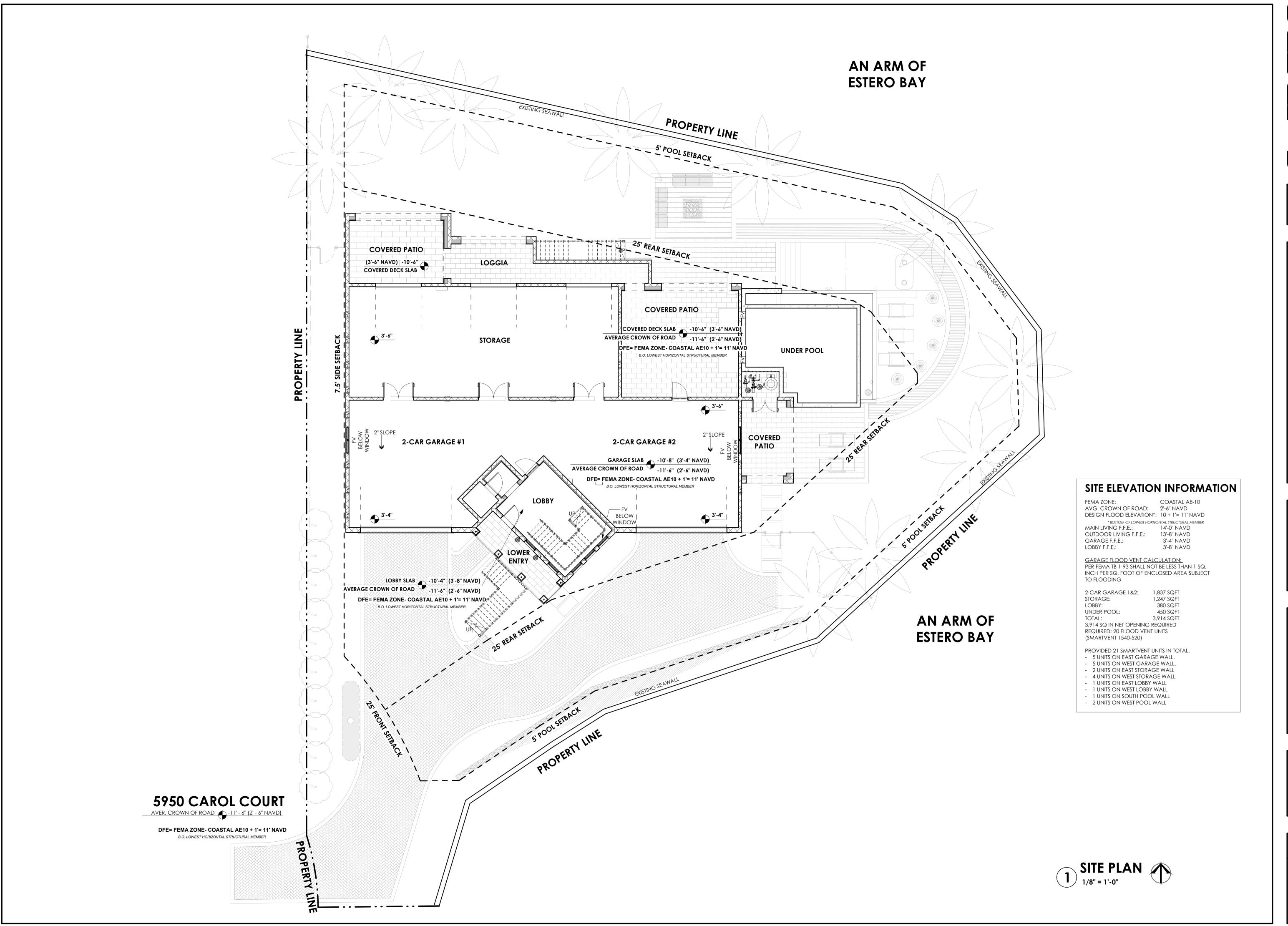
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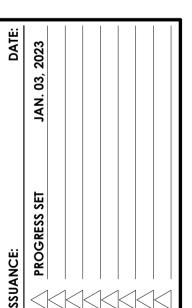
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SITE PLAN

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A1

GENERAL NOTES

- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL
- B. GARAGE WALLS AND CEILINGS THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8"
 "DENSARMOR PLUS" FIREGUARD
- C. UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH SIDES ON 2" X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.
- D. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
- E. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
- F. THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED, THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE, USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
- G. CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
- H. HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALUE HOSE BOX" OR EQUAL.
- I. BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES
- J. POOL ALARMS TO BE INSTALLED AT EACH DOOR AND WINDOW WITH DIRECT ACCESS TO POOL/SPA AREA, IN COMPLIANCE WITH THE FBC RESIDENTIAL, 7TH EDITION (2020).
- K. IF THERE IS NO SCREEN CAGE @ POOL/ SPA, A SAFETY FENCE AROUND THE POOLS IS REQUIRED.
- L. CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".
- M. A/C COMPRESSORS TO BE INSTALLED AT OR ABOVE 15'-0" NAVD

KITCHEN NOTES:

A. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

(A5.1)2

PROVIDED 20 SMARTVENT UNITS IN TOTAL.

- 5 UNITS ON EAST GARAGE WALL.

- 5 UNITS ON WEST GARAGE WALL.

- 2 UNITS ON EAST STORAGE WALL

- 4 UNITS ON WEST STORAGE WALL

1 UNITS ON EAST LOBBY WALL1 UNITS ON WEST LOBBY WALL

- 1 UNITS ON SOUTH POOL WALL

- 2 UNITS ON WEST POOL WALL

- B. MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS
- C. FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS

GARAGE FLOOD VENT CALCULATION:

1,837 SQFT

1,247 SQFT

380 SQFT

450 SQFT 3,914 SQFT

FLOOD VENTS SHOWN TO BE INSTALLED BELOW FIRST FLOOR SLAB AT GARAGE SLAB. WHITE FINISH TO MATCH HOUSE.

SUBJECT TO FLOODING.

2-CAR GARAGE 1&2:

(SMARTVENT 1540-520)

3,914 SQ IN NET OPENING REQUIRED REQUIRED: 20 FLOOD VENT UNITS

STORAGE:

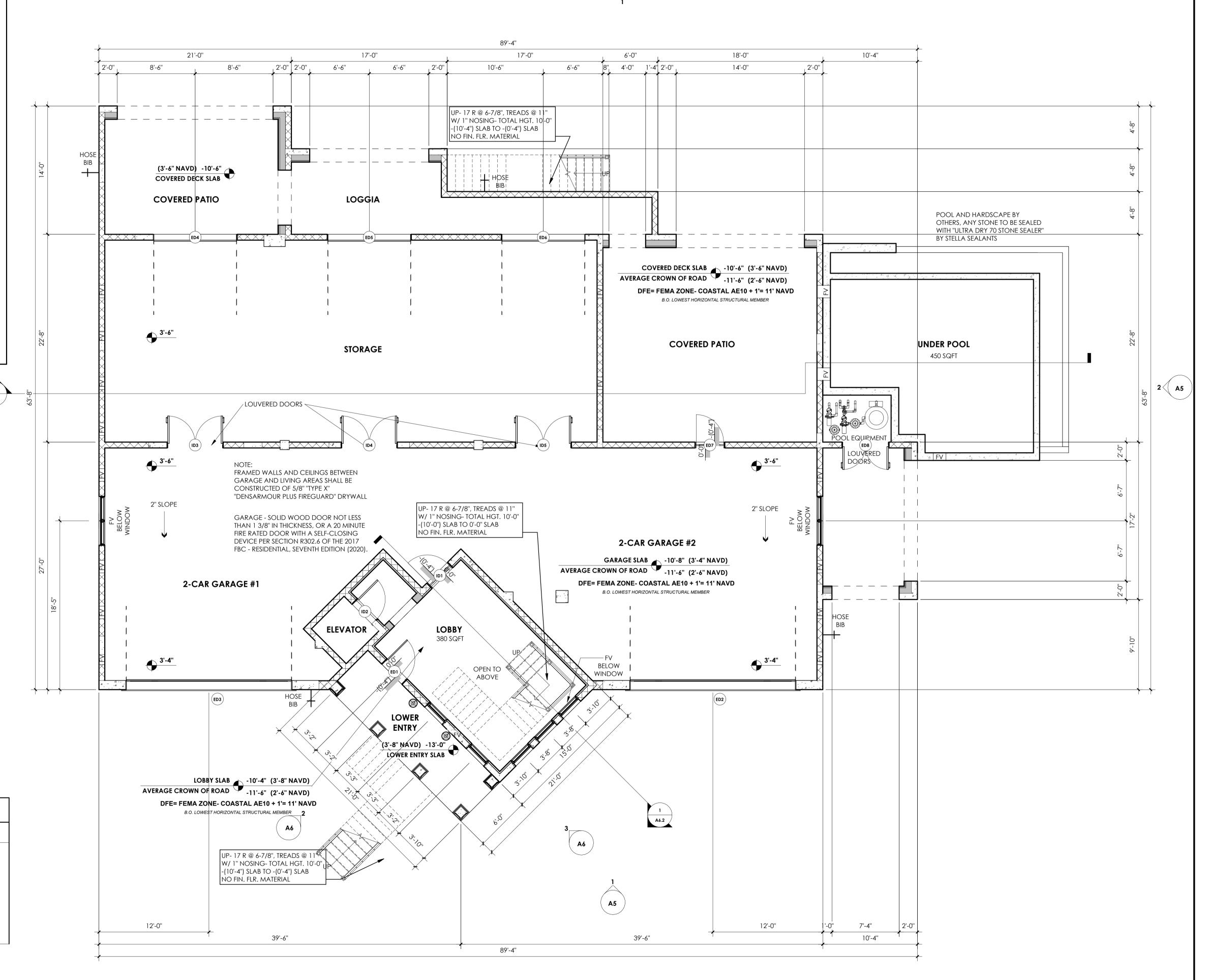
UNDER POOL:

LOBBY:

TOTAL:

PER FEMA TB 1-08 SHALL NOT BE LESS THAN 1 SQUARE INCH PER SQUARE FOOT OF ENCLOSED AREA



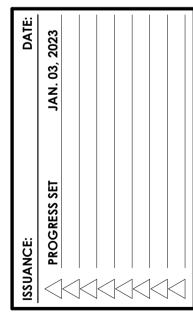


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GROUND FLOOR PLAN

PHASE CD 22040

A 2

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GROUND FLOOR

3/16" = 1'-0"

GENERAL NOTES

- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2
- . GARAGE WALLS AND CEILINGS THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" "DENSARMOR PLUS" FIREGUARD
- . UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH
- SIDES ON 2" X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED. DOUBLE 8" CMU WALL 8" CMU WALL (12.A) 2X12 W/3/8" AIR SPACE AND 4 2X4 8 8" CMU 8.A W/2X4 FLAT FRAME FURRIN WALL 2X FLAT FRAME FURRING FRAME FURRING AND 3/8" AIR
 SPACE

 12" CMU WALL
 16.B
 W/3/8" AIR SPACE AND W/ 2X4 2x4 FURRING
- AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.

FURRING

- E. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
- . THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED, THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE, USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
- G. CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
- H. HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALUE HOSE BOX" OR EQUAL.
- BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND
- I. POOL ALARMS TO BE INSTALLED AT EACH DOOR AND WINDOW WITH DIRECT ACCESS TO POOL/SPA AREA, IN COMPLIANCE WITH THE FBC - RESIDENTIAL, 7TH EDITION (2020).
- K. IF THERE IS NO SCREEN CAGE @ POOL/ SPA, A SAFETY FENCE AROUND THE POOLS IS REQUIRED.
- . CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".
- M. A/C COMPRESSORS TO BE INSTALLED AT OR ABOVE 12'-0" NAVD

KITCHEN NOTES:

- A. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- . MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS
- C. FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS





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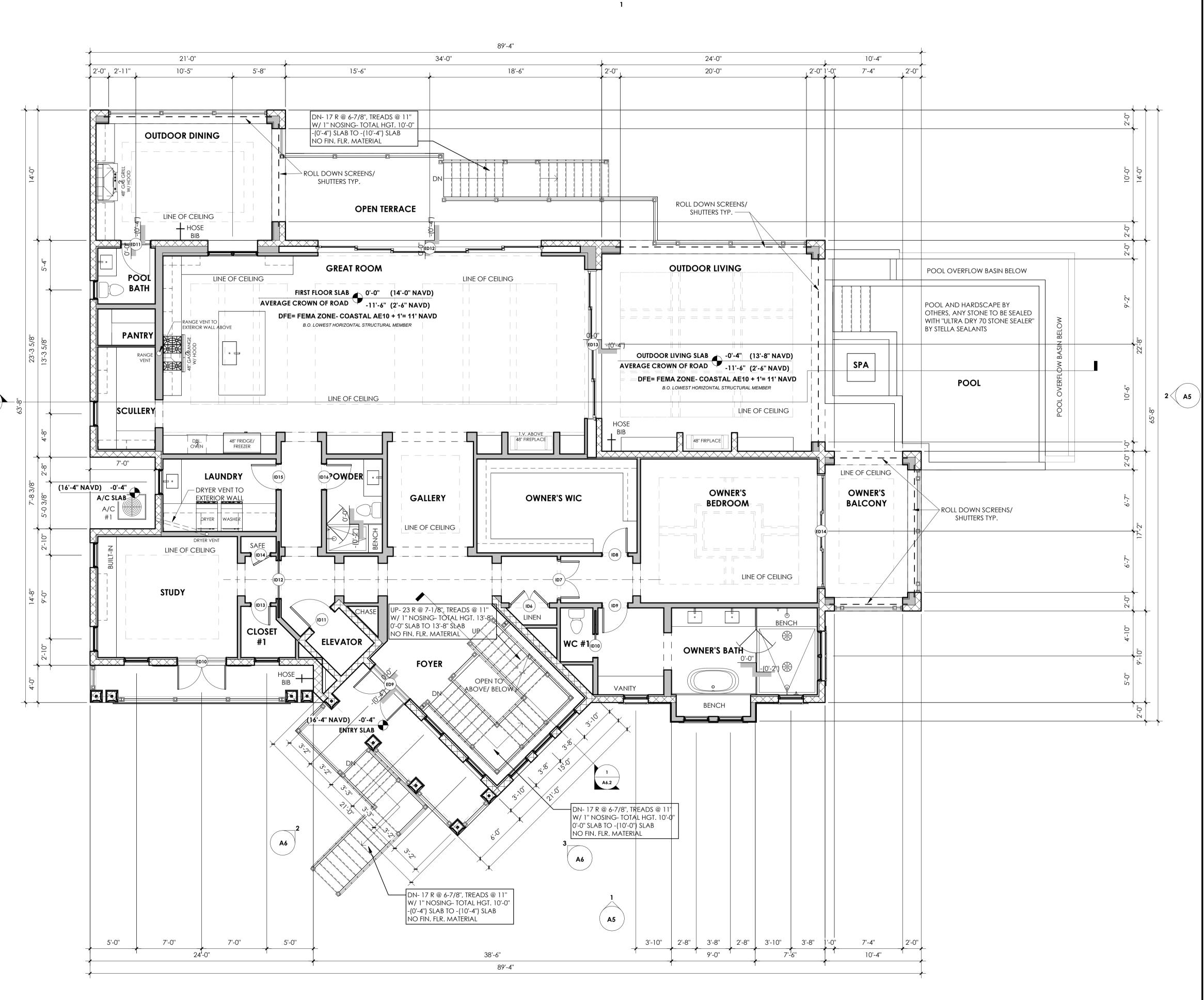
FIRST FLOOR

PLAN

PR NO 22040

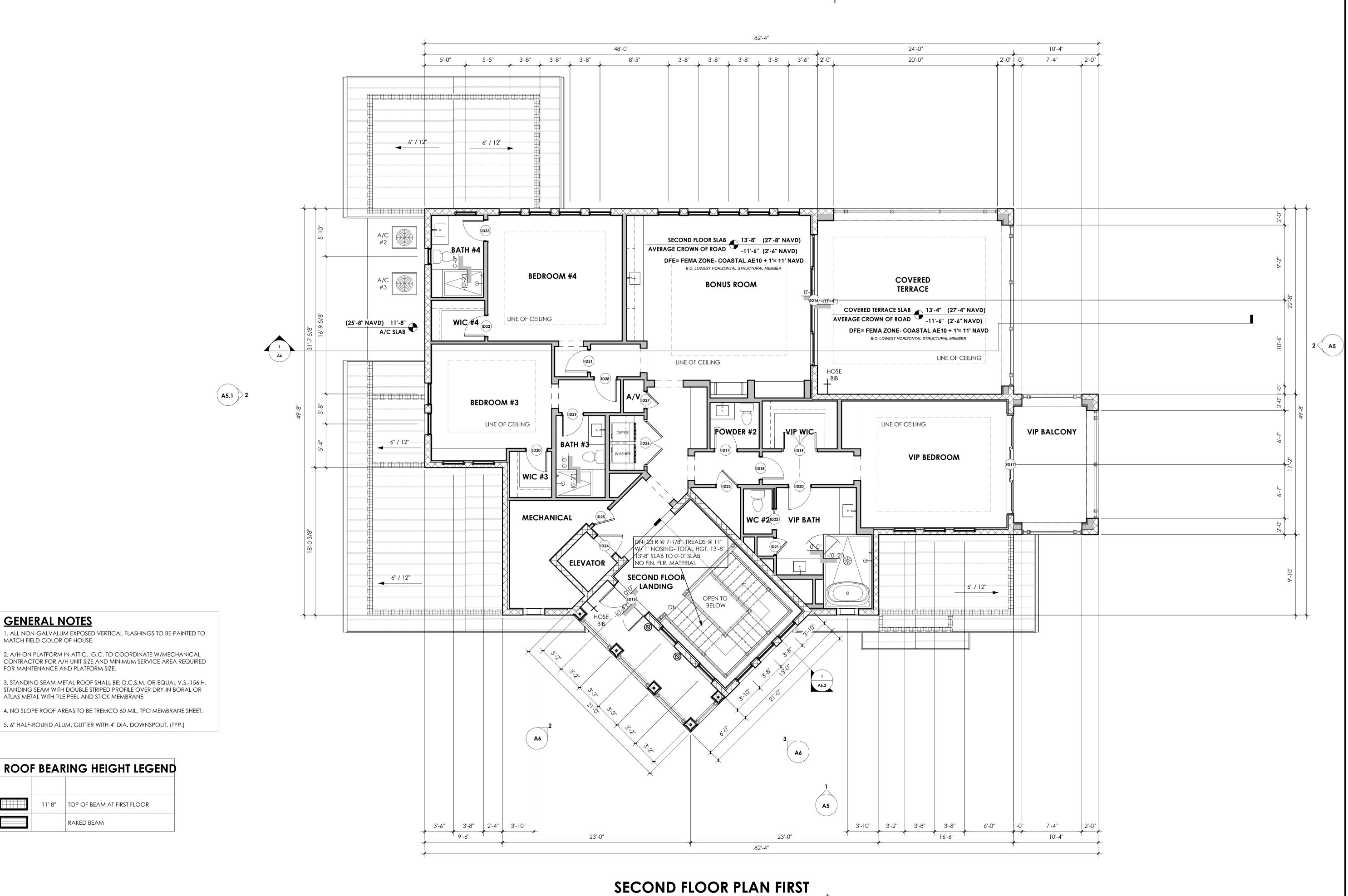
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1 FIRST FLOOR
3/16" = 1'-0"



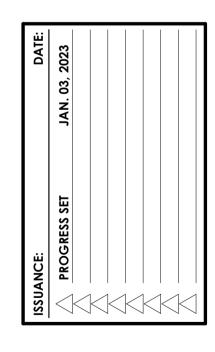


FLOOR ROOF PLAN
3/16" = 1'-0"

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SECOND FLOOR PLAN / FIRST FLOOR **ROOF PLAN**

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GENERAL NOTES

FOR MAINTENANCE AND PLATFORM SIZE.

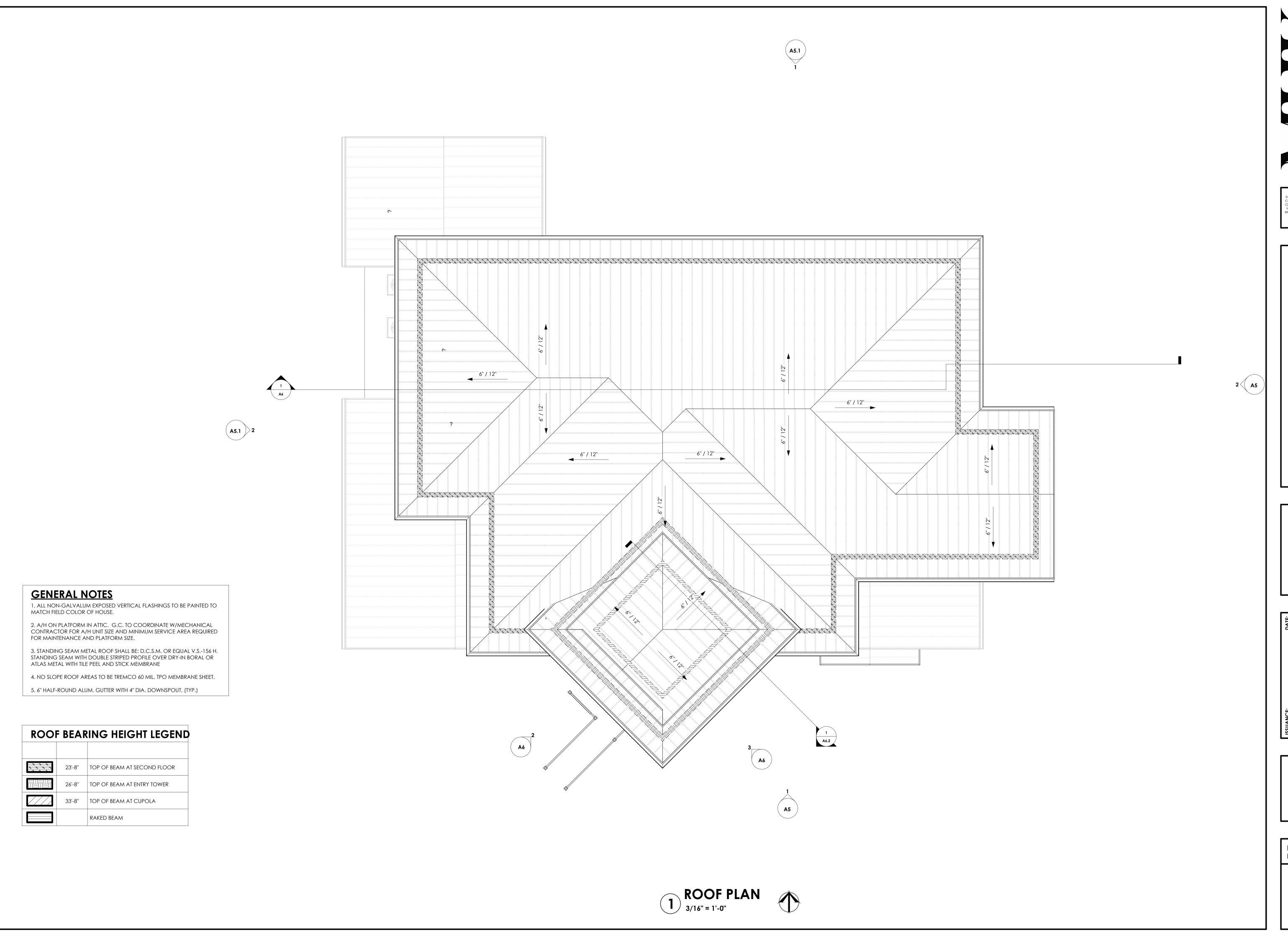
ATLAS METAL WITH TILE PEEL AND STICK MEMBRANE

5. 6" HALF-ROUND ALUM. GUTTER WITH 4" DIA. DOWNSPOUT, (TYP.)

ROOF BEARING HEIGHT LEGEND

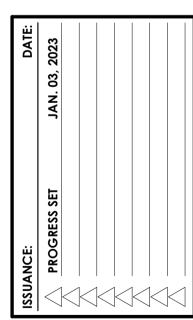
11'-8" TOP OF BEAM AT FIRST FLOOR

RAKED BEAM



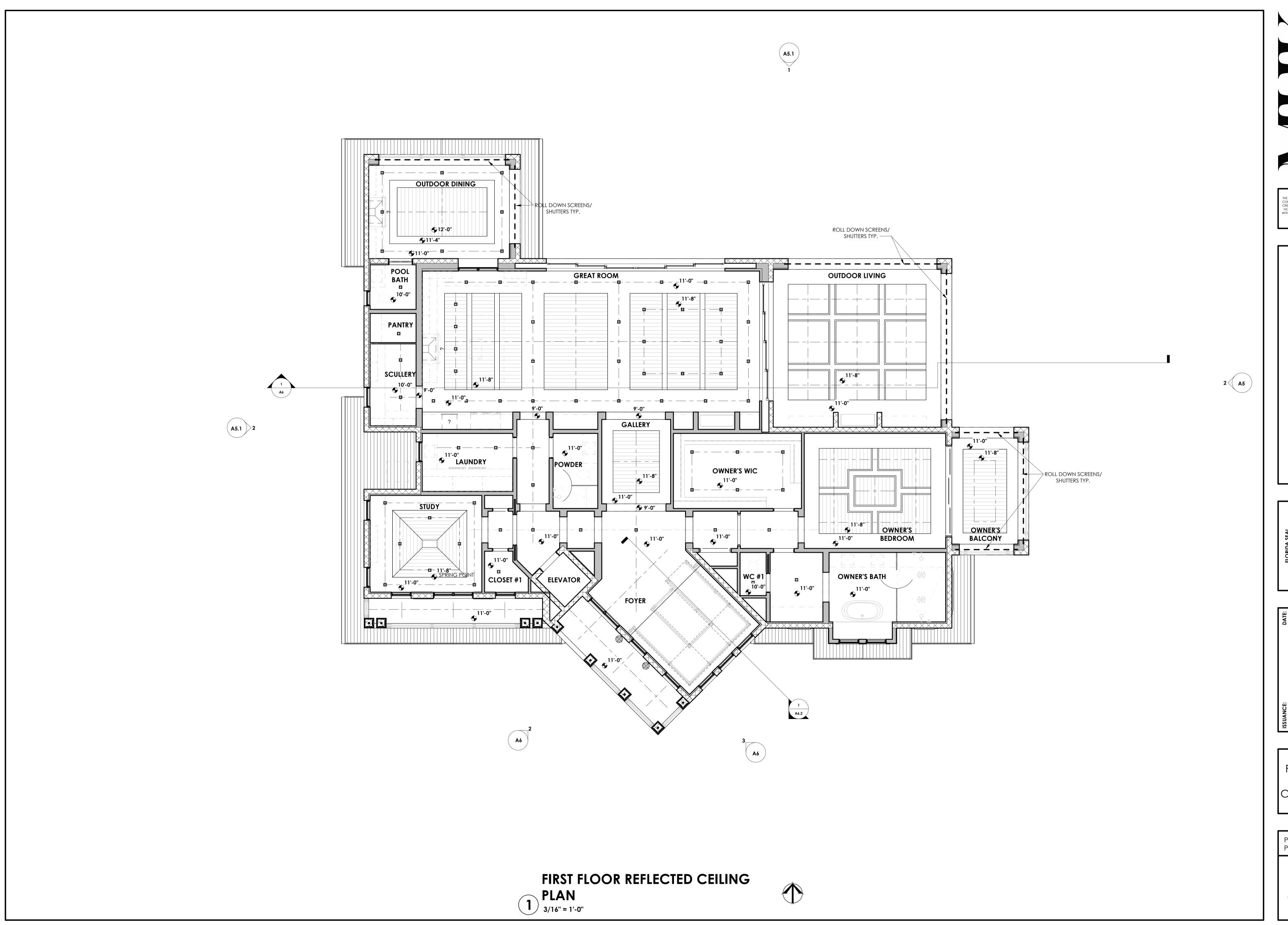


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ROOF PLAN

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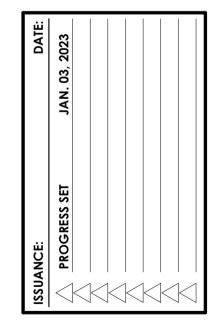


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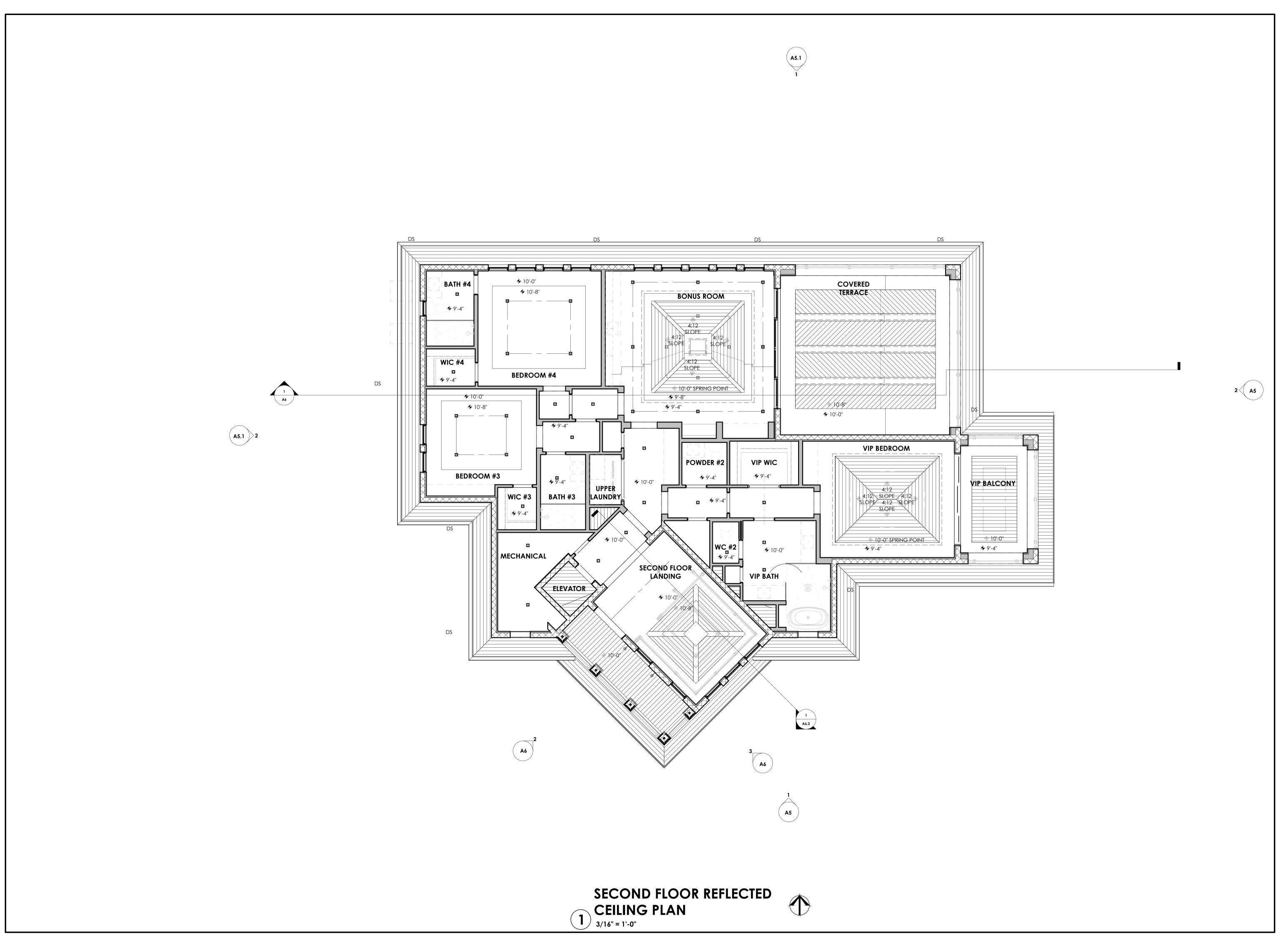
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FIRST FLOOR REFLECTED CEILING PLAN

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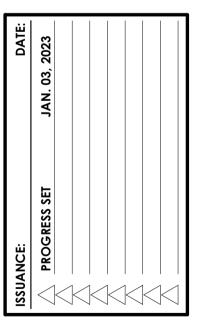
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SECOND FLOOR REFLECTED CEILING PLAN

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A4.2

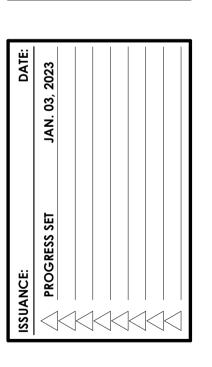


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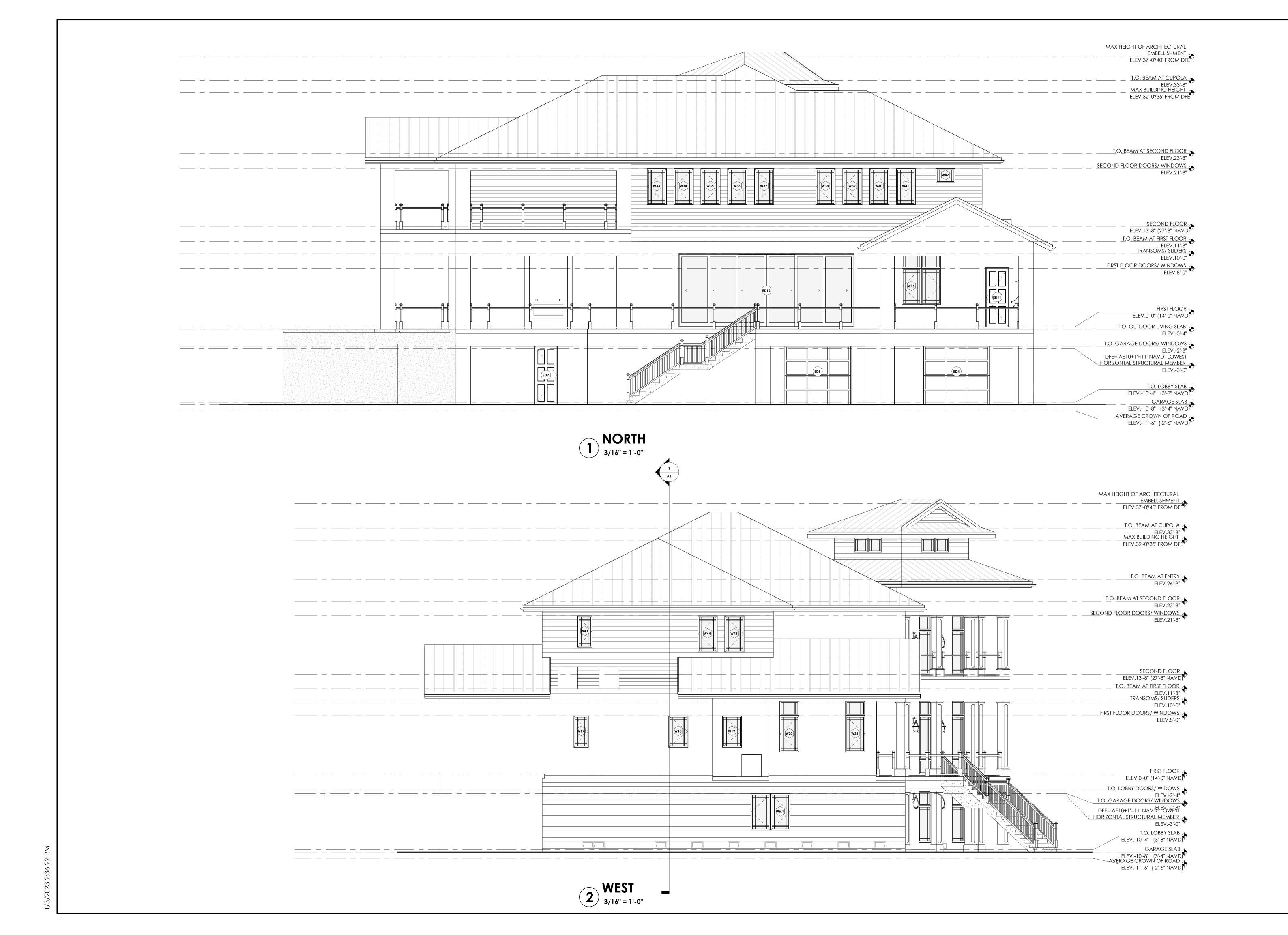
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ELEVATIONS

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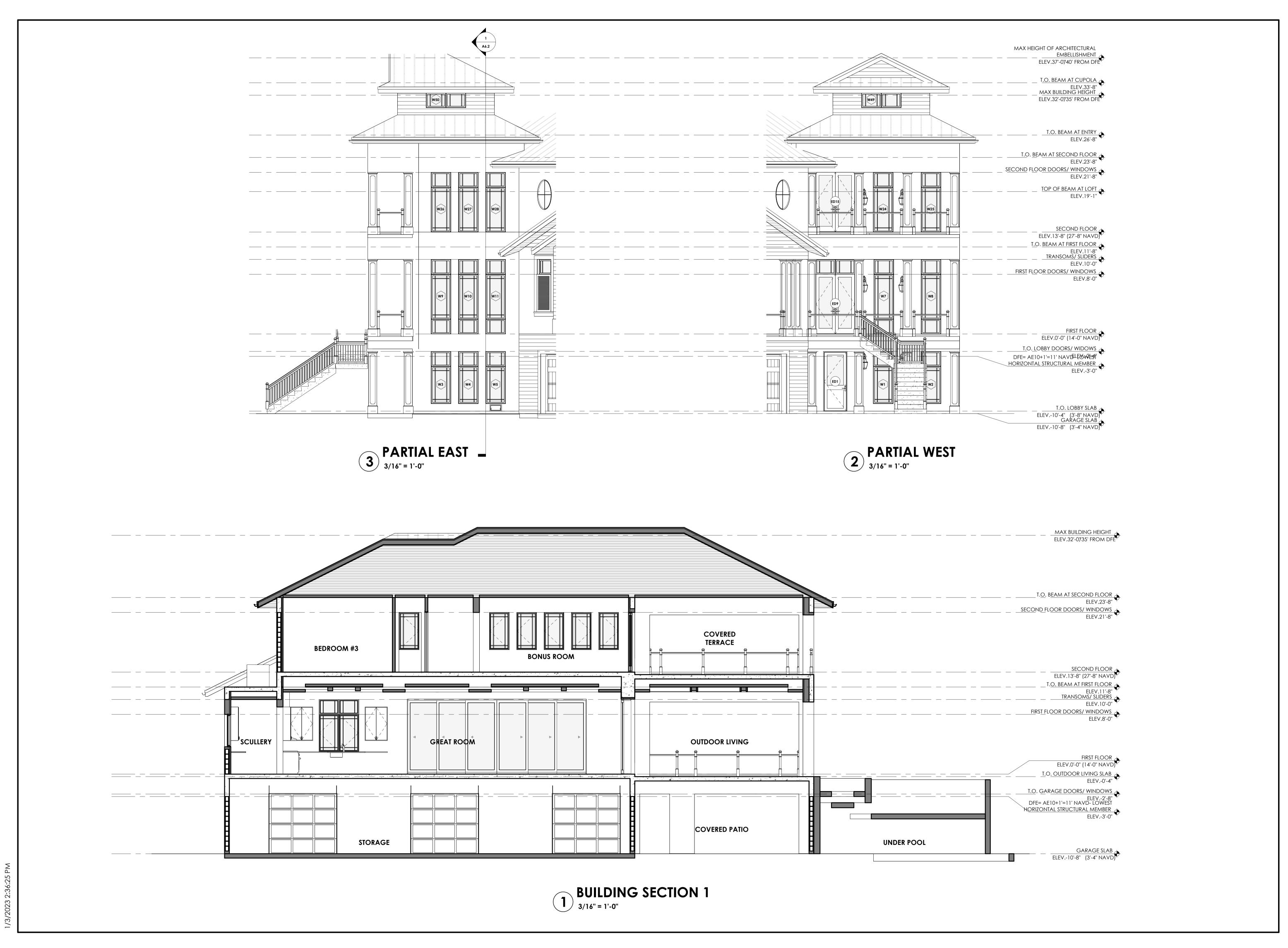
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ISSUANCE: DATE:
PROGRESS SET JAN. 03, 2023

ELEVATIONS

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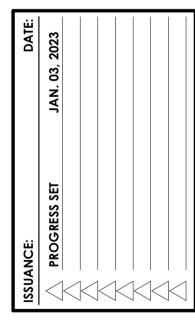
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BUILDING SECTIONS

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A6

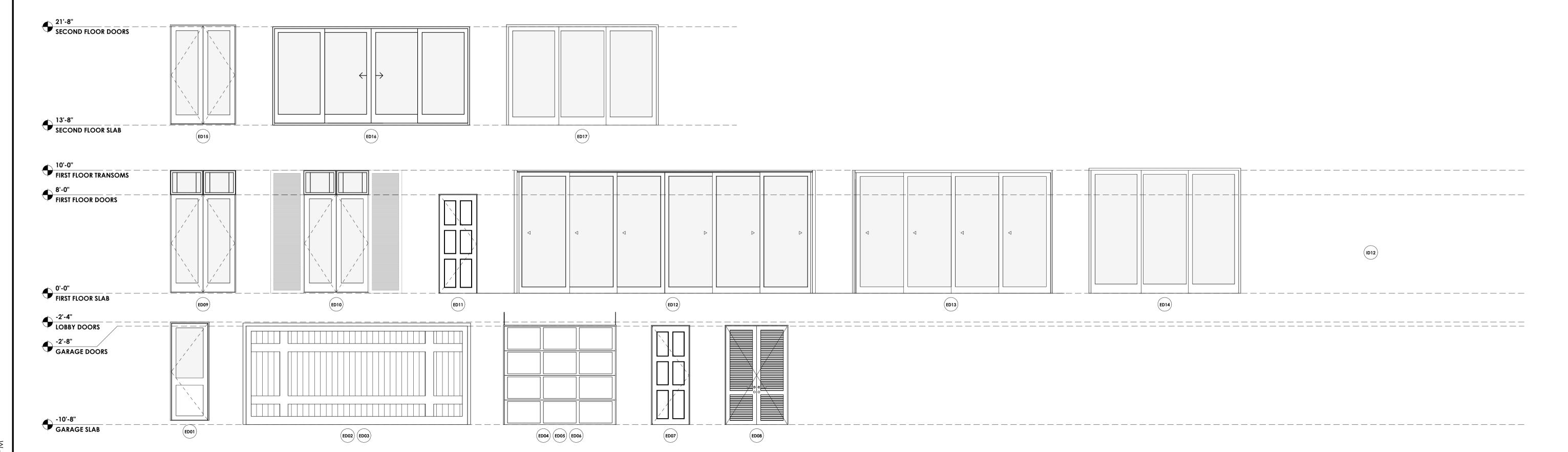
	DOOR SCHEDULE									
TAG	WIDTH	HEIGHT	TYPE	MATERIAL	MANUFACTURER	COMMENTS				
		-								
ED1	3'-0''	7'-11"	SWING	WOOD	TBD	GROUND FLOOR ENTRY/ LOBBY				
ED2	18'-0"	8'-0''	ROLL-UP	ALUMINUM	CHI 5800	2-CAR GARAGE #2				
ED3	18'-0"	8'-0''	ROLL-UP	ALUMINUM	CHI 5800	2-CAR GARAGE #1				
ED4	9'-0''	8'-0''	ROLL-UP	ALUMINUM	CHI 5800	STORAGE				
ED5	9'-0''	8'-0''	ROLL-UP	ALUMINUM	CHI 5800	STORAGE				
ED6	9'-0''	8'-0''	ROLL-UP	ALUMINUM	CHI 5800	STORAGE				
ED7	3'-0''	8'-0''	SWING	CLAD	THERMATRU	2-CAR GARAGE #2 TO COVERED PATIO				
ED8	5'-0''	8'-0''	DBL SWING	ALUMINUM	CLINE	POOL EQUIPMENT				
ED9	5'-2"	8'-0''	DBL SWING	CLAD	ANDERSEN PATIO	FRONT ENTRY- (2) 2'-8" X 2'-0" TRANSOM W/ MANUFACTURE MULLS				
ED10	5'-2"	8'-0''	DBL SWING	CLAD	ANDERSEN PATIO	STUDY- (2) 2'-8" X 2'-0" TRANSOM W/ MANUFACTURE MULLS; (2) 10' X 2'-8" BAHAMA SHUTTER; EGRESS				
ED11	3'-0''	8'-0''	SWING	CLAD	THERMATRU	POOL BATH				
ED12	24'-0''	10'-0''	GLASS SLIDER	ALUMINUM	WINDOOR	GREAT ROOM- 6 PANEL DOUBLE POCKETING				
ED13	16'-0"	10'-0''	GLASS SLIDER	ALUMINUM	WINDOOR	GREAT ROOM- 4 PANEL; EGRESS				
ED14	12'-0"	10'-0''	GLASS SLIDER	ALUMINUM	ANDERSEN PATIO	OWNER'S BEDROOM- 3 PANEL STACKING				
ED15	5'-2"	8'-0''	DBL SWING	CLAD	ANDERSEN PATIO	SECOND FLOOR LANDING				
ED16	16'-0''	8'-0''	GLASS SLIDER	ALUMINUM	ANDERSEN PATIO	BONUS ROOM- 4 PANEL STACKING				
ED17	12'-0"	8'-0''	GLASS SLIDER	ALUMINUM		VIP BEDROOM- 3 PANEL STACKING; EGRESS				

N	0	T	E	<u>S</u>

- 1. WINDOW GLASS SHALL BE 366 CLEAR LOW-E LARGE MISSILE IMPACT RATED PER FBC RESIDENTIAL 7TH EDITION (2020)
- 2. WINDOW AND DOOR MANUFACTURERS SHALL VERIFY ALL QUANTITIES PRIOR TO MANUFACTURING.
- 3. MULLIONS TO BE APPLIED TO EXTERIOR AND INTERIOR OF GLASS; IF GLASS IS INSULATED, SPACER BAR TO BE PROVIDED INSIDE OF GLASS BETWEEN MULLIONS.
- 4. ALL WINDOW AND DOOR VIEWS SHOWN ARE FROM EXTERIOR, UNLESS SPECIFICALLY NOTED.
- 5. AT ALL WINDOWS AND DOORS THAT OPEN DIRECTLY TO THE POOL/SPA, POOL ALARMS SHALL BE INSTALLED IN COMPLIANCE WITH THE 2020 FLORIDA
- BUILDING CODE, SEVENTH EDITION.
- 6. INTERIOR DOOR PANEL DESIGN AS APPROVED BY OWNER, INTERIOR DESIGN TEAM OR ARCHITECT.
- 7. ALL EXTERIOR DOOR PANEL DESIGNS TO BE APPROVED BY OWNER.

TAG	WIDTH	HEIGHT	TYPE	MATERIAL	MANUFACTURER	COMMENTS
ID1	3'-0''	8'-0''	SWING	WOOD	TRUSTILE	2-CAR GARAGE #2 TO LOBBY- SOLID WOOD DOOR NOT LESS THAN 1 3/8" IN THICKNESS OR A 20 MINUTE FIRE RATED DOOR WITH A SELF-CLOSING MECHANISM PER R302.5.1 OF THE 2020 FBC- FESIDENTIAL SEVENTH EDITION
ID2	3'-0''	8'-0''	SWING	MDF	TRUSTILE	GROUND FLOOR- LOBBY TO ELEVATOR
ID3	6'-0''	8'-0"	DBL SWING	ALUMINUM	CLINE	GARAGE TO STORAGE
ID4	6'-0''	8'-0''	DBL SWING	ALUMINUM	CLINE	GARAGE TO STORAGE
ID5	6'-0''	8'-0"	DBL SWING	ALUMINUM	CLINE	GARAGE TO STORAGE
ID6	4'-0''	8'-0"	DBL SWING	MDF	TRUSTILE	LINEN
ID7	4'-0''	8'-0''	DBL SWING	MDF	TRUSTILE	ENTRY TO OWNER'S BEDROOM
ID8	2'-8''	8'-0''	SWING	MDF	TRUSTILE	OWNER'S WIC
ID9	2'-8''	8'-0"	SWING	MDF	TRUSTILE	OWNER'S BATH
ID10	2'-6''	8'-0''	POCKET	MDF	TRUSTILE	WC #1 IN OWNER'S BATH
ID11	3'-0''	8'-0''	SWING	MDF	TRUSTILE	FIRST FLOOR- ELEVATOR
ID12	4'-0''	8'-0''	DBL POCKET	MDF	TRUSTILE	STUDY
ID13	2'-0''	8'-0''	SWING	MDF	TRUSTILE	CLOSET #1 IN STUDY
ID14	2'-0''	8'-0''	SWING	MDF	TRUSTILE	SAFE IN STUDY
ID15	2'-8''	8'-0''	SWING	MDF	TRUSTILE	LAUNDRY- FIRST FLOOR
ID16	2'-8''	8'-0''	SWING	MDF	TRUSTILE	POWDER- FIRST FLOOR
ID17	2'-8''	8'-0''	SWING	MDF	TRUSTILE	POWDER #2- SECOND FLOOR
ID18	2'-8''	8'-0''	SWING	MDF	TRUSTILE	ENTRY TO VIP BEDROOM
ID19	4'-0''	8'-0''	DBL SWING	MDF	TRUSTILE	VIP WIC
ID20	2'-8''	8'-0''	SWING	MDF	TRUSTILE	VIP BATH
ID21	2'-0''	8'-0"	SWING	MDF	TRUSTILE	LINEN IN VIP BATH
ID22	2'-6''	8'-0"	POCKET	MDF	TRUSTILE	WC #2 IN VIP BATH
ID23	2'-6''	8'-0"	SWING	MDF	TRUSTILE	LINEN
ID24	3'-0''	8'-0"	SWING	MDF	TRUSTILE	ELEVATOR
ID25	2'-6''	8'-0"	SWING	MDF	TRUSTILE	MECHANICAL ROOM
ID26	5'-4''	7'-0''	DBL SWING	MDF	TRUSTILE	UPPER LAUNDRY- SECOND FLOOR
ID27	2'-0''	8'-0"	SWING	MDF	TRUSTILE	A/V CLOSET
ID28	2'-8''	8'-0''	SWING	MDF	TRUSTILE	BEDROOM #3
ID29	2'-6''	8'-0''	SWING	MDF	TRUSTILE	BATH #3
ID30	2'-6''	8'-0''	SWING	MDF	TRUSTILE	WIC #3
ID31	+	8'-0"	SWING	MDF	TRUSTILE	BEDROOM #4
ID32	2'-6''	8'-0"	SWING	MDF	TRUSTILE	WIC #4
ID33	+	8'-0"	SWING	MDF	TRUSTILE	BATH #4

DOOR SCHEDULE

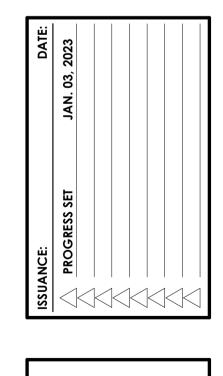


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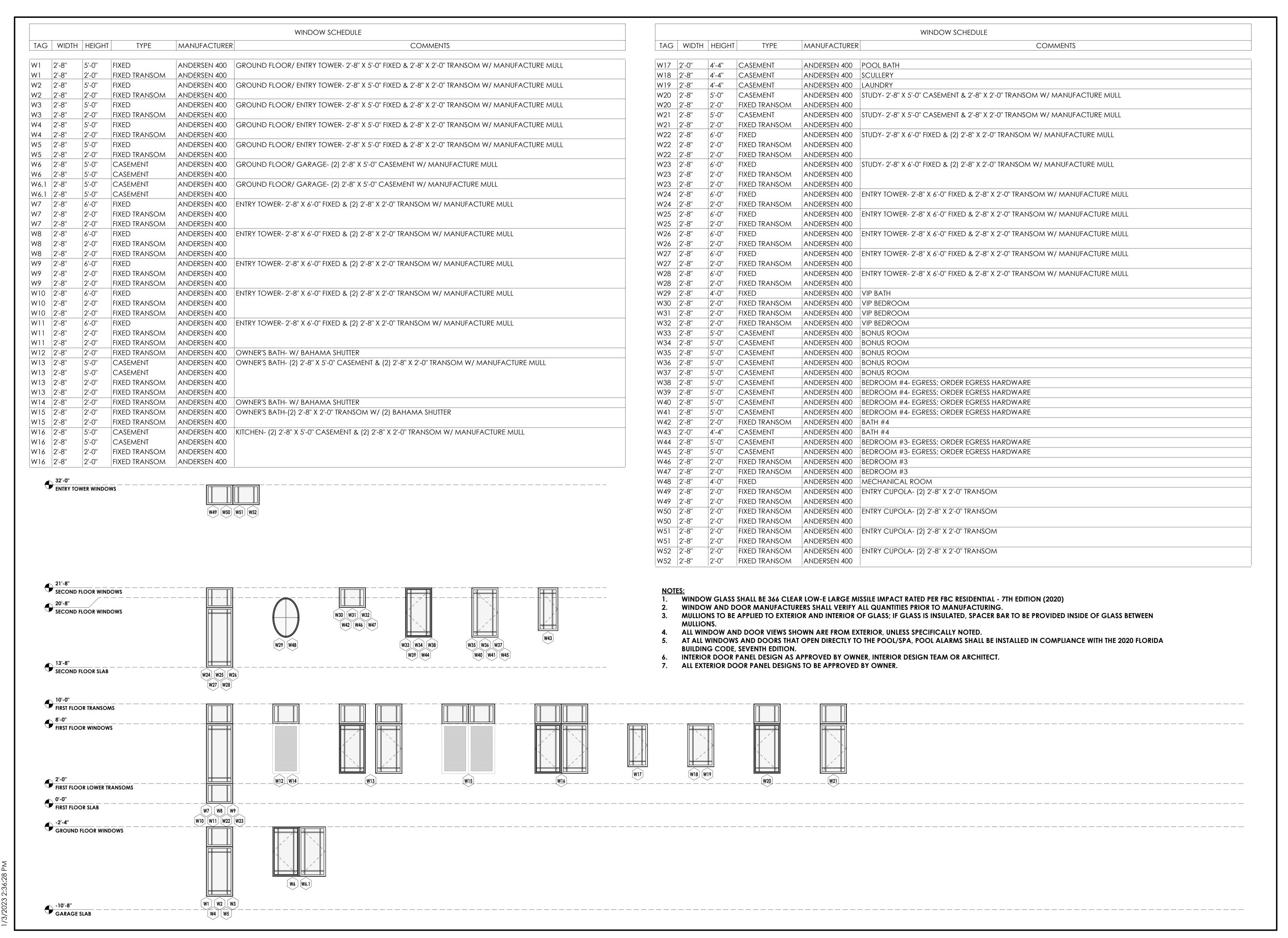
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DOOR SCHEDULE

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A7



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ISSUANCE: DATE:

PROGRESS SET JAN. 03, 2023

WINDOW SCHEDULE

PHASE CD PR NO 22040

47.1