



GMT

579 Fourth Line
Oakville

Welcome to 579 Fourth Line

Completely renovated, top-to-bottom, inside and out. Set on a leafy residential street, this substantial brick home combines classic curb appeal with generous living space and a private backyard with swimming pool, newer fencing and extensive hardscaping.

Surrounded by a mix of newer custom homes and established two-storey residences, this is a neighbourhood that continues to evolve while retaining its leafy, established character. Local schools are within an easy walk, and the location offers the appeal of being south; close to the lake and downtown amenities and a lifestyle that makes this part of Oakville so coveted.

Noteworthy Features:

- Whole Home comfort system installed 2024 - lease through Reliance at \$147.49 per month
- Pool pump 2026
- Pool heater 2021
- Roof approx 2010
- Garage floor epoxied
- No alarm system hardware
- Three gas fireplaces
- Newer hardscaping, path, and exterior front steps
- Operational gas lamp post
- Six-burner gas range
- Wall mounted oven and microwave
- French door fridge with undermount freezer
- Sliding door to backyard from kitchen
- California shutters
- Mudroom with built-ins
- Powder room with wall-to-wall built ins complements mudroom
- Two skylights in family room

THE GOODALE MILLER TEAM

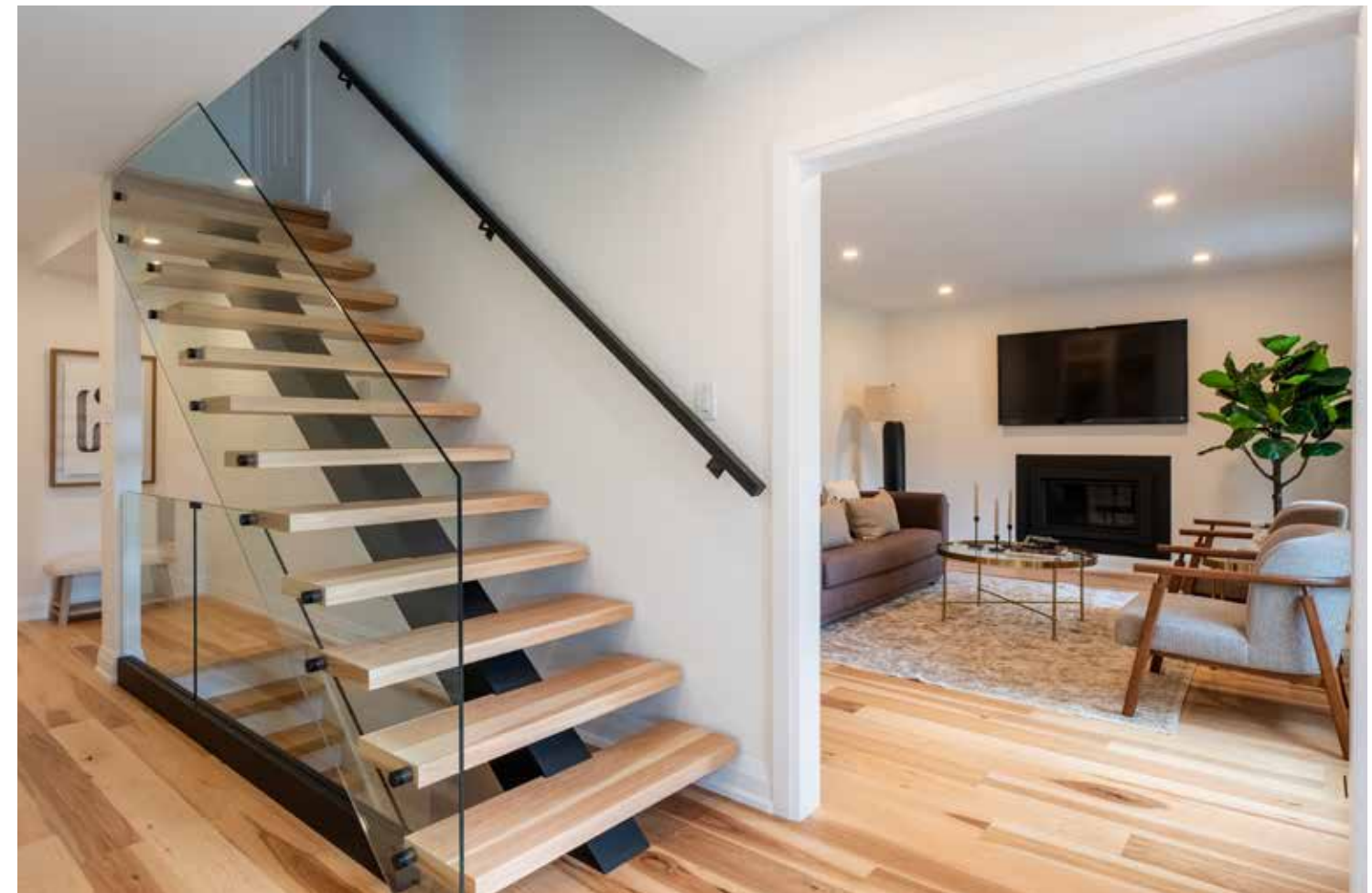
Listing Agents: Bronwen Cockcroft, Brad Miller & Kieran McCourt



Property Highlights

BEDS	3.1
BATHS	3.1
LOT SIZE	60.34' x 100.17' x 60.34' x 100.17'
ABOVE GRADE	2,260 sq ft
TOTAL SQ FT	3,446 sq ft
TAXES	\$6,339 / 2026





Main Level

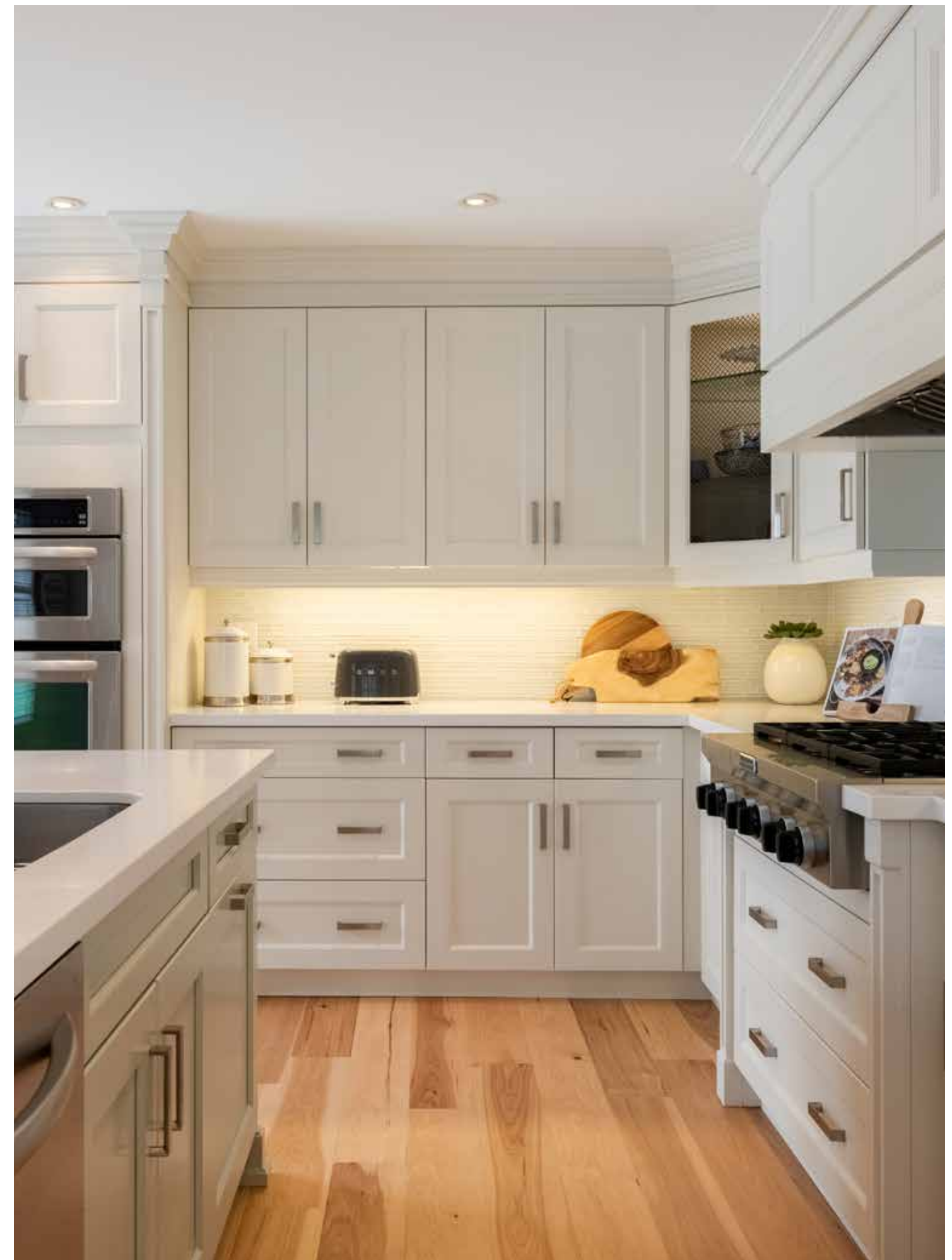
Inside, the home is bright, meticulous and well designed. New hardwood floors run throughout the main and upper levels, complemented by a contemporary staircase, replaced windows and renovated baths.

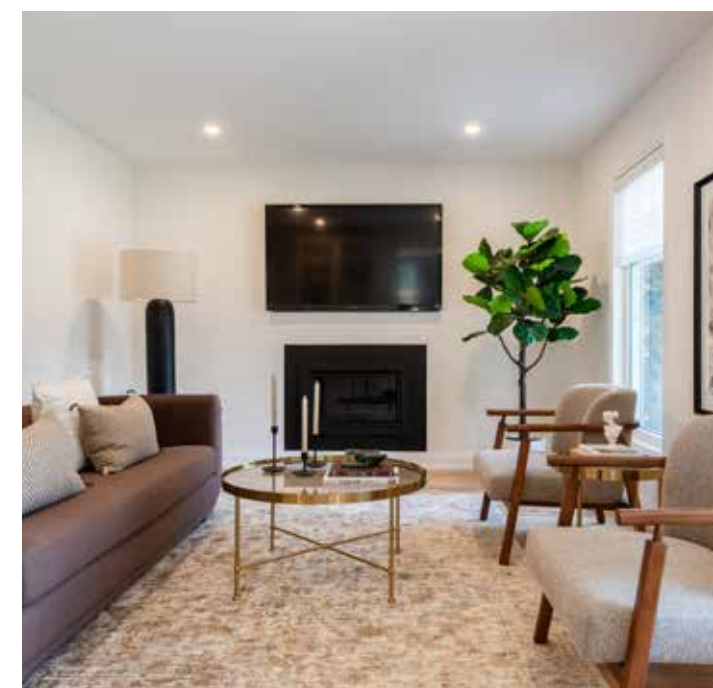
Formal front room, complete with gas fireplace, provides a quiet retreat or home office, while the family room, with fireplace and two skylights, offers another comfortable gathering space.

The large eat-in kitchen is the heart of the home, with bright cabinetry, updated appliances and a generous island overlooking the backyard.







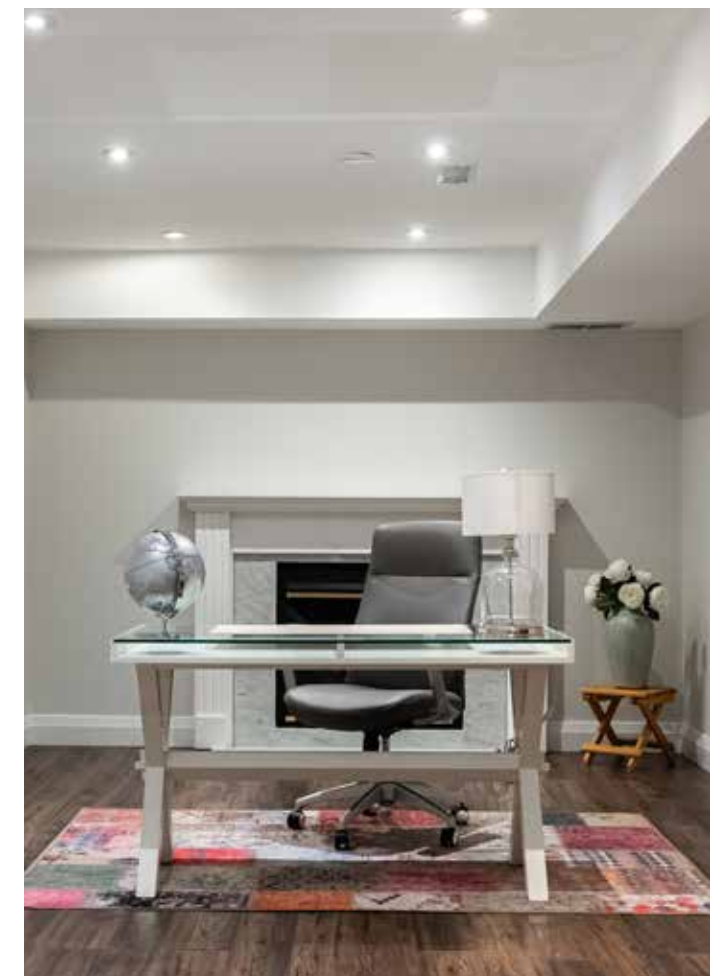




Second Level

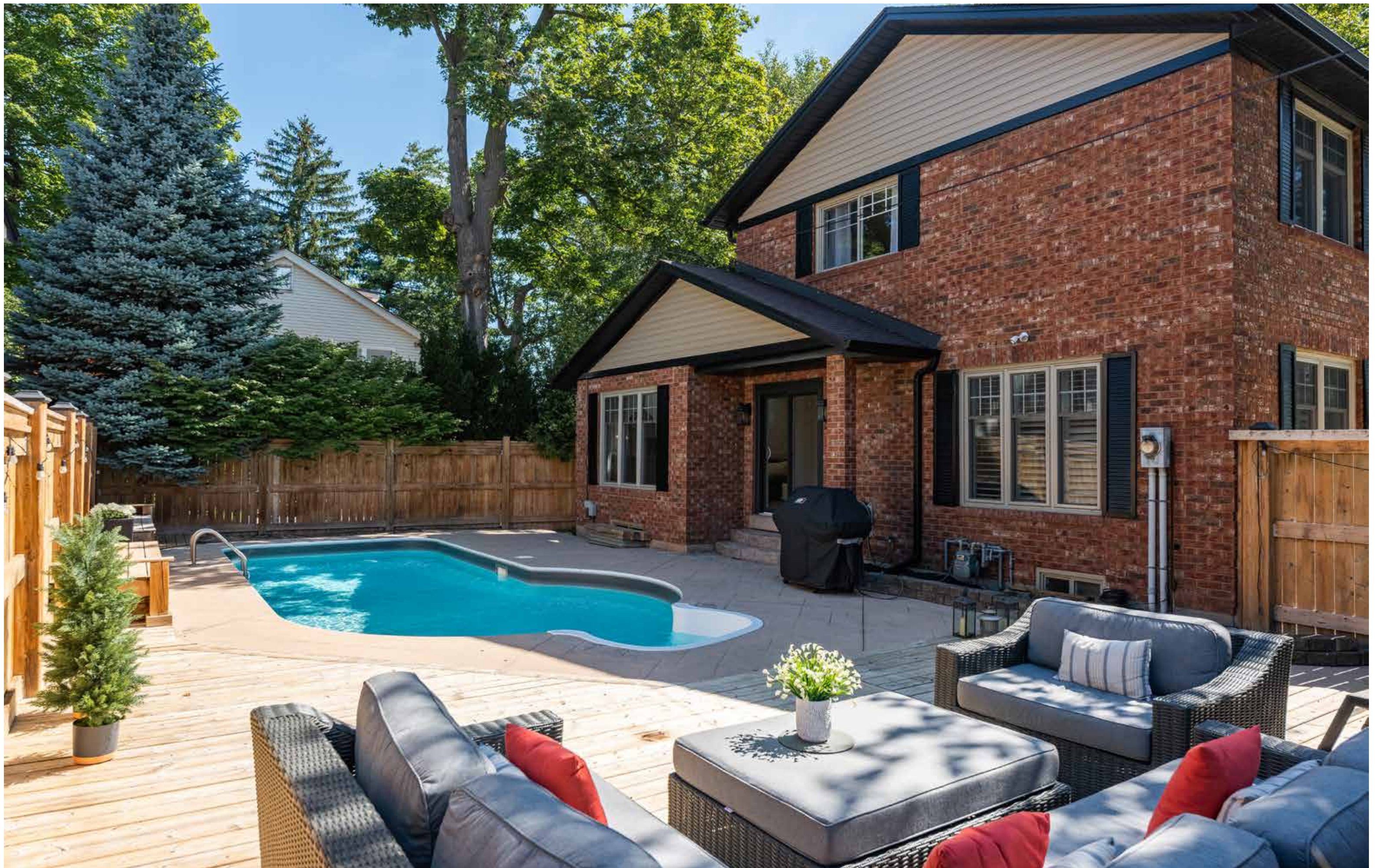
Upstairs, the exceptionally large primary suite features a walk-in closet and renovated ensuite with double vanity. Two additional bedrooms are generously proportioned, each with double closets, making this a particularly functional home for a growing family.

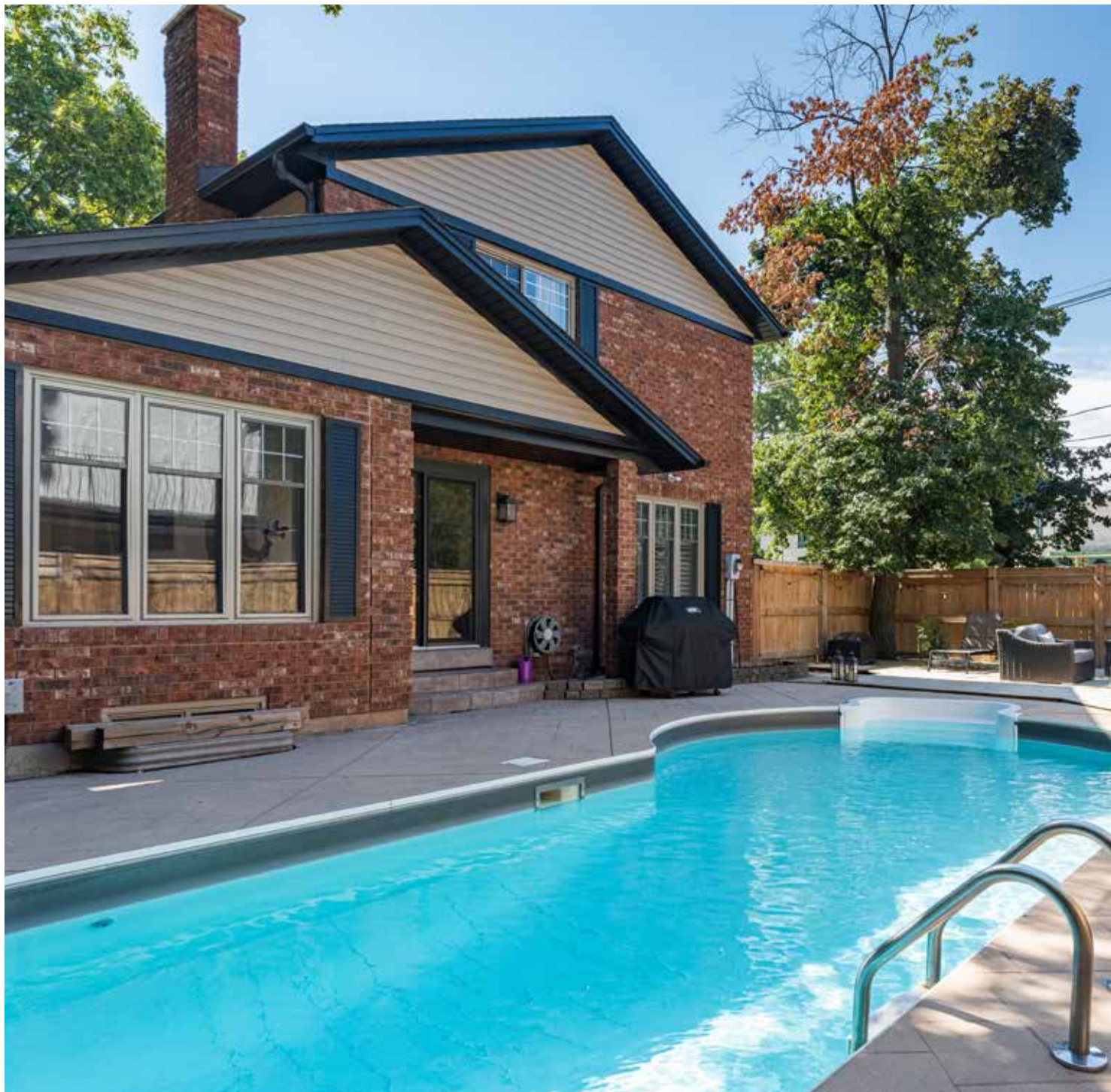




Lower Level

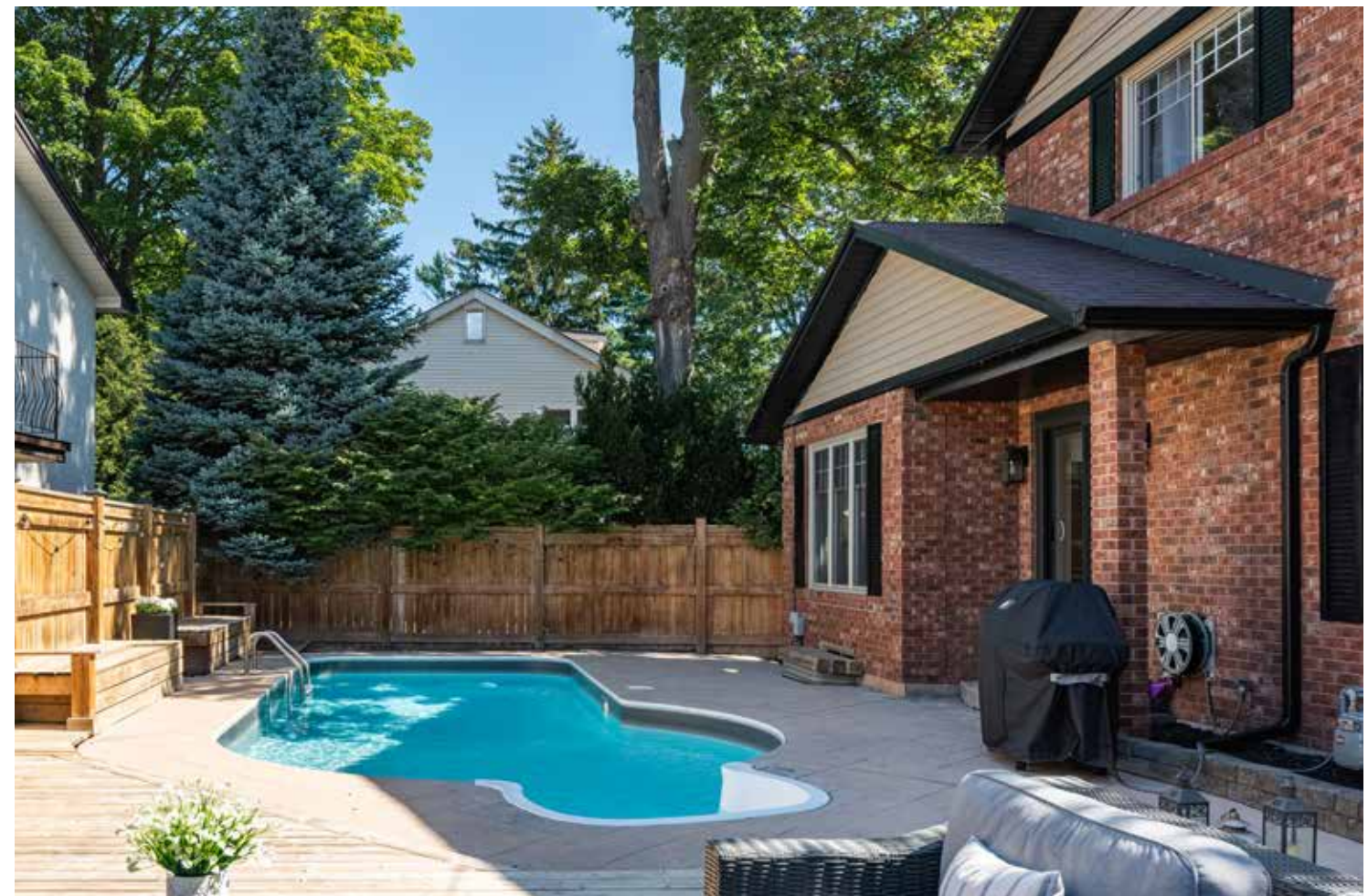
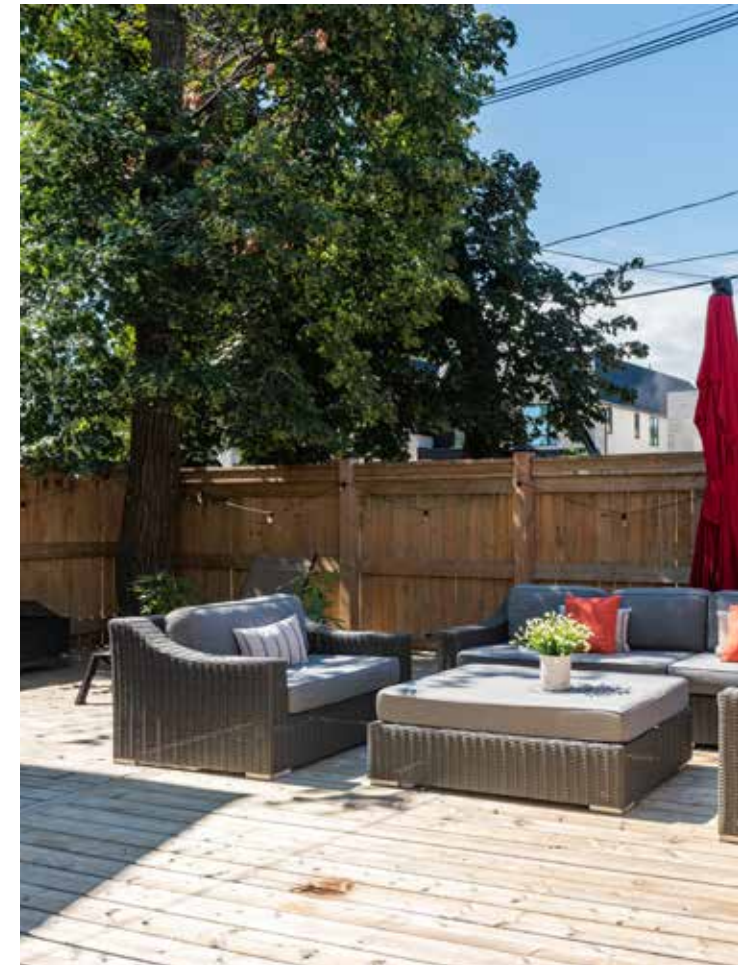
The finished lower level with wide plank hardwood adds considerable living space, with two separate recreation areas with gas fireplace, a private guest bedroom with ensuite bath and a stylish laundry room with loads of storage and raised washer/dryer.



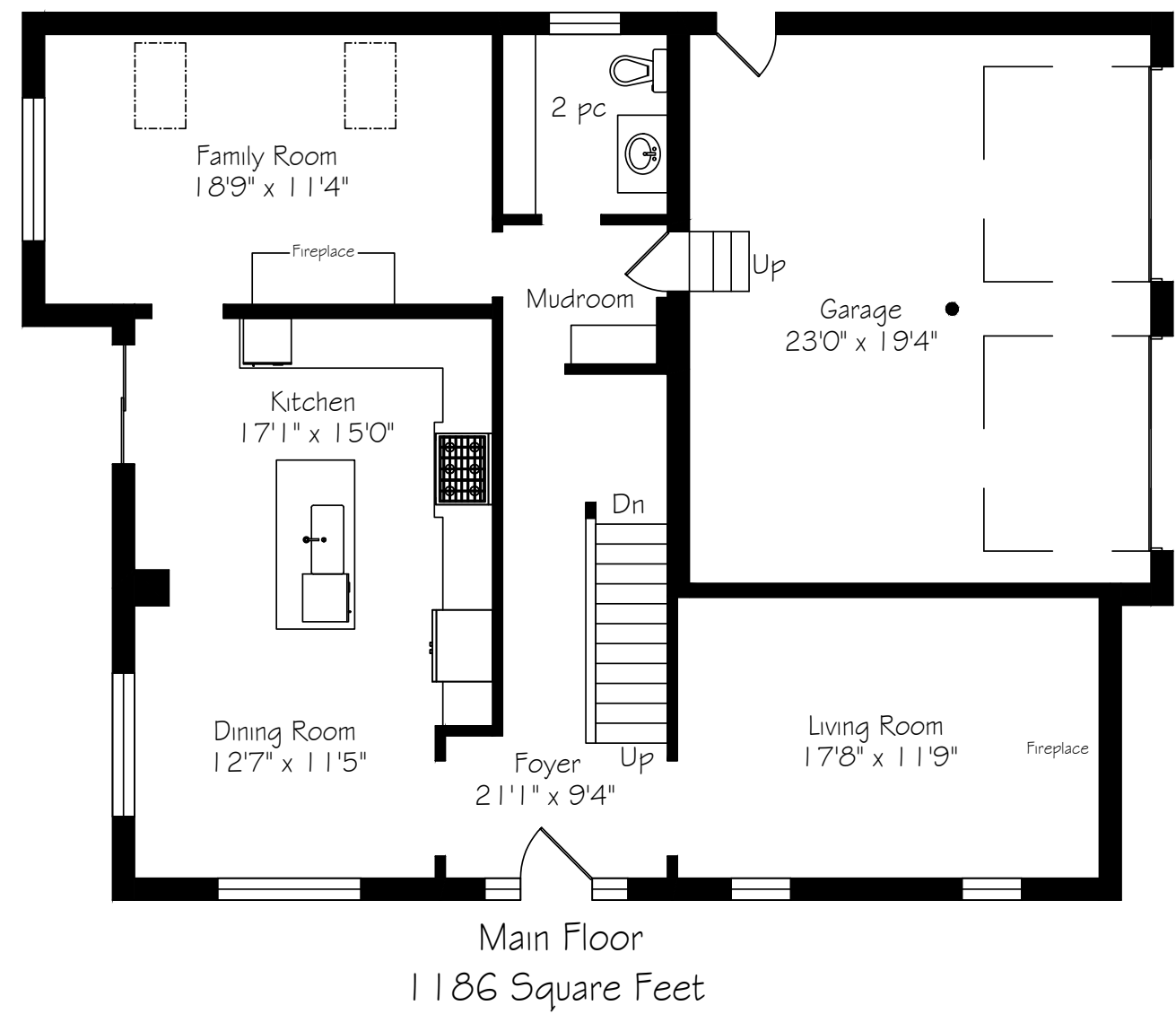


Backyard

Outside, the property delivers the quintessential Oakville setting: a classic red-brick exterior, professionally landscaped grounds, a large double garage and driveway and a backyard designed for summer living around the pool.

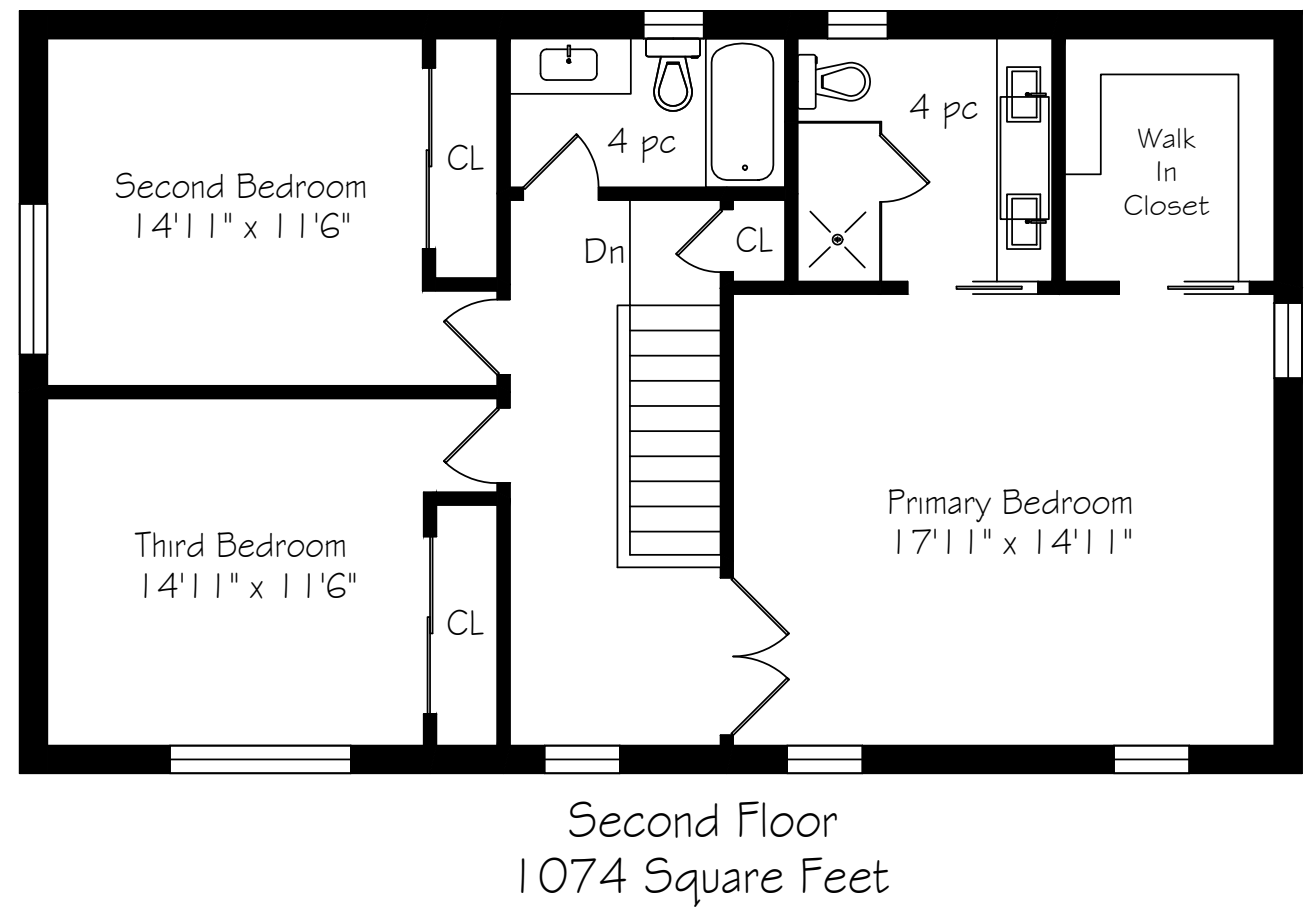


Main Level Floor Plan



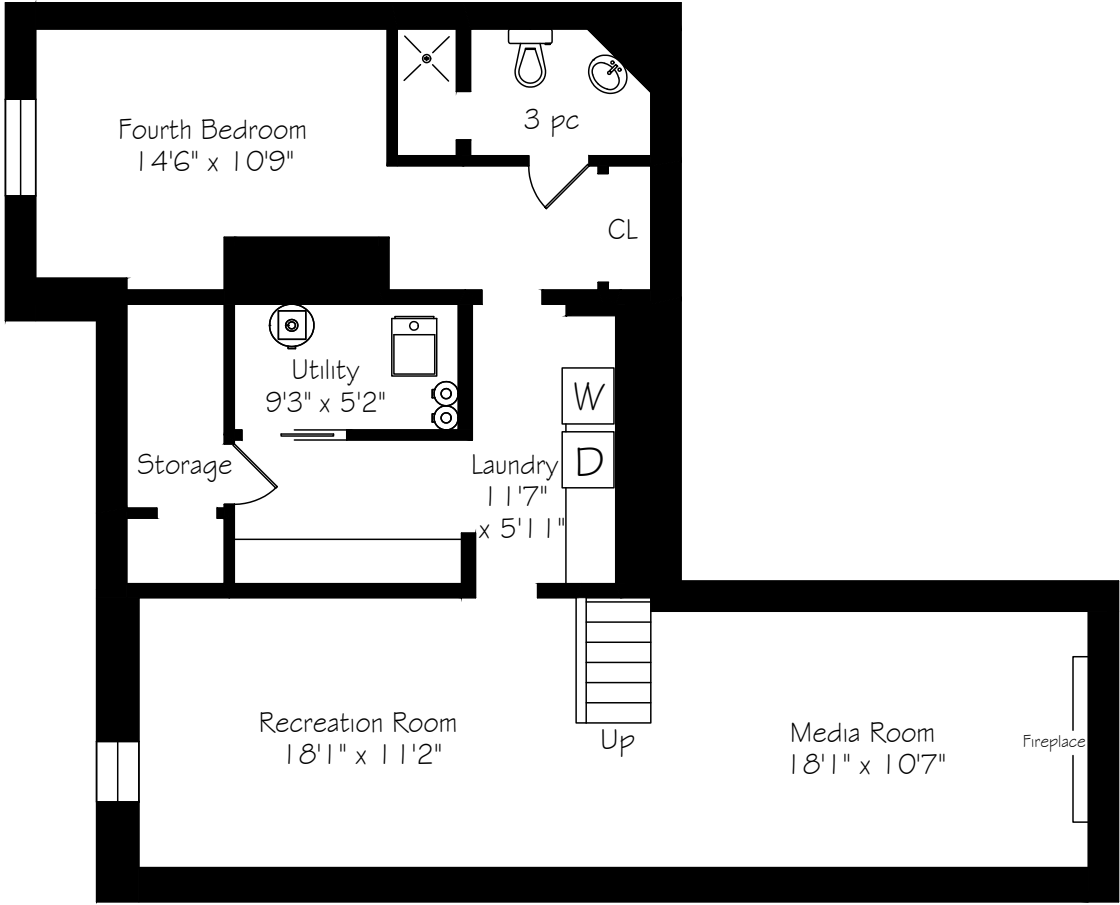
*Room sizes should be considered approximate since measurements are subject to certification.

Second Level Floor Plan



*Room sizes should be considered approximate since measurements are subject to certification.

Lower Level Floor Plan



Lower Level
1186 Square Feet



About The Neighbourhood

West Oakville is a welcoming community that combines convenience, green space and a strong neighbourhood feel. Ideally located south of the QEW, it offers easy access to downtown Oakville, Bronte Village and Lake Ontario, along with popular destinations like the Oakville YMCA and Queen Elizabeth Park Community and Cultural Centre. Mature trees and generous green spaces add to its established charm, making it a place where residents feel both connected and at ease.

Life in West Oakville balances accessibility with a relaxed pace. Neighbours gather in local parks, weekends are spent exploring nearby shops and dining in Bronte, and families and professionals alike enjoy the short commute options. Neighbourhood gatherings at Queen Elizabeth Park Community and Cultural Centre or weekends spent exploring Bronte's waterfront trails add to its welcoming character.

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