

PLAN OF SURVEY OF  
**LOT 117**  
**REGISTERED PLAN 716**  
**TOWN OF OAKVILLE**  
 REGIONAL MUNICIPALITY OF HALTON  
 0 5 10 15 20 Metres

Scale 1:200  
 J. H. Gelbloom Surveying Limited  
 Ontario Land Surveyor 2021

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**SURVEYOR'S REAL PROPERTY REPORT - PART 2**  
**REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY**  
 Subject to a 1.22m Easement in favour of the Bell Telephone company of Canada as in Inst. No. 57991.

**NOTABLES**  
 Note the location of the Fences around the Subject Property.

**LEGEND**

■	Survey Monument Found	N	Denotes North
□	Survey Monument Set	S	Denotes South
SIB	Standard Iron Bar	E	Denotes East
IB	Iron Bar	W	Denotes West
RIB	Round Iron Bar		
(OU)	Origin Unknown		
950	Fred G. Cunningham Inc., O.L.S.		
1808	J.H. Gelbloom Surveying Ltd., O.L.S.		
PI	Registered Plan 716		
P2	Plan of Survey Fred G. Cunningham Inc., O.L.S., dated May 8, 1997		
P3	Plan of Survey by J.H. Gelbloom Surveying Ltd., O.L.S., dated March 9, 2016		
BF	Board Fence		
PROP	Denotes Proportion Distance		
ICF	Insulated Concrete Forms		
CLF	Chain Link Fence		
TOC	Top of Concrete Foundation Elevation		
UGS	Unfinished Garage Sill Elevation		

**NOTE**  
 Unless noted otherwise all measured Distances and Bearings agree with Plan of Survey by J.H. Gelbloom Surveying LTD., dated August 12, 2020

**BENCHMARK**  
 Elevations are referred to the Town of Oakville Benchmark No. 152, having an Elevation of 93.7550 m.

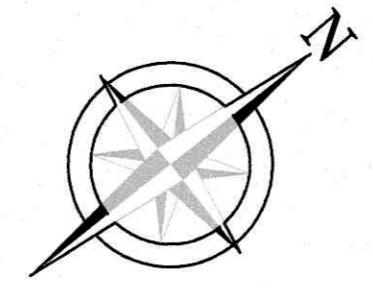
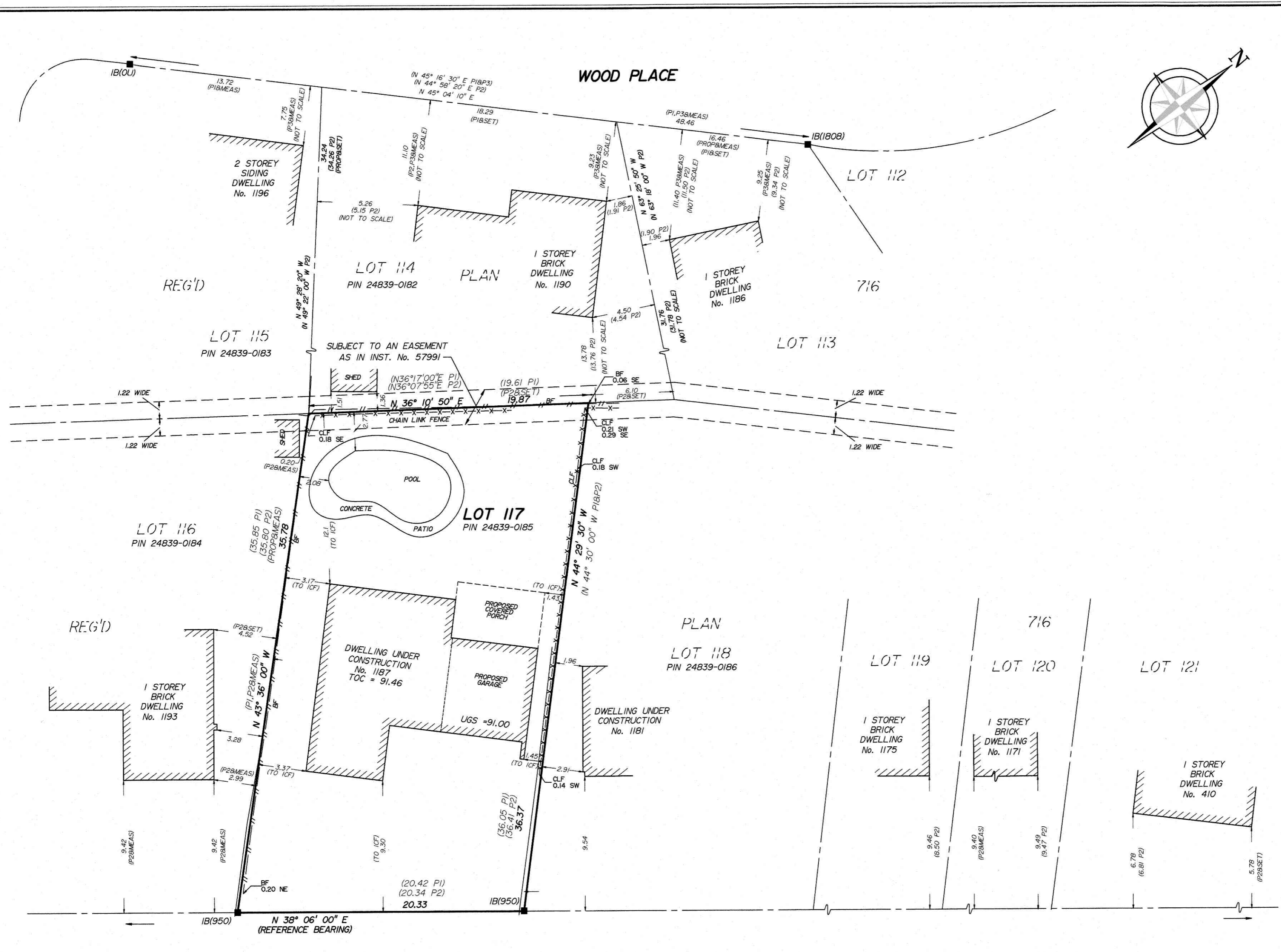
**NOTE**  
 This REPORT can be updated by this office, however NO ADDITIONAL PRINTS of this ORIGINAL REPORT will be issued, subsequent to the DATE OF CERTIFICATION.  
 All building ties are from the foundation and are perpendicular to property lines, unless otherwise noted.

This REPORT was prepared for Jonathan Campbell and the undersigned accepts no responsibility for use by other parties.

**NOTE**  
 Distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

**BEARING NOTE**  
 Bearings are Astronomic, and are Referred to the Northwesterly limit of Sarta Road as shown on Reg'd Plan 716, having a Bearing of N 38° 06' 00" E.

**SURVEYOR'S CERTIFICATE**  
 I certify that:  
 1: This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, and the Regulations made under them.  
 2: The survey was completed on the 13th day of October, 2021.



**SARTA ROAD**  
 (BY REG'D PLAN 716)  
 PIN 24839-0147

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 V-18771

THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR.  
 In accordance with  
 Regulation 1026, Section 29(3).

Date: 21 Oct 2021  
 Jaime Gelbloom, O.L.S.  
 Party Chief: L.K. Drawn By: M.S. Checked By: J.G. Project: 20-103

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