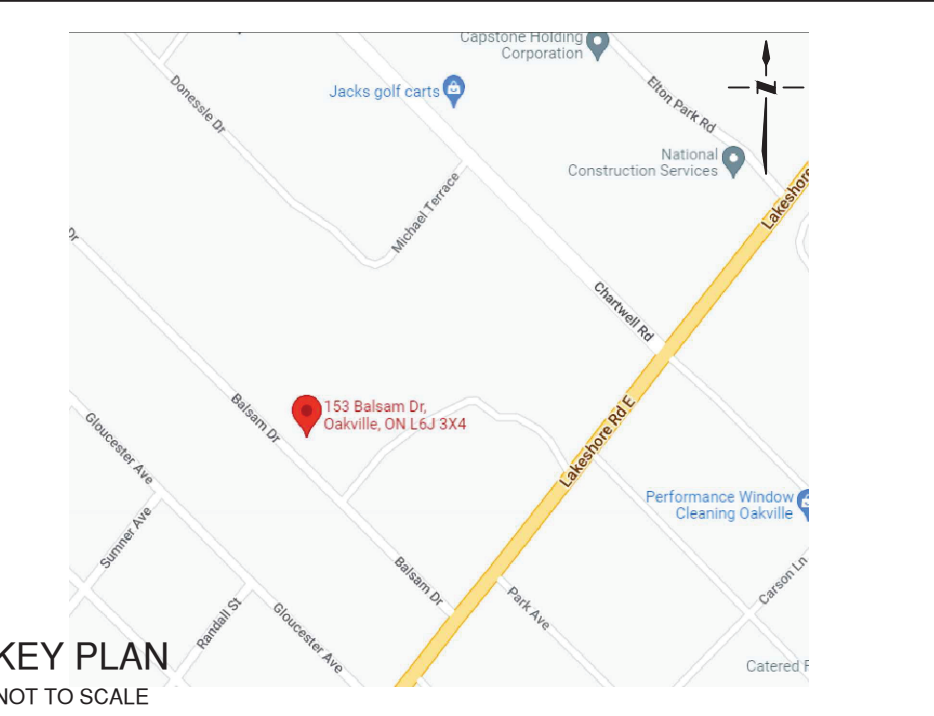
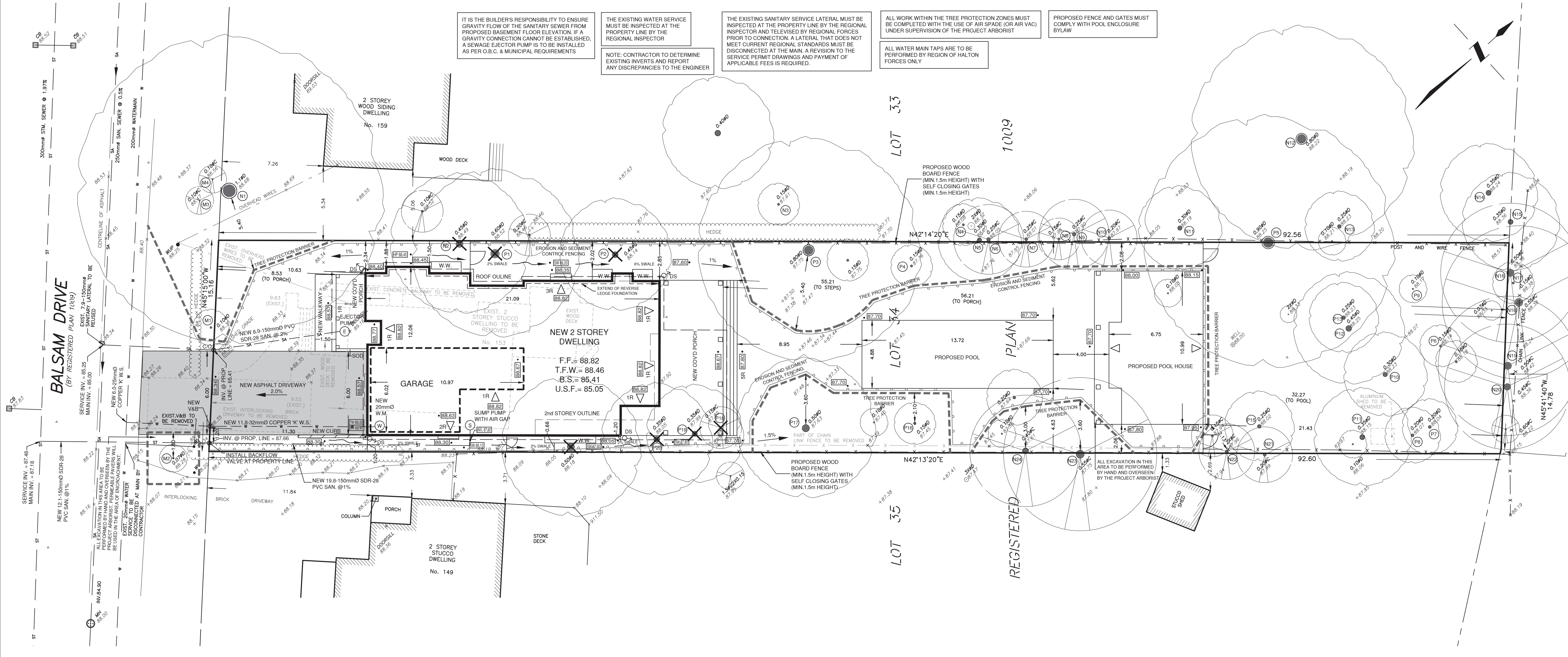


METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048



LEGAL DESCRIPTION:
LOT 34
REGISTERED PLAN 1009
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON
SCALE 1 : 150
2 1 0 2 4 6 8 10 metres

SURVEY INFORMATION
SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY
TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED SEPTEMBER 12, 2022

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND WERE DERIVED FROM TOWN OF
OAKVILLE BENCHMARK No. 3, HAVING A PUBLISHED ELEVATION OF 86.5705 metres.

UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND
IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO
BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY
EXCAVATION. TARASICK, McMILLAN LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR
LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

LEGEND	
CB	DENOTES CATCH BASIN
FH	DENOTES FIRE HYDRANT
MH	DENOTES MANHOLE
WUP	DENOTES WOOD UTILITY POLE
WV	DENOTES WATER VALVE
WV	DENOTES ENTRY POINT AT LOWER LEVEL
WV	DENOTES ENTRY POINT AT GROUND FLOOR
WV	DENOTES EXISTING SPOT ELEVATION
WV	DENOTES PROPOSED SPOT ELEVATION
WV	DENOTES PROPOSED RAINWATER DOWNSPOUT
WV	DENOTES AREA DRAIN
WV	0.300 DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
WV	0.300 DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER
WV	0.300 DENOTES TREE TO BE REMOVED
WV	0.300 DENOTES REPLACEMENT TREE
WV	0.300 DENOTES TREE PROTECTION ZONE
WV	0.300 DENOTES DIRECTION AND GRADIENT OF DRAINAGE
WV	0.300 DENOTES DIRECTION OF SWALE

DO NOT SCALE DRAWINGS
1) CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON
SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING
WITH ANY OF THE WORK.
2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED
UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE
WRITTEN APPROVAL OF THE DESIGNER.
3) ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

1	DATE	REVISION

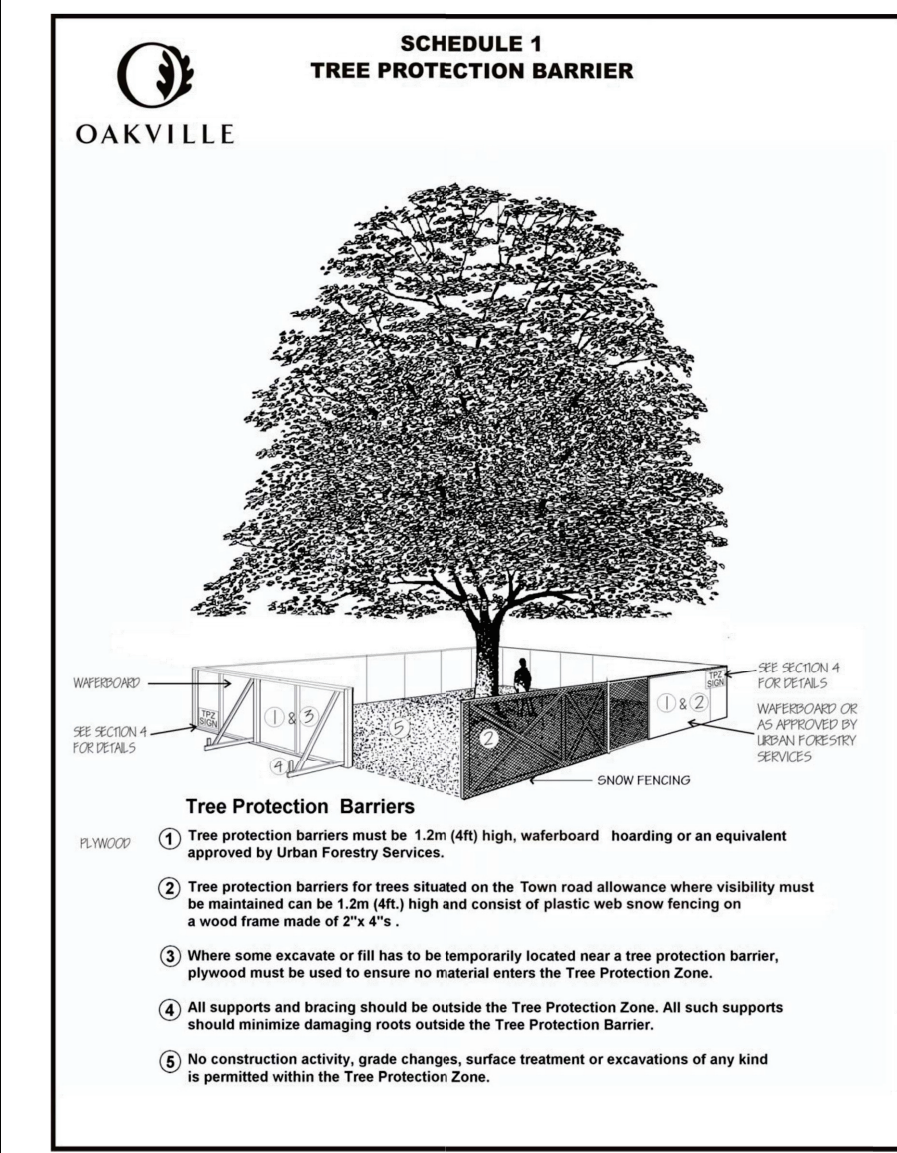
CERTIFICATION FOR PROPOSED GRADING
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 153
BALSAM DRIVE AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE
PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF
THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN ON THESE PLANS WILL HAVE AN ADEQUATE
DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITH MINOR DETRIMENTAL
EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.
DATE: FEBRUARY 8, 2023
MISSISSAUGA, ONTARIO
BORYS KUBICKI, P. Eng, Surveyor

APPLICANT/ OWNER
RORY MELENICIS
375 REYNOLDS STREET
OAKVILLE, ON
L6J 3M1

DESIGNED BY: D.H.
SHEET TITLE:
SITE GRADING & SERVICING PLAN

PROJECT:
PROPOSED 2 STOREY DWELLING, INGROUND POOL, AND POOL HOUSE
153 BALSAM DRIVE, OAKVILLE

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com
SCALE: 1:150
DRAWN BY: D.H. FILE No. 9539-2022-12-22



SEWERS
EXISTING SANITARY SEWER WILL BE USED.
DEPTH OF SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED
IN FIELD PRIOR TO CONSTRUCTION TO ENSURE GRAVITY FLOW.
SUMP PUMP
FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE SURFACE
AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.
GENERAL NOTES
A) SILTATION CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR PRIOR TO
THE COMMENCEMENT OF SITE GRADING WORKS. TO SATISFACTION OF THE CITY AND HALTON
CONSERVATION
B) IF CONSTRUCTION IS INTERRUPTED AND/OR INACTIVITY EXCESS 30 DAYS, STRIPPED/ BASE
AREAS SHALL BE STABILIZED BY SEEDING.
C) THE SEDIMENT CONTROL DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL AND/ OR
EVERY WEEK.
D) THE SEDIMENT CONTROL DEVICES MUST BE REPAIRED, CLEANED AND/ OR REPLACED IF
NECESSARY OR AS DIRECTED BY THE ENGINEER, CONSERVATION AUTHORITY OR THE CITY.
E) ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION,
GRADING, TOPSOILING AND SODDING ARE COMPLETE.
F) WHEN ALL CONSTRUCTION, GRADING AND SODDING IS COMPLETED, THE SEDIMENT
CONTROL DEVICES SHALL BE REMOVED AND THE DISTURBED AREAS REINTEGRATED.
G) ALL CATCH BASINS ON SITE SHALL HAVE PROPER SEDIMENT CONTROLS AS NOTED HEREON.
H) THE EROSION & SEDIMENT CONTROL FENCE SHALL BE AS DETAILLED.
I) CONTRACTOR TO OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FOR PROPOSED
WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCES.

REGIONAL APPROVAL
REGION DESIGN OF WATER AND/OR WASTEWATER SERVICES APPROVED SUBJECT TO DETAIL CONSTRUCTION
CONFORMING TO HALTON REGION STANDARDS AND SPECIFICATIONS AND LOCATION APPROVAL FROM THE AREA
MUNICIPALITY.
DATED: _____ SIGNED: _____
INFRASTRUCTURE PLANNING AND POLICY
THE APPLICANT SHOULD BE AWARE THAT THE APPROVAL OF THE WATER SYSTEM ON PRIVATE PROPERTY IS THE
RESPONSIBILITY OF THE LOCAL MUNICIPALITY. REGARDLESS, THE APPLICANT MUST ENSURE THAT THE REGION
OF HALTON'S STANDARDS AND SPECIFICATIONS ARE MET (THE WATER AND WASTEWATER LINEAR DESIGN
MANUAL MAY BE OBTAINED FROM THE DATA MANAGEMENT GROUP AT 905-825-6033) FURTHERMORE, ALL WATER
QUALITY TESTS MUST BE COMPLETED TO THE REGION OF HALTON'S SATISFACTION BEFORE THE WATER SUPPLY
CAN BE TURNED ON.
ANY WATER OR SANITARY SERVICE THAT DOES NOT MEET CURRENT REGIONAL STANDARDS MUST BE
DISCONNECTED AT THE MAIN, AND A NEW SERVICE CONNECTED AT THE SITE DEVELOPER'S EXPENSE.

EXISTING ZONING	RL1-0 By By-law 2014-014		
LOT AREA	1401.5 m²		
LOT FRONTAGE	15.16 m		
BUILDING DATA	ALLOWED	PROPOSED	
MAX. LOT COVERAGE	(25%) 350.4 m²	(24.9%) 349.48 m²	
GROSS FLOOR AREA			173.9 m²
GROUND FLOOR			217.1 m²
SECOND FLOOR			55.2 m²
GARAGE			
TOTAL	(29%) 406.4 m²	27.9% 391.00 m²	
HIGHEST RIDGE			8.9 m
EAVES			6.45 m
MAX. HEIGHT	9.00 m		8.9 m
SETBACKS:			
MIN. FRONT YARD	5.98 m	8.53 m	
MIN. REAR YARD	10.50 m	21.43 m	
MIN. SIDE YARD			
(EAST)	4.20 m	1.2 m	
(WEST)	4.20 m	1.88 m	

EROSION AND SILTATION NOTES
1. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED ACCORDING TO APPROVED
PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL
REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL
GROUND COVER.
2. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED BY THE BUILDER/DEVELOPER:
A) WEEKLY
B) BEFORE AND AFTER ANY PREDICTED RAINFALL EVENT
C) FOLLOWING AN UNPREDICTED RAINFALL EVENT
D) DAILY DURING EXTENDED DURATION RAINFALL EVENTS
E) AFTER SIGNIFICANT SNOW MELT EVENTS
3. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT
ALL TIMES. DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
4. WHERE A SITE REQUIRES DEWATERING AND WHERE THE EXPELLED WATER CAN BE FREELY
RELEASED TO A SUITABLE RECEIVER, THE EXPELLED WATER SHALL BE TREATED TO CAPTURE
SUSPENDED PARTICLES GREATER THAN 40micron IN SIZE. THE CAPTURED SEDIMENT SHALL BE
DISPOSED OF PROPERLY PER MRCOQ GUIDELINES. THE CLEAN EXPELLED WATER SHALL BE
FREELY RELEASED TO A SUITABLE RECEIVER IN A MANNER THAT DOES NOT CREATE
DOWNSTREAM ISSUES INCLUDING BUT NOT LIMITED TO: EROSION, FLOODING - NUISANCE OR
OTHERWISE, INTERFERENCE ISSUES, ETC.
5. EXISTING STORM SEWERS AND DRAINAGE DITCHES ADJACENT TO THE WORKS SHALL BE
PROTECTED AT ALL TIMES FROM THE ENTRY OF SEDIMENT/SILT THAT MAY MIGRATE FROM
THE SITE. FOR STORM SEWERS: ALL INLETS (NEAR LOT CATCHBASINS, ROAD CATCHBASINS,
PIPE INLETS, ETC.) MUST BE SECURED/FITTED WITH SILTATION CONTROL MEASURES. FOR
DRAINAGE DITCHES, THE INSTALLATION OF ROCK CHECK DAMS, SILTATION FENCING,
SEDIMENT CONTAINMENT DEVICES MUST BE INSTALLED TO TRAP AND CONTAIN SEDIMENT.
THESE SILTATION CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED PER ITEMS 2 AND
3 ABOVE.
6. IN THE EVENT OF A SPILL (RELEASE OF DELETERIOUS MATERIAL) ON OR EMANATING FROM
THE SITE, THE OWNER OR OWNERS AGENT SHALL IMMEDIATELY NOTIFY THE MOECQ AND
FOLLOW ANY PRESCRIBED CLEAN UP PROCEDURE. THE OWNER OR OWNERS AGENT WILL
ADDITIONALLY IMMEDIATELY NOTIFY THE TOWN.

