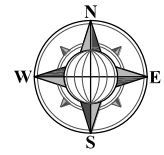


DESCRIPTION: BOUNDARY PLOT PLAN
RECORDED: DB 9315 - PG 214 / PB 126 - PG 55
ADDRESS: 1608 GUNTER ST., DURHAM
COUNTY/STATE: DURHAM/NC DATE: 01/13/2022
SCALE OF DRAWING: 1"=30' DRAWN BY: CB
ZONED: RU-5(2) REVIEWED BY: KBB
PARCEL ID NUMBER: 0821-14-34-0807

THIS PLAN WAS PREPARED FOR
THE EXCLUSIVE USE OF THE
PERSON, PERSONS OR ENTITY
NAMED HEREON AND DOES NOT
EXTEND TO ANY UNNAMED
PERSON.

SITE DATA	
ZONING: RU-5(2)	
LOT SIZE	N/A
PRIMARY STREET	20' MIN
SIDE STREET	20' MIN
SIDE LOT LINE	6' MIN
REAR LOT LINE	25' MIN
BUILDING HEIGHT	25' MAX
IMPERVIOUS MAX	



NORTH
PER: PB 126 - PG 55

SCALE: 1"=30'

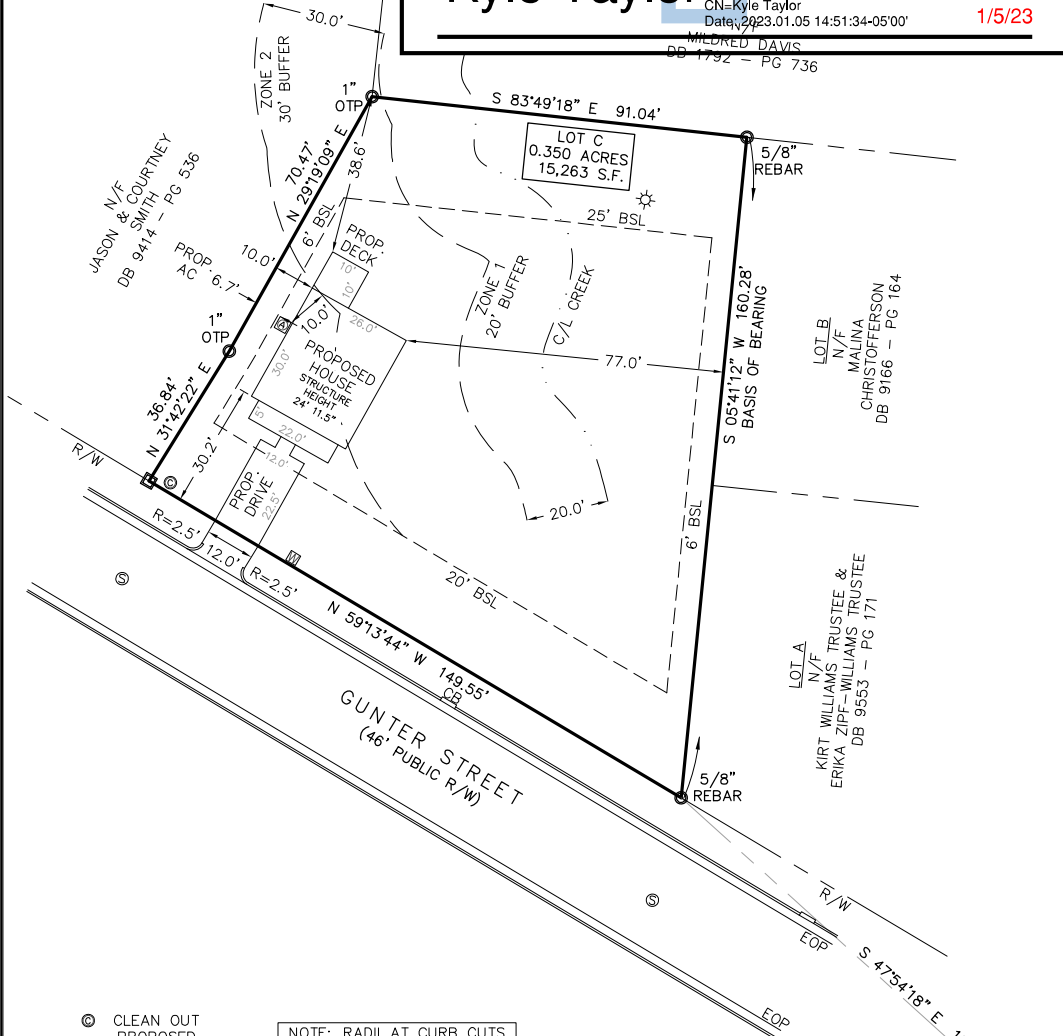
REVISION #	NOTES	DATE
1.	MOVE HOUSE PER CLIENT COMMENTS	01-24-2022
2.	PLANNING COMMENTS	07-20-2022
3.	COMMENTS	10-30-2022
4.	REDO COMMENTS	11-09-2022
5.	MORE INFILL COMMENTS	12-06-2022
6.	MOVE PROPOSED AC	12/15 & 12/27

Planning Approved Plot Plan

Digitally signed by Kyle Taylor
DN: C=US,
E=Kyle.Taylor@durhamnc.gov, O=City
County of Durham, OU=Planning,
CN=Kyle Taylor
Date: 2023.01.05 14:51:34-05'00'

1/5/23

MILKED DAVIS
DB 1792 - PG 736



- ⊙ CLEAN OUT PROPOSED
- ⊞ WATER METER PROPOSED

NOTE: RADII AT CURB CUTS
ARE 2.5'.

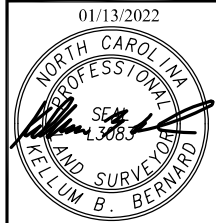
INFILL DATA CHART		
ADDRESS	SETBACK	HEIGHT
#1700	29.0'	19.2'
#1702	29.2'	12.6'
#1704	33.2'	10.7'
#1706	31.4'	18.5'
#1708	23.5'	26.1'
#1106 ROSE DALE	26.4'	21.1'

IMPERVIOUS SURFACE
CALCULATIONS IN S.F.
(ALL PROPOSED)
LOT: 15,263
HOME: 780
PORCH (FRONT): 110
PORCH (REAR): 100
DRIVEWAY: 283
AC: 9
TOTAL: 1,282 / 8.4%

MAG NAIL IN C/L
OF INTERSECTION OF
ROSEDALE AVE. (46' R/W)
& GUNTER ST. (46' R/W)

LEGEND :

- PROPERTY CORNER FOUND (AS NOTED)
- 5/8" REBAR WITH CAP SET
- R/W MONUMENT
- COMPUTED POINT
- ⦿ FIRE HYDRANT
- ⦿ WATER METER
- ⦿ WATER VALVE
- ⦿ POWER POLE
- ⦿ LIGHT POLE
- ⦿ POWER METER
- ⦿ POWER BOX
- ⦿ A/C UNIT
- ⦿ GAS METER
- ⦿ TELEPHONE BOX
- ⦿ CABLE BOX
- ⦿ MANHOLE
- ⦿ CLEAN OUT
- ⦿ JUNCTION BOX
- ⦿ DRAINAGE INLET
- CONC. CONCRETE
- EOP EDGE OF PAVEMENT
- BSL BUILDING SETBACK
- CB CATCH BASIN
- OTP OPEN TOP PIPE
- X- FENCE LINE
- R/W RIGHT-OF-WAY
- BOM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE



FOR THE FIRM
BOUNDARY ZONE, INC.
FIRM NUMBER: C-3534

PRELIMINARY PLAN, NOT FOR
RECORDATION, CONVEYANCES, OR SALES.
THIS PLAN MUST BE APPROVED BY ALL
STATE AND LOCAL REVIEWING
AUTHORITIES FOR CONCURRENCE WITH
SITE ZONING AND CODE OF ORDINANCES.

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zone, inc. SURVEYORS, ENGINEERS
AND LAND PLANNERS

SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING
WWW.BOUNDARYZONE.COM (919) 363-9226 (770) 271-5772



CORPORATE OFFICE
454 SATELLITE BLVD.,
SUITE 200
SUWANEE, GA 30024

RALEIGH OFFICE
8024 GLENWOOD AVE
SUITE 109
RALEIGH, NC 27612

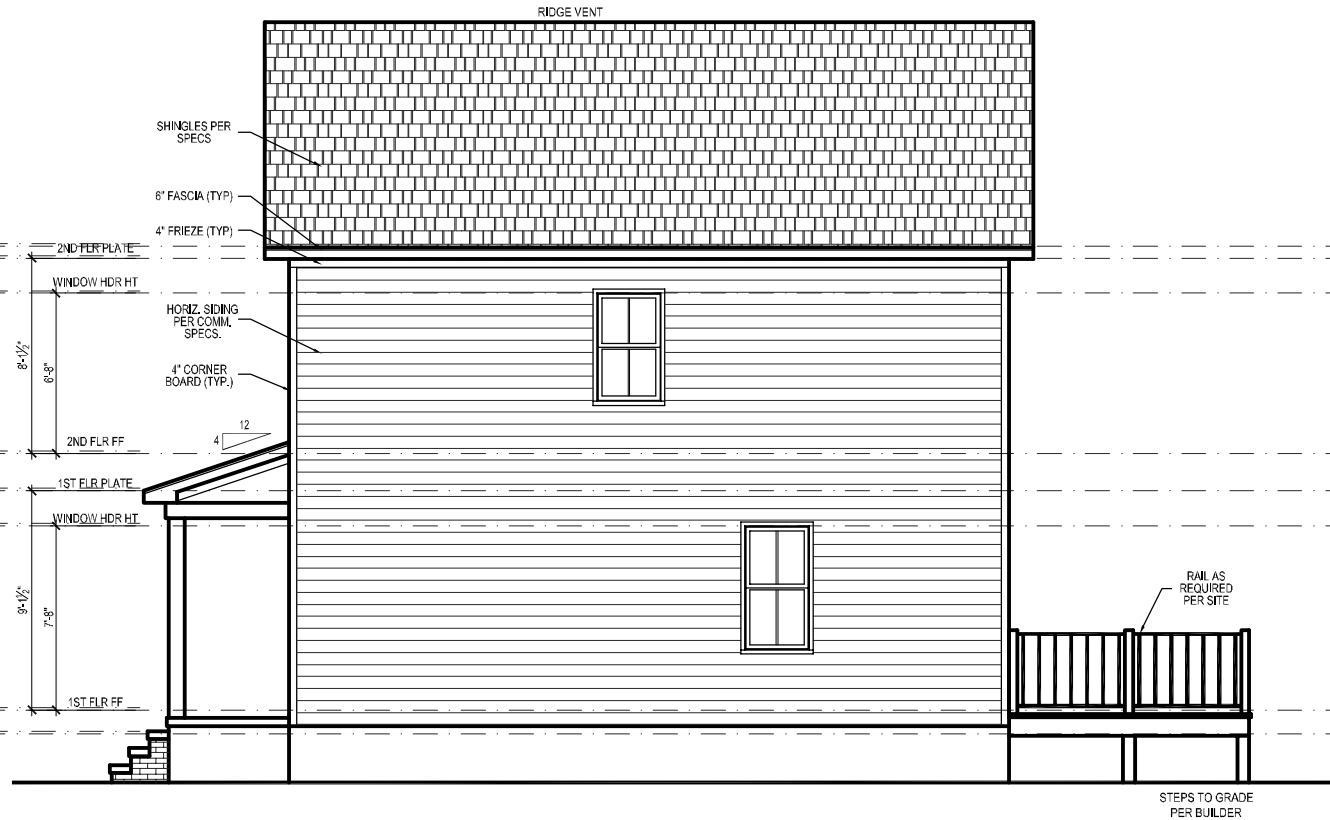
PROJECT
R21479-01

SHEET
1 OF 1

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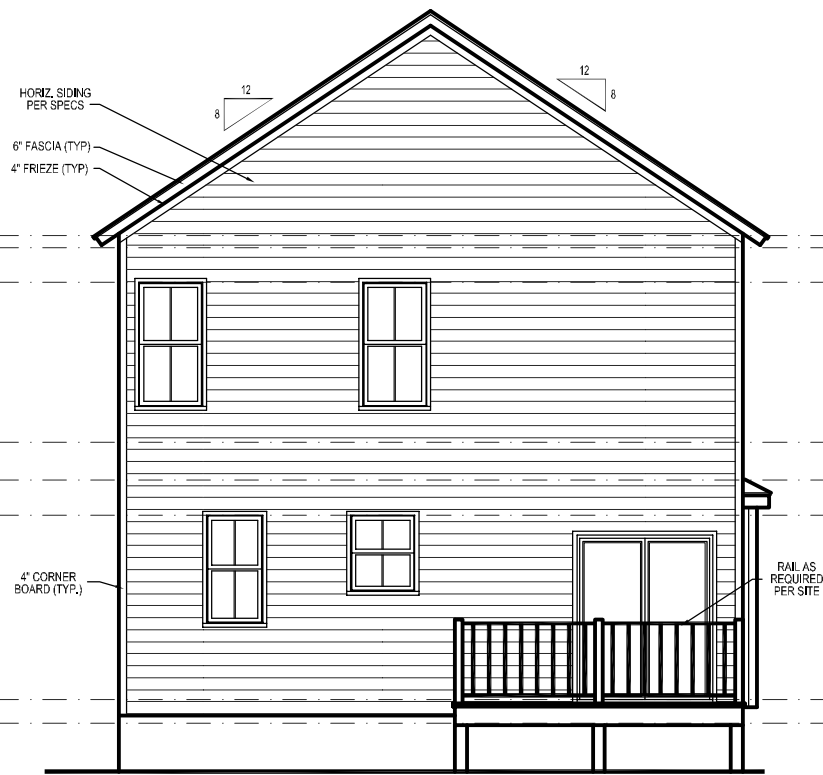
1 FRONT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"

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CLIENT:

PROPERTY
RESOLUTION
SERVICES, LLC
PLAN #1514

DRAWN BY:

ORIGINAL RELEASE DATE:

CURRENT RELEASE DATE:

REV # DATE / DESCRIPTION

Δ
Δ
Δ

PLAN #1514

ELEVATION 'A'

SHEET

A-2

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE 34x22 SHEETS — 11x17 SHEETS ARE 1/2 SCALE PLOTS

PROPERTY RESOLUTION SERVICES, LLC

PLAN #1514 Lot 1608 Gunter St.



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RESOLUTION
SERVICES, LLC
PLAN #1514

DRAWN BY:

ORIGINAL RELEASE DATE:

CURRENT RELEASE DATE:

REV # | DATE / DESCRIPTION

△

△

△

PLAN #1514

COVER SHEET

SHEET

CS-1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE 34x22 SHEETS - 11x17 SHEETS ARE 1/2 SCALE PLOTS

FOUNDATION

- CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OR IN ACCORDANCE WITH ACI 318, NCMA TR68-A, OR ACI 530/ASCE 5/TMS 402.
- MASONRY AND POURED CONCRETE WALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH TABLES R404.1.1 (1 THROUGH 4) OF THE NORTH CAROLINA RESIDENTIAL CODE.
- WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT SPACED A MAXIMUM OF 60" o.c. AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION.
- THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.
- CENTERS OF PIERS SHALL BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS.

DESIGN LOADS

	LIVE LOAD (PSF)	DEAD LOAD (PSF)
TABLE R301.4		
DWELLING UNITS	40	10
SLEEPING ROOMS	30	10
ATTICS WITH STORAGE	20	10
ATTICS WITHOUT STORAGE	10	10
ROOF SNOW	20	10
STAIRS	40	10
DECKS	40	10
EXTERIOR BALCONIES	60	10
PASSENGER VEHICLE GARAGES	50	--
FIRE ESCAPES	40	10
GUARDRAILS AND HANDRAILS	200	--

MATERIALS

- FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES:
Fb = 875 PSI Fv = 70 PSI E = 1.4E6 PSI
- FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE #2 SOUTHERN YELLOW PINE (SYP) TREATED IN ACCORDANCE WITH AWPAC22 WITH THE FOLLOWING DESIGN PROPERTIES:
Fb = 1050 PSI Fv = 95 PSI E = 1.6E6 PSI
- ENGINEERED WOOD BEAMS SHALL BE LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
Fb = 2900 PSI Fv = 285 PSI E = 1.9E6 PSI
- BOLTS SHALL CONFORM TO A307 MINIMUM GRADE.
- REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60.
- POURED CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 OR ASTM C 1157.
- CONCRETE LOCATED PER TABLE R402.2 SHALL BE AIR ENTRAINED WITH THE TOTAL AIR CONTENT NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.
- MASONRY UNITS SHALL CONFORM TO ACI 530/ASCE 5/TMS 402 AND MORTAR SHALL COMPLY WITH ASTM C 270.
- ALLOWABLE SOIL BEARING PRESSURE 2000 PSF.

ENERGY COMPLIANCE:

TABLE N1102.1 - REFER TO TABLE N1101.1 TO DETERMINE THE CLIMATE ZONE BY COUNTY AND REFER TO TABLE N1102.1 FOR R VALUE INSULATION REQUIREMENTS LISTED BY ZONE.

TABLE N1102.1 - ZONE 7 - MAX. GLAZING U FACTOR: 0.40. MIN. INSULATION R VALUES: CEILING R-30, WALLS R-13, FLOORS R-19, BASEMENT WALLS R-7, SLAB PERIMETER R-0, CRAWL SPACE WALLS R-7.

TABLE N1102.1 - ZONE 8 - MAX. GLAZING U FACTOR: 0.40. MIN. INSULATION R VALUES: CEILING R-30, WALLS R-13, FLOORS R-19, BASEMENT WALLS R-8, SLAB PERIMETER R-5 (2 FT DEEP), CRAWL SPACE WALLS R-10.

ABBREVIATIONS

CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DJ	DOUBLE JOIST
DSP	DOUBLE STUD POCKET
EA	EACH
FL PT	FLAT PLATE
FTG	FOOTING
HGR	HANGER
LVL	LAMINATED VENEER LUMBER
NTS	NOT TO SCALE
OC	ON CENTER
PSL	PARALLEL STRAND LUMBER
PT	PRESSURE TREATED
SC	STUD COLUMN
SP	STUD POCKET
TJ	TRIPLE JOIST
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

Rev	Description	Drawn By	Date	Sheets Affected	Brochure Required	Engineering Required
1	ADDED STAIR DETAIL PER PERMIT REVIEW	RWB	12/1/21	FLOOR PLANS	NO	NO
2						
3						
4						
5						
6						
7						
8						
9						
10						
11						
12						
13						
14						

22103378

CONSTRUCTION

- ENGINEERED WOOD BEAMS SHALL BE INSTALLED WITH ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- ALL BEAMS SHALL BE CONTINUOUSLY SUPPORTED Laterally AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF THREE STUDS.
- SOLID BLOCKING SHALL BE PROVIDED AT ALL POINT LOADS TO TRANSFER LOADS THROUGH FLOOR LEVELS. COLUMNS SHALL BE CONTINUOUS TO THE FOUNDATION OR TO OTHER STRUCTURAL ELEMENTS.
- ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS SHALL BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- WALL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION R602.10 OF THE NORTH CAROLINA RESIDENTIAL CODE.

GENERAL

ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY AND DOES NOT CERTIFY ARCHITECTURAL LAYOUT OR DIMENSIONAL ACCURACY. ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS OR ANY DEVIATION FROM THE PLANS.

ALL CONSTRUCTION, WORKMANSHIP, MATERIAL QUALITY AND SELECTION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA STATE BUILDING CODE - RESIDENTIAL CODE 2018 EDITION FROM THE INTERNATIONAL RESIDENTIAL CODE 2018 (IRC), AND LOCAL CODES AND REGULATIONS. DIMENSIONS SHALL GOVERN OVER SCALE AND CODE SHALL GOVERN OVER DIMENSIONS.

ADDITIONAL LOADS

FIGURE R301.2(4) - ULTIMATE DESIGN WIND SPEED 115 MPH

FIGURE R301.2(2) - SEISMIC DESIGN CATEGORY B

TABLE R301.2(4) - DESIGN POSITIVE AND NEGATIVE PRESSURE FOR DOORS AND WINDOW FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF

TABLE R301.2(2) - COMPONENT AND CLADDING LOADS FOR A MEAN ROOF HEIGHT OF 30 FEET OR LESS LOCATED IN EXPOSURE B

ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE DESIGNED BASED ON ROOF PITCHES AS FOLLOWS:
45.4 PSF FOR 0:12 TO 2.25:12, 34.8 PSF FOR 2.25:12 TO 7:12 AND 21 PSF FOR 7:12 TO 12:12
WALL CLADDING IS DESIGNED FOR A 24.1 PSF POSITIVE AND NEGATIVE PRESSURE

	HEATED S.F.	UNHEATED S.F.
FIRST FLOOR	780	0
SECOND FLOOR	734	0
FRONT PORCH		110
PATIO		100
TOTAL	1514	210

MEAN ROOF HEIGHT

1 STORY = 11'-0"
CLADDING POSITIVE & NEGATIVE PRESSURE = 21 PSF

1 1/2 STORY = 19'-0"
CLADDING POSITIVE & NEGATIVE PRESSURE = 34.8 PSF

2 STORY = 19'-0"
CLADDING POSITIVE & NEGATIVE PRESSURE = 34.8 PSF

ANCHOR BOLTS

INSTALL ANCHOR BOLTS, NUTS, AND WASHERS PER CODE AT ALL EXTERIOR WALL TREATED PLATES AND AT INTERIOR BEARING WALL TREATED PLATES ON SLAB FOUNDATIONS. TO BE A MINIMUM OF 6" O.C. AND WITHIN 12" FROM THE ENDS OF EACH PLATE.

DESIGN PRESSURES

MINIMUM RATING: 25 PSF

M1 WINDOWS 3500 SERIES
LOW E-GLASS WINDOWS

TABLE N1102.1 CLIMATE ZONES 3-5

CLIMATE ZONES	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING ^k R-VALUE	WOOD FRAMED WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE AND DEPTH	CRAWL SPACE ^c WALL R-VALUE
3	0.25	0.55	0.30	20	13	5/12	10	5/12 ^f	0	5/12
4	0.35	0.55	0.30	38 OR 30 CONT ^j	15 OR 13+2.5 ^h	5/13	19	10/15	10	10/15
5	0.45	0.55	N/A	38 OR 30 CONT ^j	19 OR 13+5 ^h OR 13+5 ^{h,i}	13/17 OR 13/12.5 ^g	26 ^g	16/15	10	16/10

a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS.

b. THE FENESTRATION U-FACTOR COLUMN EXCLUDED SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.

c. "10/13" MEANS R-10 CONT. INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL OR CRAWL SPACE WALL.

d. FOR MONOLITHIC SLABS, INSULATION SHALL BE APPLIED FROM THE INSPECTION GAP DOWNWARD TO THE BOTTOM OF THE FOOTING OR A MAXIMUM OF 18 INCHES BELOW GRADE, WHICHEVER IS LESS. FOR FLOATING SLABS, INSULATION SHALL EXTEND TO THE BOTTOM OF THE FOUNDATION WALL OR 24 INCHES, WHICHEVER IS LESS. R-4 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUE FOR HEATED SLABS.

e. R-19 FIBERGLASS BATTS COMPRESSED AND INSTALLED IN A NOMINAL 2x6 CAVITY IS DEEMED TO COMPLY. FIBERGLASS BATTS RATED R-19 OR HIGHER COMPRESSED AND INSTALLED IN A 2x4 WALL IS NOT DEEMED TO COMPLY.

f. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE N1101.2 (1 AND 2) AND TABLE N1101.2.

g. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.

h. "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING. 15+3 MEANS R-15 CAVITY INSULATION PLUS R-3 INSULATED SHEATHING. IF STRUCTURAL SHEATHING COVERS 25 PERCENT OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED. IF THE STRUCTURAL SHEATHING COVERS MORE THAN 25 PERCENT OF THE EXTERIOR, STRUCTURAL SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2. 13+2.5 MEANS R-13 CAVITY INSULATION PLUS R-2.5 SHEATHING.

i. FOR MASS WALLS, THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

j. R-30 SHALL BE DEEMED TO SATISFY THE CEILING INSULATION REQUIREMENT WHEREVER THE FULL HEIGHT OF THE UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. OTHERWISE R-38 INSULATION IS REQUIRED WHERE ADEQUATE CLEARANCE EXISTS OR INSULATION MUST EXTEND TO EITHER THE INSULATION BAFFLE OR WITHIN 1" OF THE ATTIC ROOF DECK.

k. TABLE VALUE REQUIRED EXCEPT FOR ROOF EDGE WHERE THE SPACE IS LIMITED BY THE PITCH OR THE ROOF, THERE THE INSULATION MUST FILL THE SPACE UP TO THE AIR BAFFLE.



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 RESOLUTION

 SERVICES, LLC

 PLAN #1514

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REV #	DATE	DESCRIPTION
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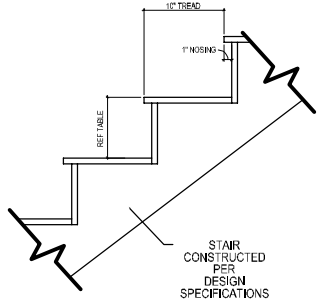
PLAN #1514

FLOOR PLAN

SHEET

A-1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE 34x22 SHEETS -- 11x17 SHEETS ARE 1/2 SCALE PLOTS



RISER HEIGHTS PER STAIR CONFIGURATION			
PLATE HEIGHT	10" FLOOR SYSTEM	14" FLOOR SYSTEM	16" FLOOR SYSTEM
8'-1 1/2"	14 RISERS @ 7 11/16"	15 RISERS @ 7 1/2"	15 RISERS @ 7 5/8"
9'-1 1/2"	16 RISERS @ 7 1/2"	16 RISERS @ 7 3/4"	17 RISERS @ 7 7/16"
10'-1 1/2"	17 RISERS @ 7 3/4"	18 RISERS @ 7 9/16"	18 RISERS @ 7 11/16"

2 TYPICAL STAIR DETAIL

SCALE: 3/8" = 1'-0"

NOTE:

 HANDRAILS SHALL BE PROVIDED ON AT LEAST

 ONE SIDE OF STAIR TREADS WITH 4" OR MORE

 RISERS. VERTICAL HT. OF HANDRAILS SHALL BE

 NOT LESS THAN 34" AND NO MORE THAN 38" PER

 NC 2018 RESIDENTIAL CODE SEC. R312.1.7.8

GUARDS ON ALL HANDRAILS SHALL BE PLACED

 SO THAT A SPHERE OF 4" CANNOT PASS

 THROUGH PER NC 2018 RESIDENTIAL CODE SEC.

 R312.1

GENERAL NOTES

WALLS:

ALL WALLS ARE DRAWN 4"

 THICK U.N.O.

 ANGLED WALL ARE DRAWN

 @45° U.N.O.

SMOKE DETECTORS:

LOCATION AND NUMBER OF

 DETECTORS SHALL CONFORM

 TO NEC.

EGRESS:

ALL BEDROOMS MUST HAVE

 AT LEAST ONE WINDOW WHICH

 CONFORMS TO R-310 OF THE

 N.C. BLDG. CODE. IT IS THE

 CONTRACTOR'S RESPONSIBILITY

 TO VERIFY CHOSEN WINDOWS

 MEET EGRESS REQUIREMENTS

 AS MANUFACTURERS VARY.

ATTIC ACCESS:

MIN. ATTIC ACCESS SHALL BE

 PROVIDED BY BUILDER AND

 LOCATED ON SITE.

WALL/CEILING HGT.

WALL AND CEILING HEIGHT

 NOTES ARE BASED ON NOMINAL

 WALL SIZE.

 KNEE WALL HEIGHT LABELS

 FOR WALLS UNDER RAFTERS

 ASSUME AN EXTRA 2" FOR

 FURRING (IN HEATED SPACES)

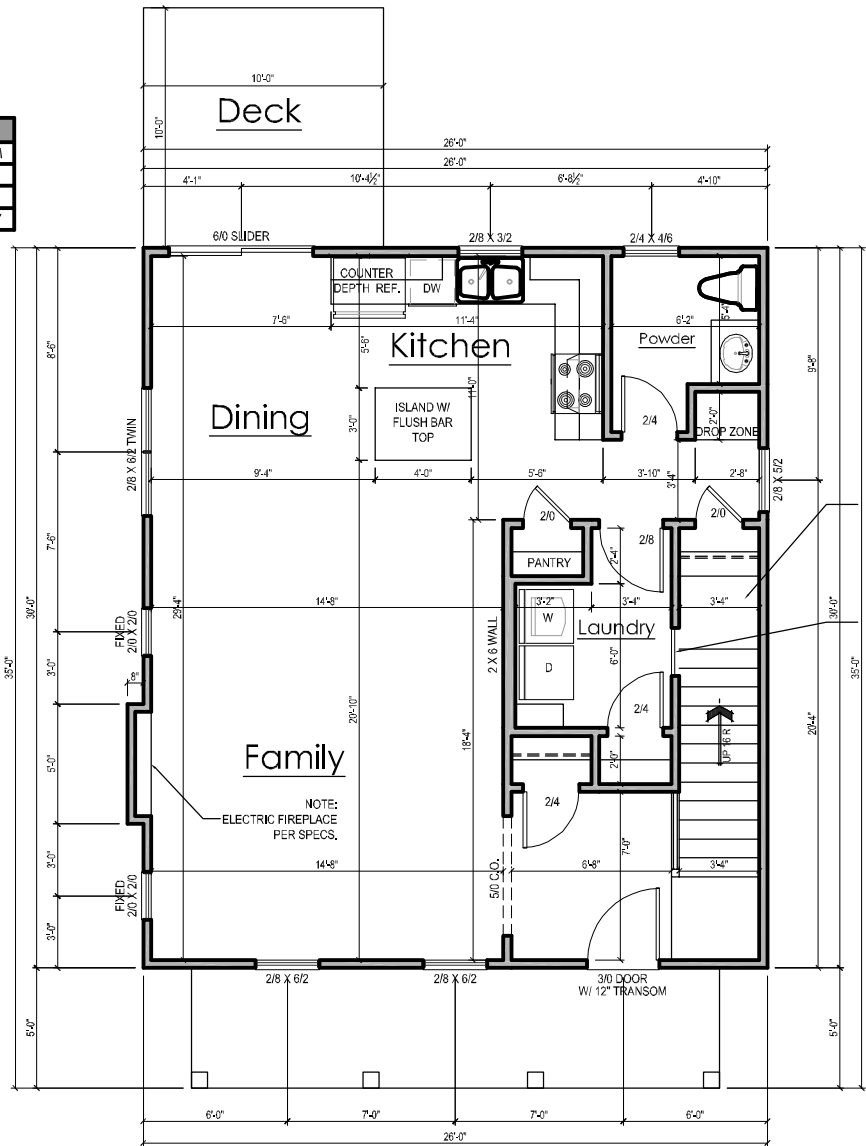
 FOR INSULATION. THE WALL

 HEIGHT REFERS TO THE HGT.

 FROM THE FLOOR DECKING TO

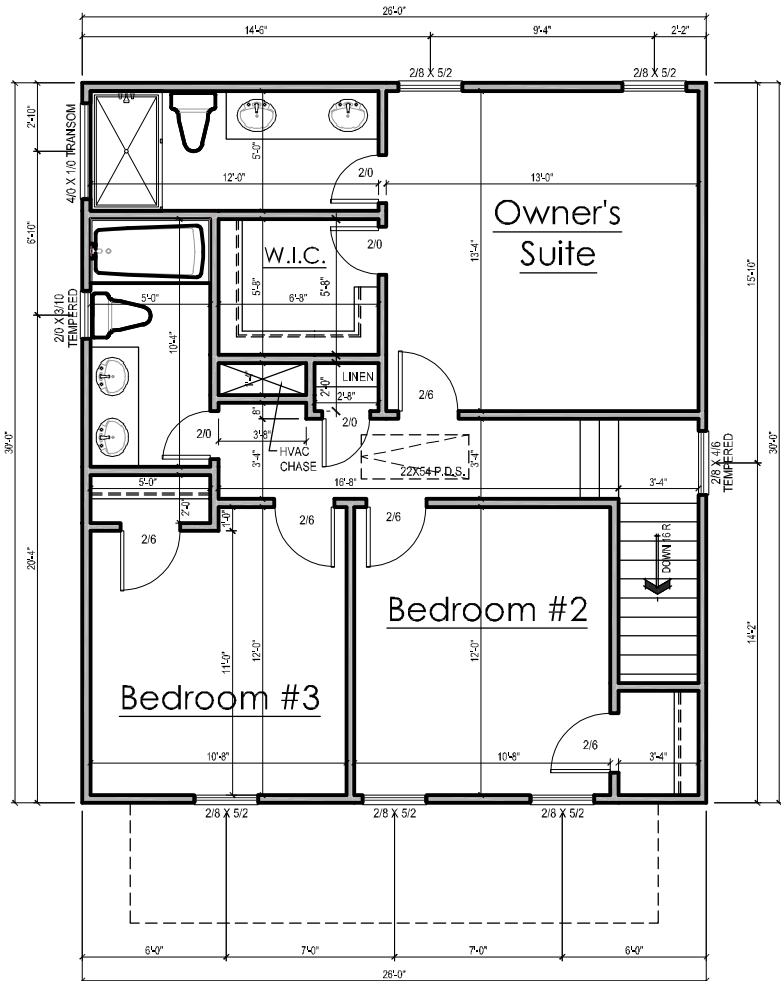
 THE BOTTOM OF THE FURRING.

SQUARE FOOTAGE		
	HEATED S.F.	UNHEATED S.F.
FIRST FLOOR	780	0
SECOND FLOOR	734	0
FRONT PORCH		110
PATIO		100
TOTAL	1514	210



1 FIRST FLOOR PLAN 'A'

SCALE: 3/16" = 1'-0"



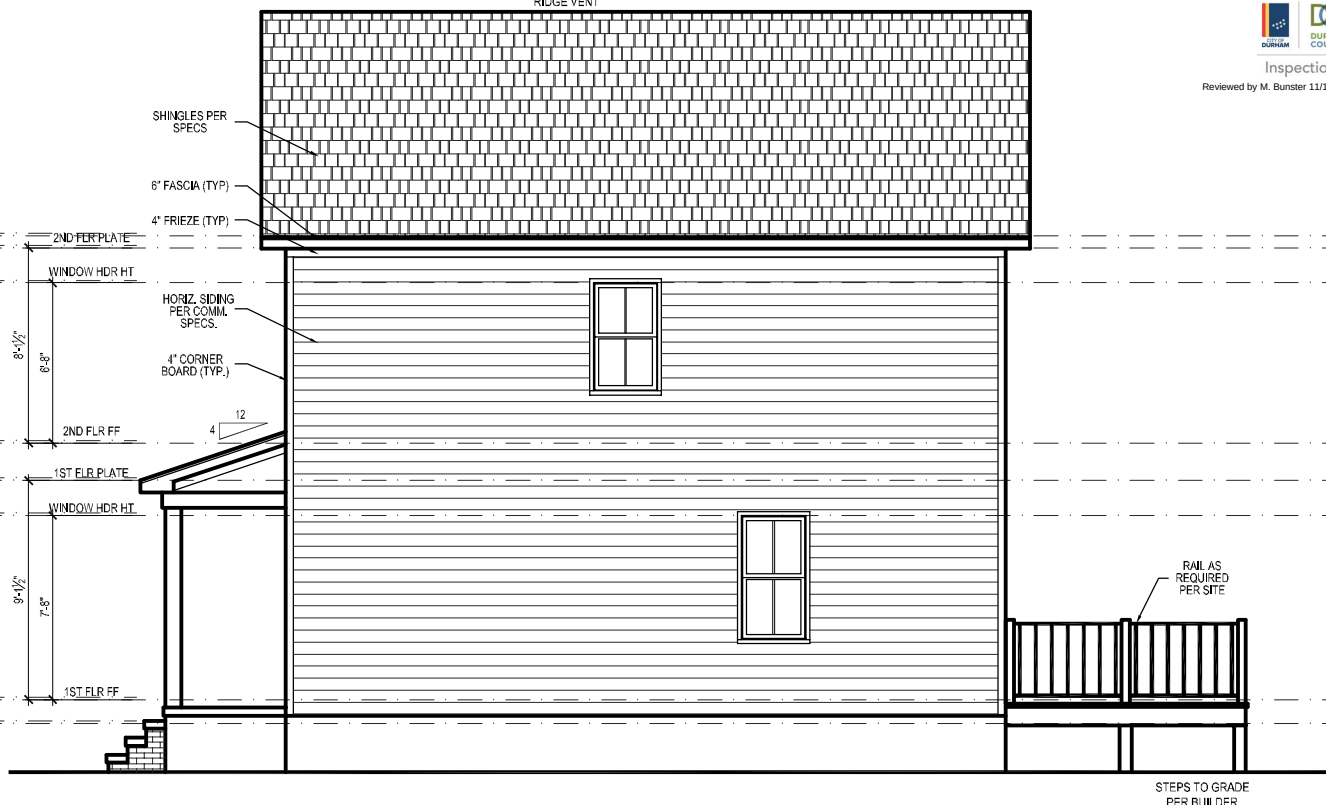
2 SECOND FLOOR PLAN 'A'

SCALE: 3/16" = 1'-0"

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1 FRONT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION 'A' (CRAWL)
SCALE: 1/4" = 1'-0"



Reviewed by M. Bunster 11/16/2022 11:56:17 AM



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CLIENT:

PROPERTY
RESOLUTION
SERVICES, LLC
PLAN #1514

DRAWN BY:

ORIGINAL RELEASE DATE:

CURRENT RELEASE DATE:

REV # DATE / DESCRIPTION

Δ

Δ

Δ

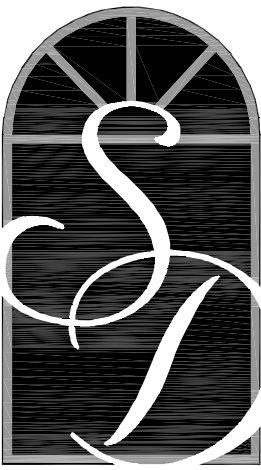
PLAN #1514

ELEVATION 'A'

SHEET

A-2

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE 34x22 SHEETS - 11x17 SHEETS ARE 1/2 SCALE PLOTS



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SERVICES, LLC
PLAN #1514

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ORIGINAL RELEASE DATE:

CURRENT RELEASE DATE:

REV # DATE / DESCRIPTION

△

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△

PLAN #1514

ROOF PLAN

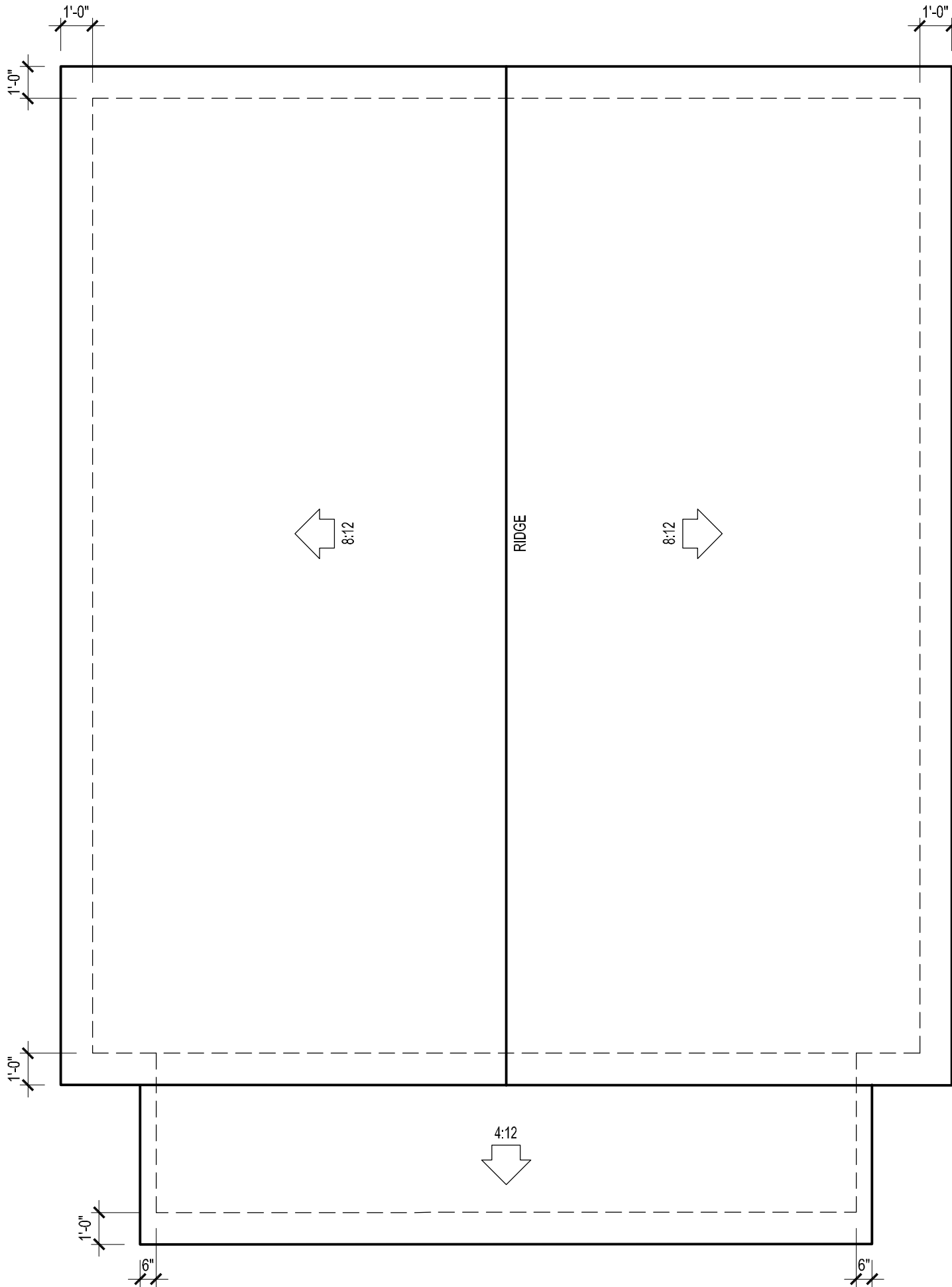
SHEET

A-3

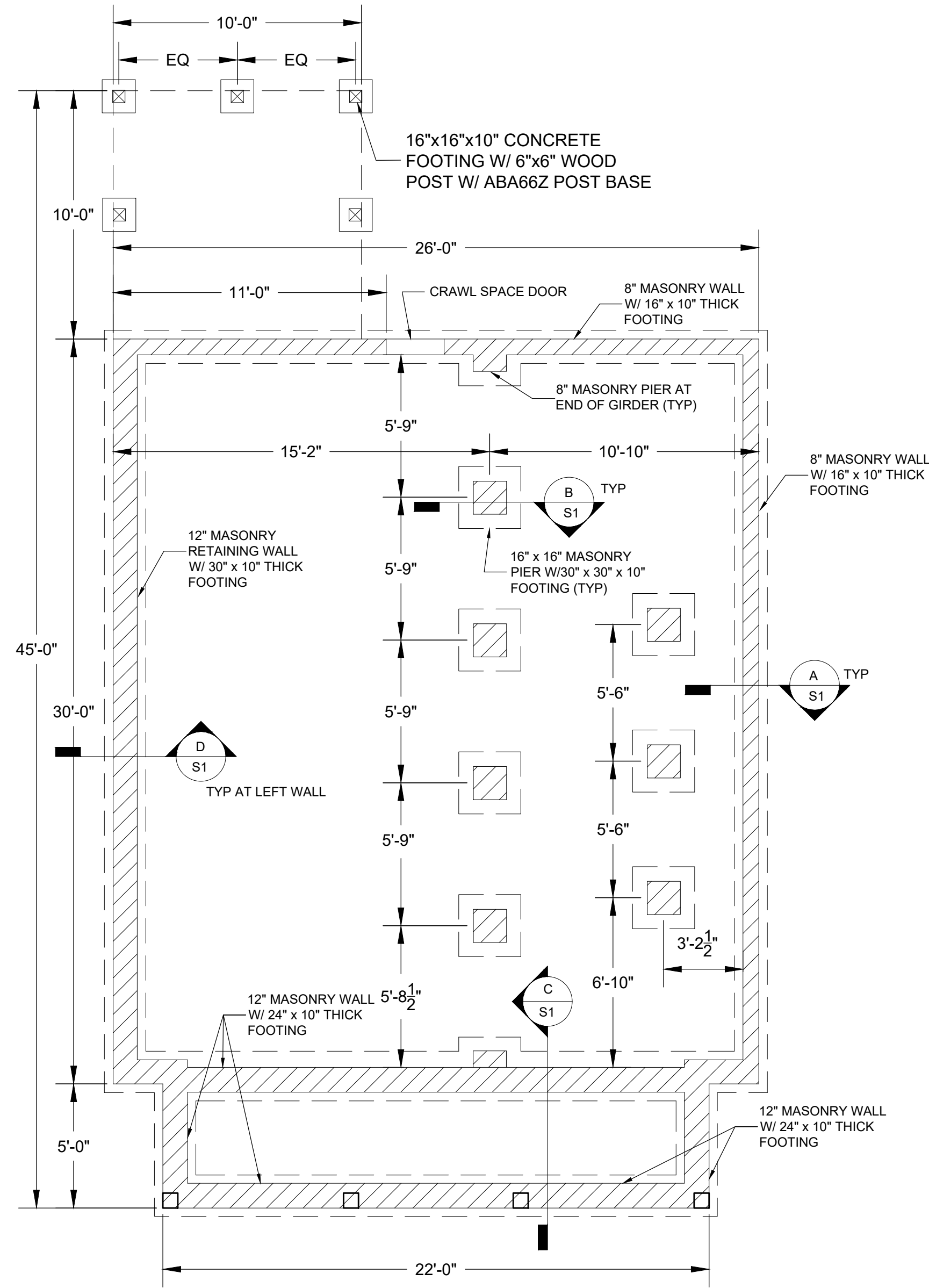
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE. 34x22 SHEETS -- 11x17 SHEETS ARE 1/2 SCALE. PLOTS

ATTIC VENT SCHEDULE									
ELEVATION 'A'									
MAIN HOUSE		SQ. FTG		AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE		SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. FT. EACH)	POT. SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
					0.4236	0.3472	0.125	0.1944	0.0625
RIDGE VENT	1.04	1.30	1.25	33.33	0	0	10.00		
SOFFIT VENTS	1.56	1.30	2.50	66.67				0	40.00
TOTAL (MIN)	2.60	2.60	3.75	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

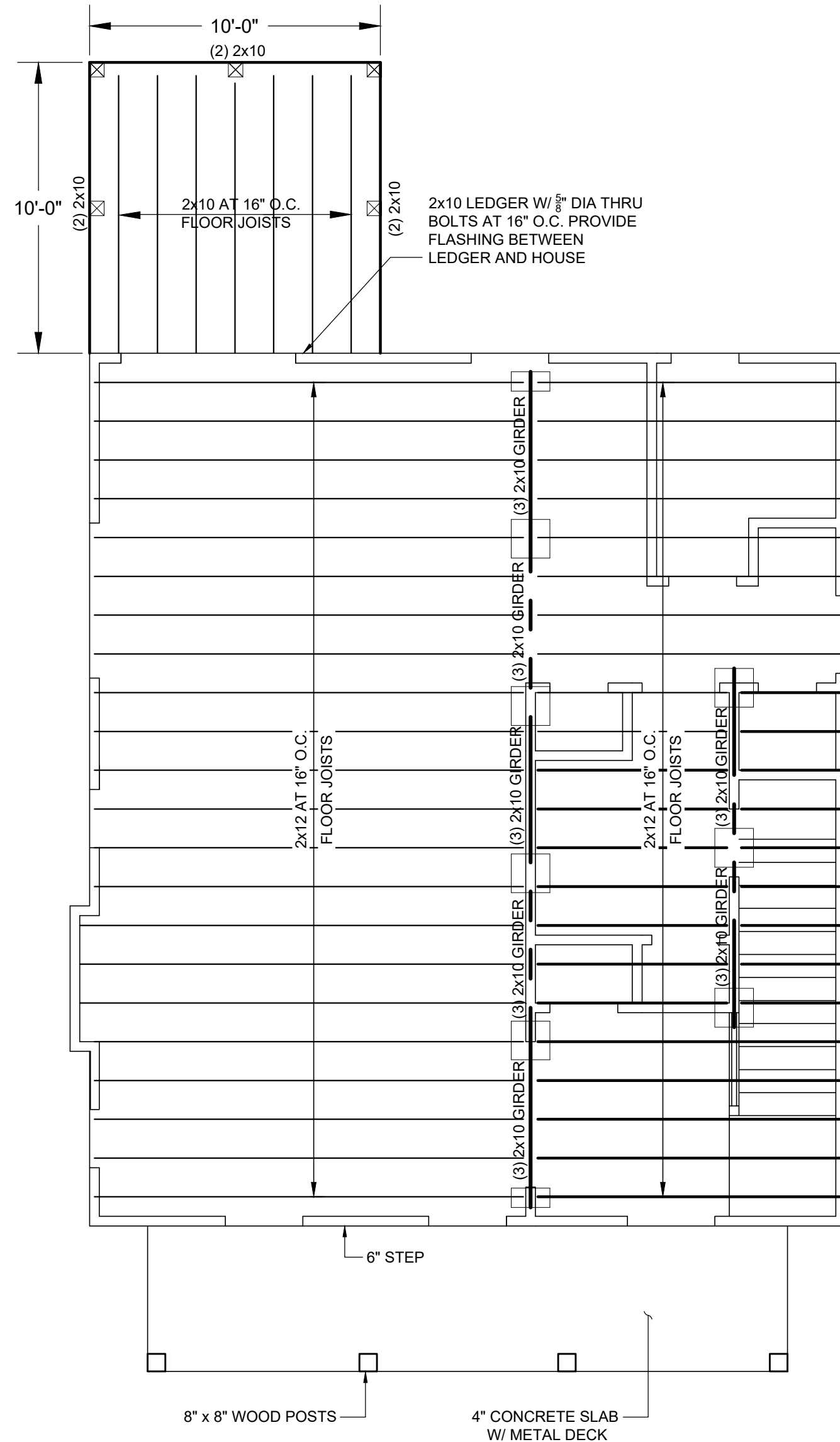
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



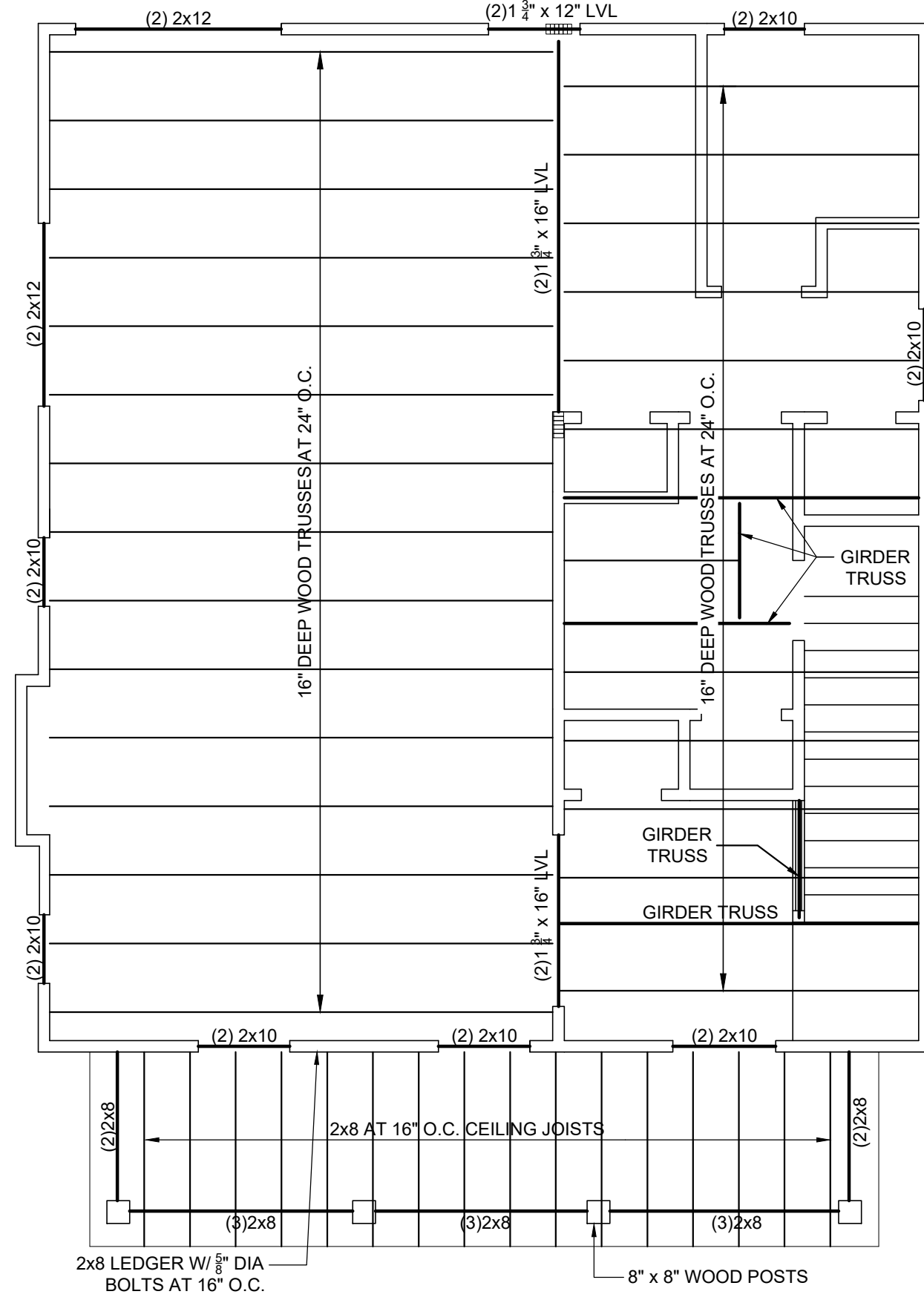
1 ROOF PLAN 'A'
SCALE: 3/16" = 1'-0"



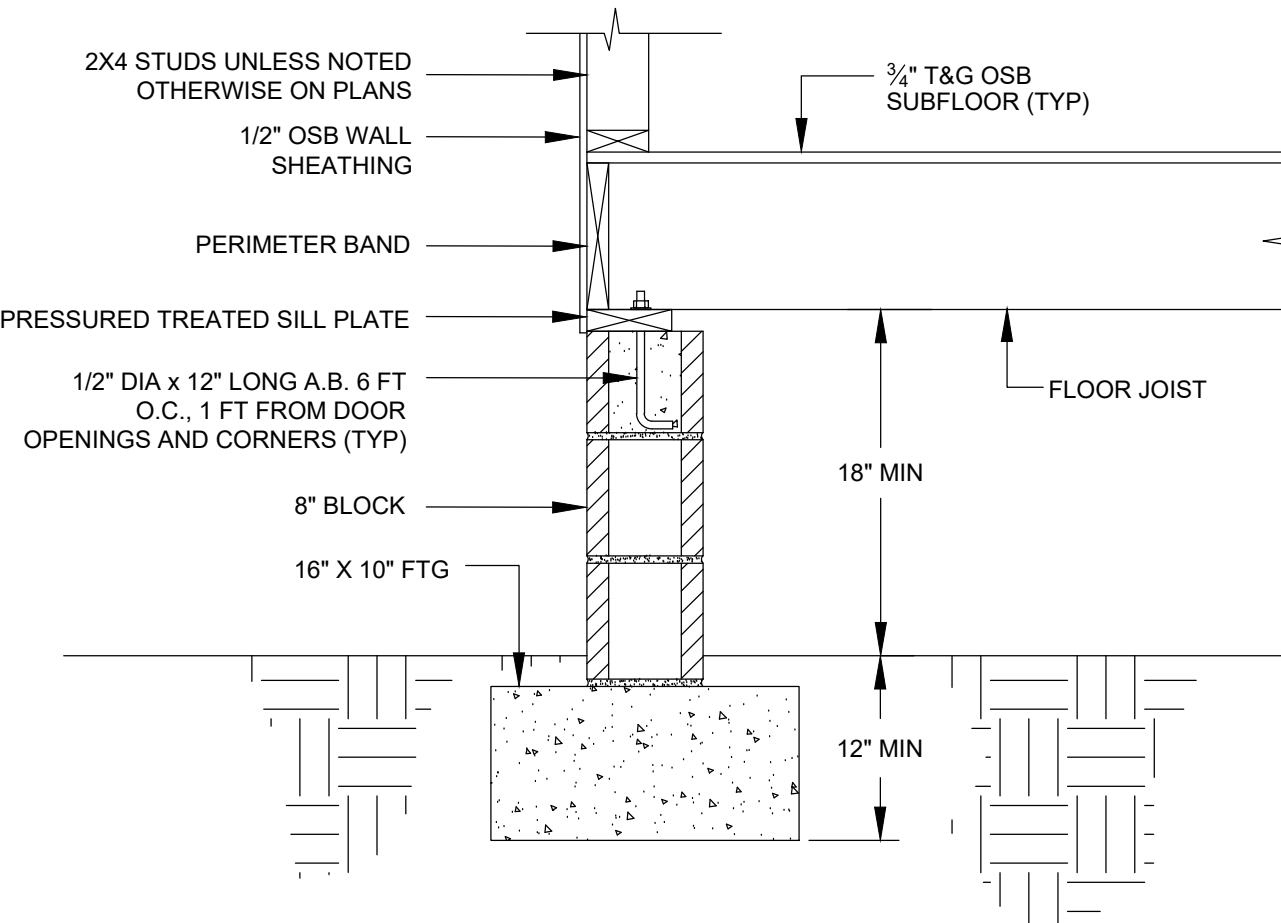
CRAWL SPACE PLAN



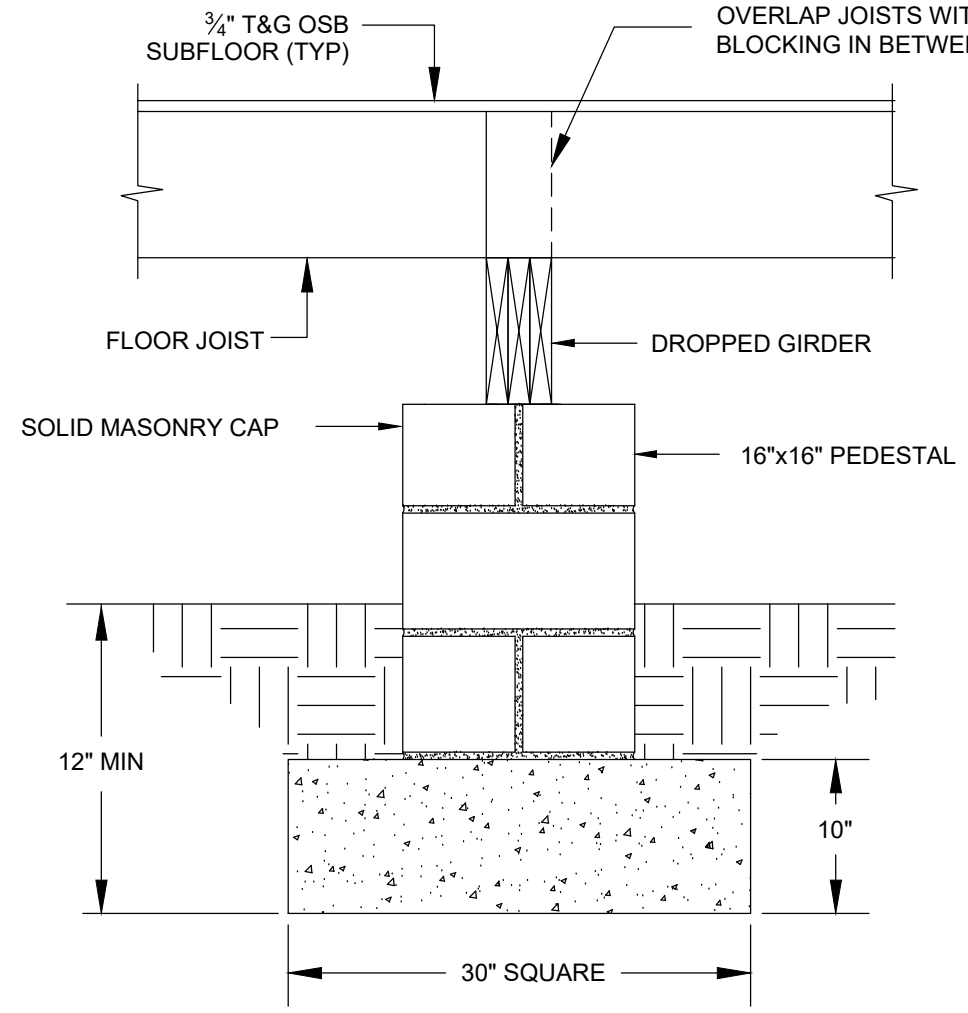
1st FLOOR FRAMING PLAN



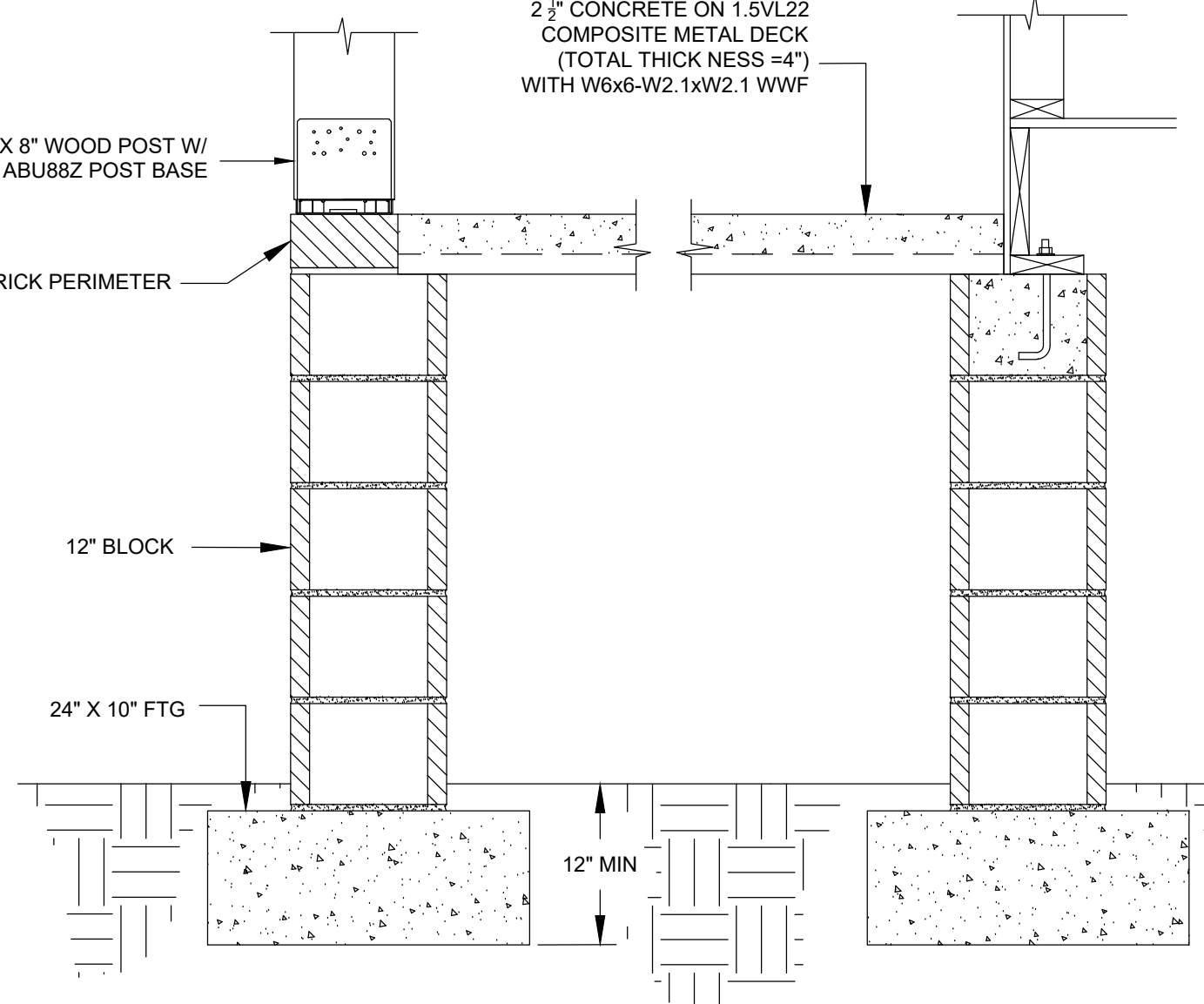
2nd FLOOR FRAMING PLAN



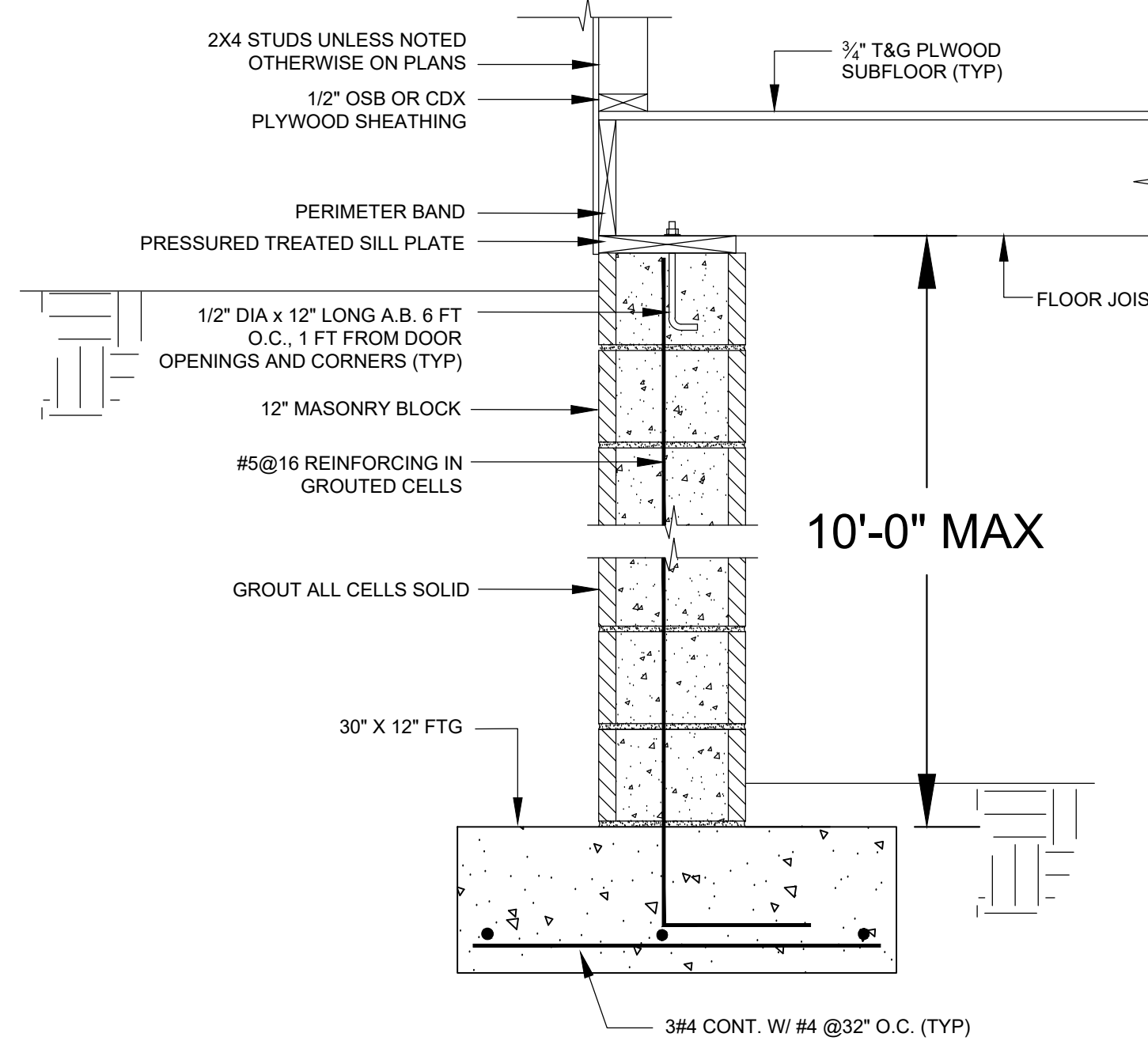
DETAIL A
Scale: 1" = 1'-0"



DETAIL B
Scale: 1" = 1'-0"



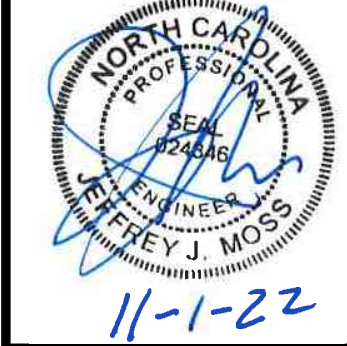
DETAIL C
Scale: 1" = 1'-0"



DETAIL D
Scale: 1" = 1'-0"



ISSUE / REVISIONS	
rev	description

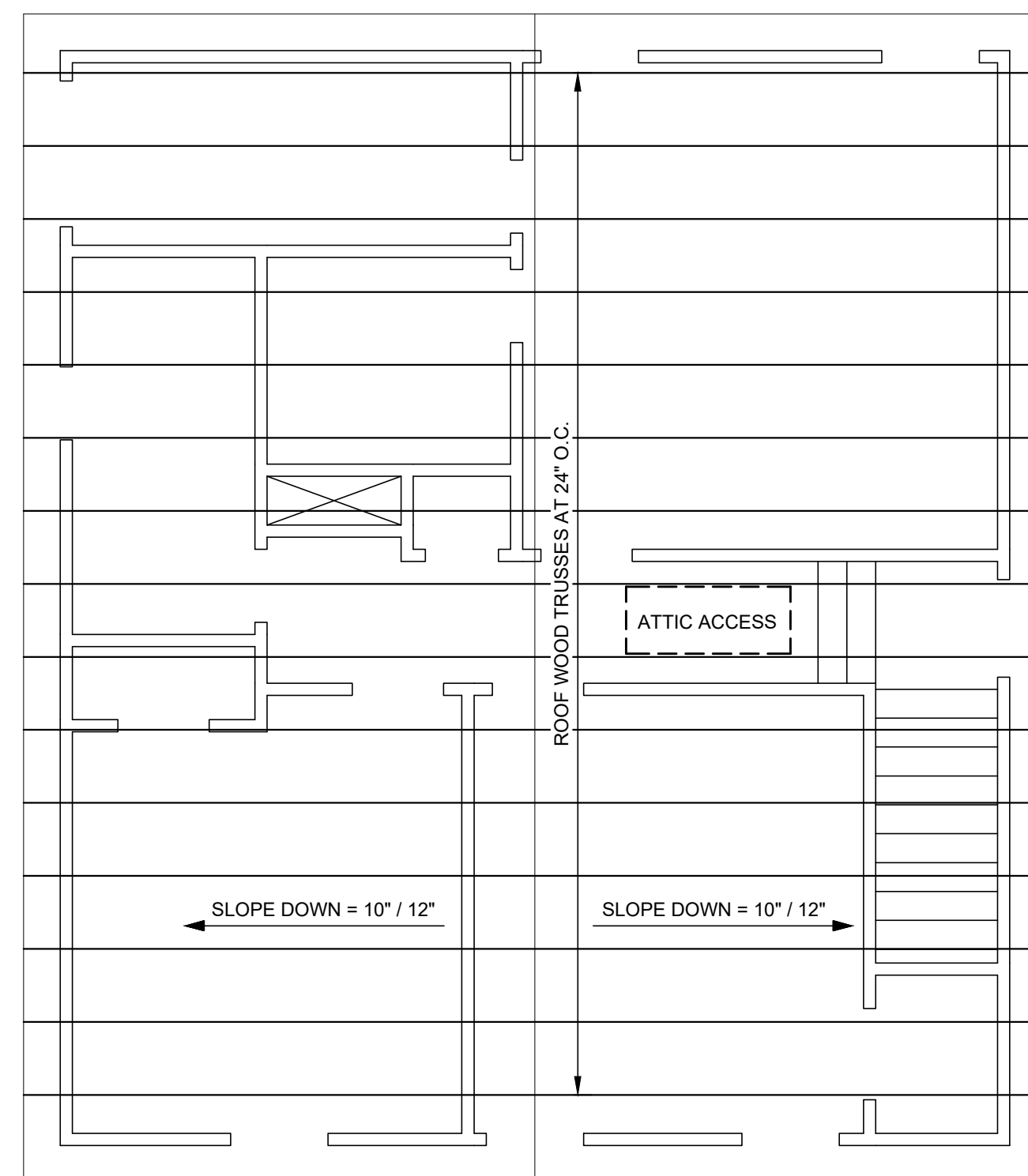
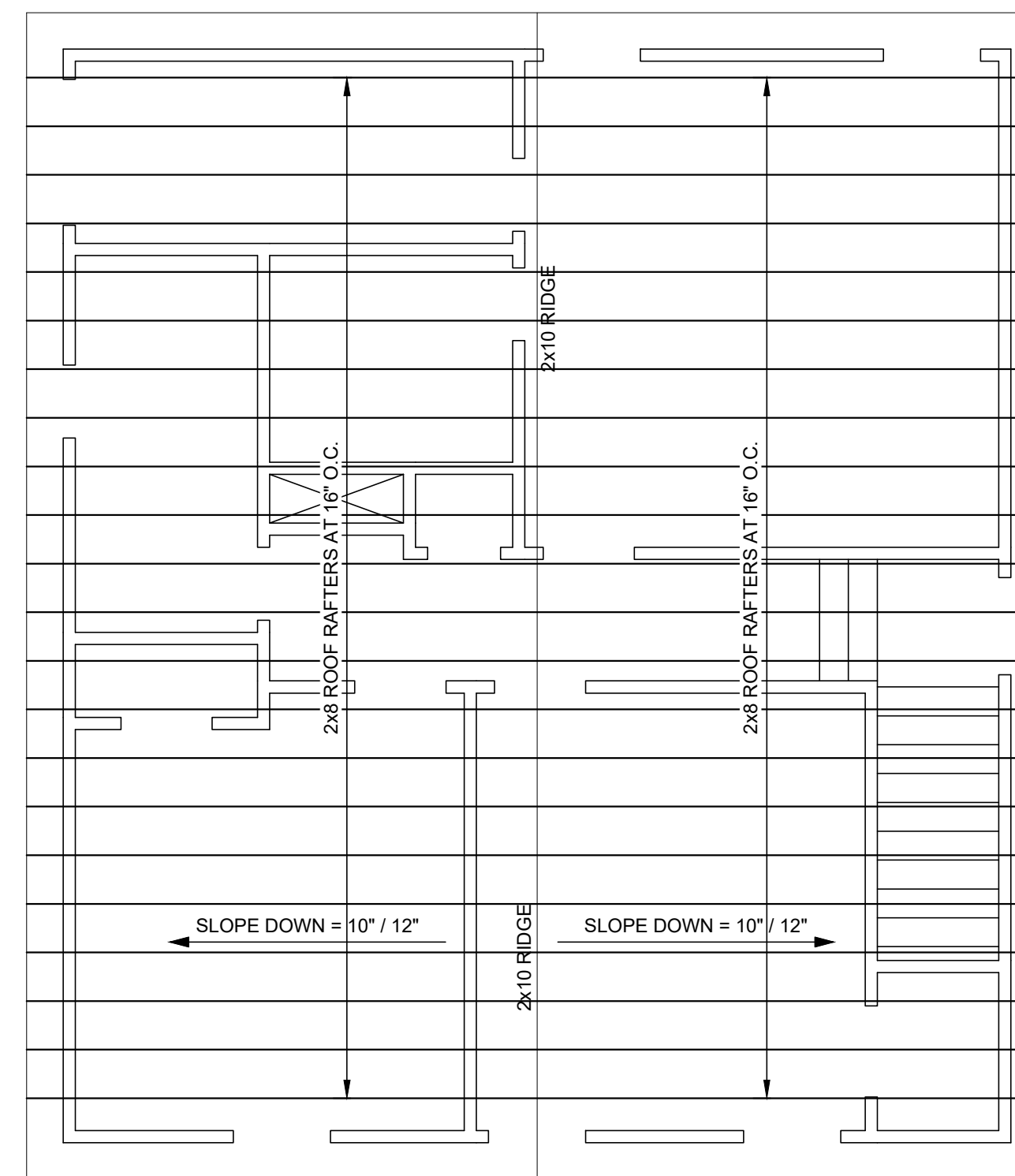
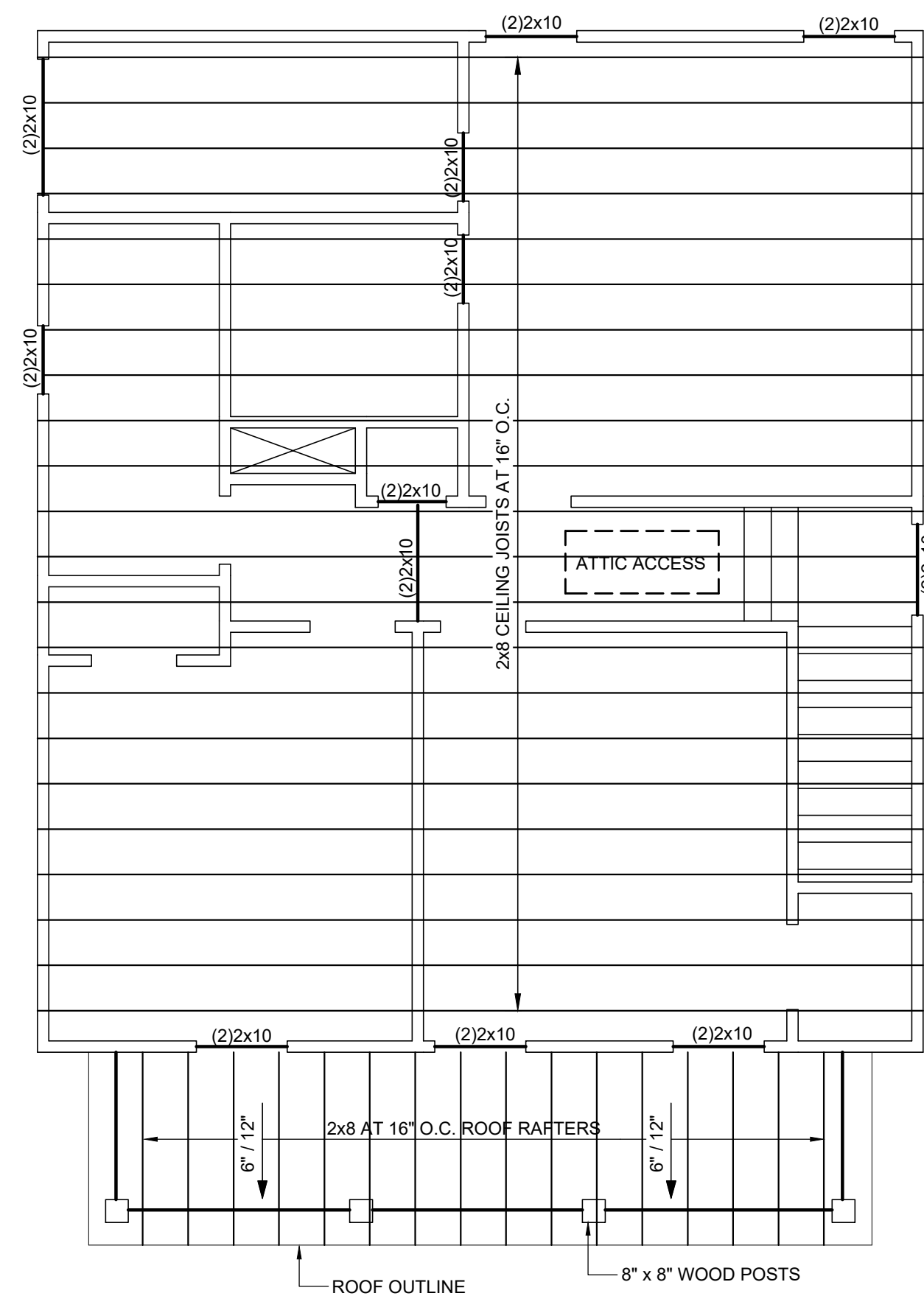


JEFFREY MOSS, P.E.
STRUCTURAL ENGINEER
1104 Chimney Hill Drive
Apex, NC 27502
Phone: (919) 740-0188
E-mail: jeffmoss@nc.rr.com

Structural House Plans for:
Property Resolution Services, LLC
1608 Gunter Street
Durham, NC 27707

FLOOR PLANS, DETAILS AND GENERAL NOTES

Scale:	1/4" = 1'-0"
Date:	10/15/22
Project No:	22247
Drawing No:	S1
Rev:	



STRUCTURAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION.
2. SECTION LOADS:
- | | LIVE LOAD
(PSF) | DEAD LOAD
(PSF) |
|--------------------------|--------------------|--------------------|
| FLOOR (PRIMARY DWELLING) | 40 | 10 |
| FLOOR (SLEEPING AREAS) | 30 | 10 |
| ATTIC (WITH STORAGE) | 20 | 10 |
| ATTIC (NO ACCESS) | 10 | 5 |
| DECKS | 40 | 10 |
| EXTERIOR BALCONIES | 60 | 10 |
| STAIRS | 40 | 10 |
| ROOF | 20 | 7 |
| ROOF TRUSS | 25 | 15 |
3. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS IN THE FIELD.
4. PRESUMPTIVE SOIL BEARING PRESSURE = 2000 PSF.
5. CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI, PREPARED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318.
6. ALL FRAMING LUMBER SHALL BE #1/2 SPRUCE-PINE-FIR UNLESS NOTED OTHERWISE.
7. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 3100 PSI, Fv=285 PSI AND E=2,000,000 PSI.
8. ALL ROOF SHEATHING SHALL BE ½" ORIENTED STRAND BOARD (OSB) OR APPROVED EQUAL.
9. PROVIDE FLOOR JOISTS AT ALL NON-LOAD BEARING WALLS 6'-0" OR LONGER RUNNING PARALLEL TO JOIST DIRECTION.
10. WALLS SHALL BE 2X4 STUDS UNLESS OTHERWISE NOTED.



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Property Resolution Services, LLC
1608 Gunter Street
Durham, NC 27707

[illegible]

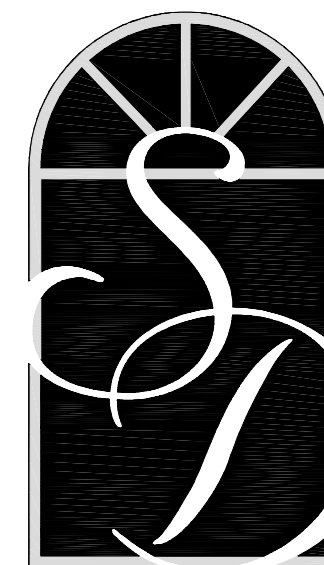
1/4" = 1'-0"

10/15/22

Subject No:
22247

Drawing No:	Rev.
52	

IV.



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Drawn By: **RWB**

Checked By: **RWB**

Date: **12-31-2020**

Revision No.	Revision Date

Designer Signature

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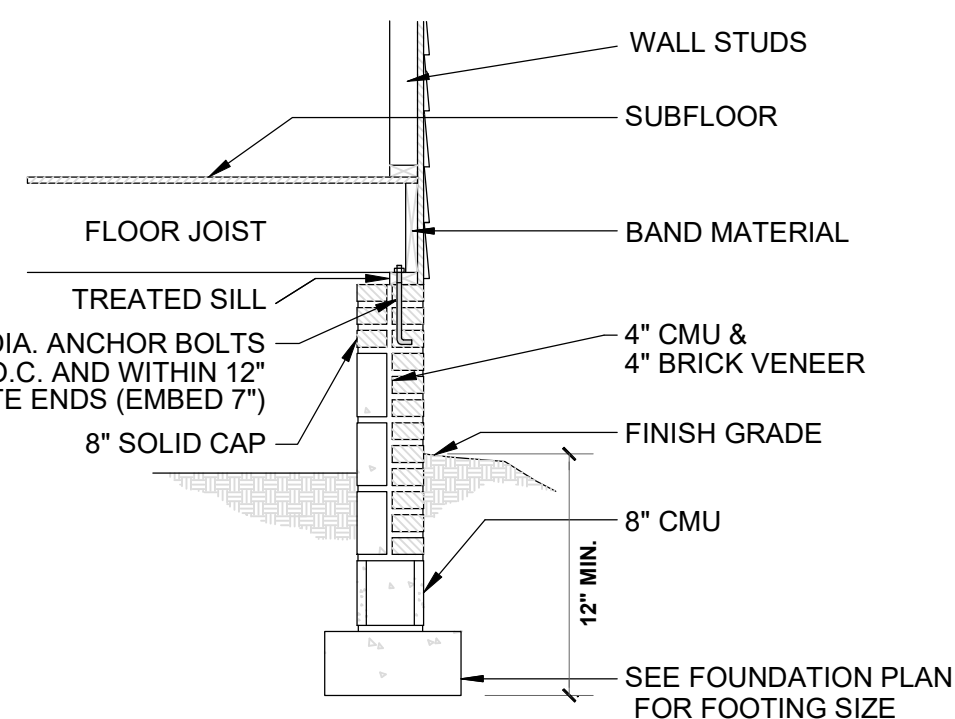
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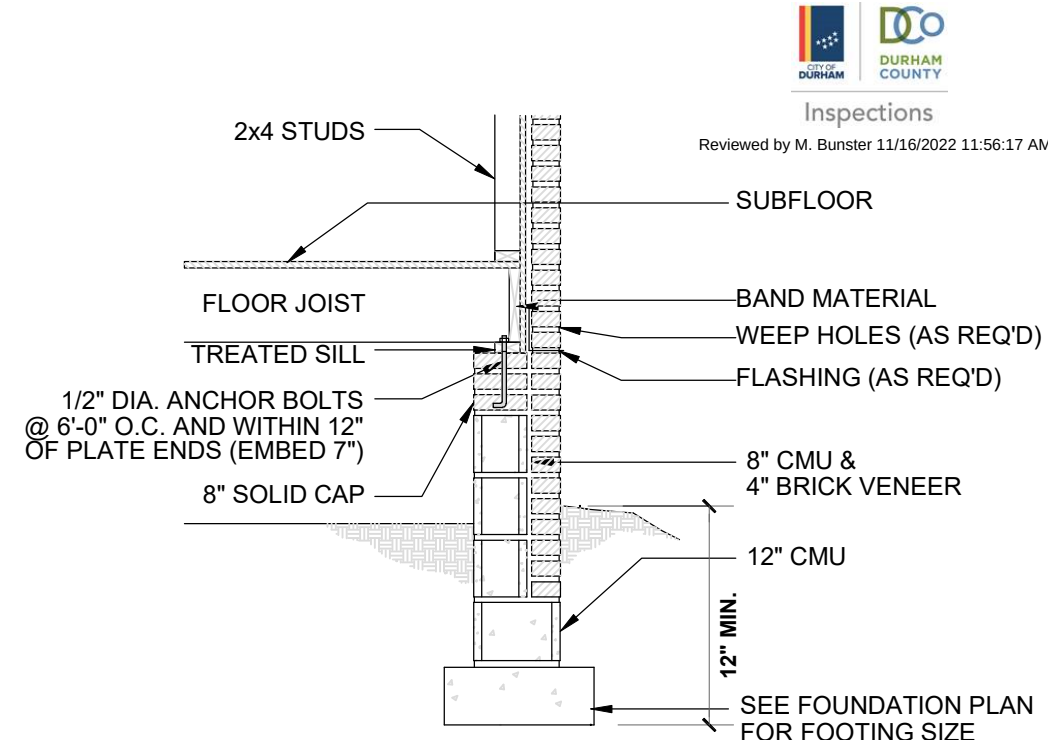
Title:

Plan No.

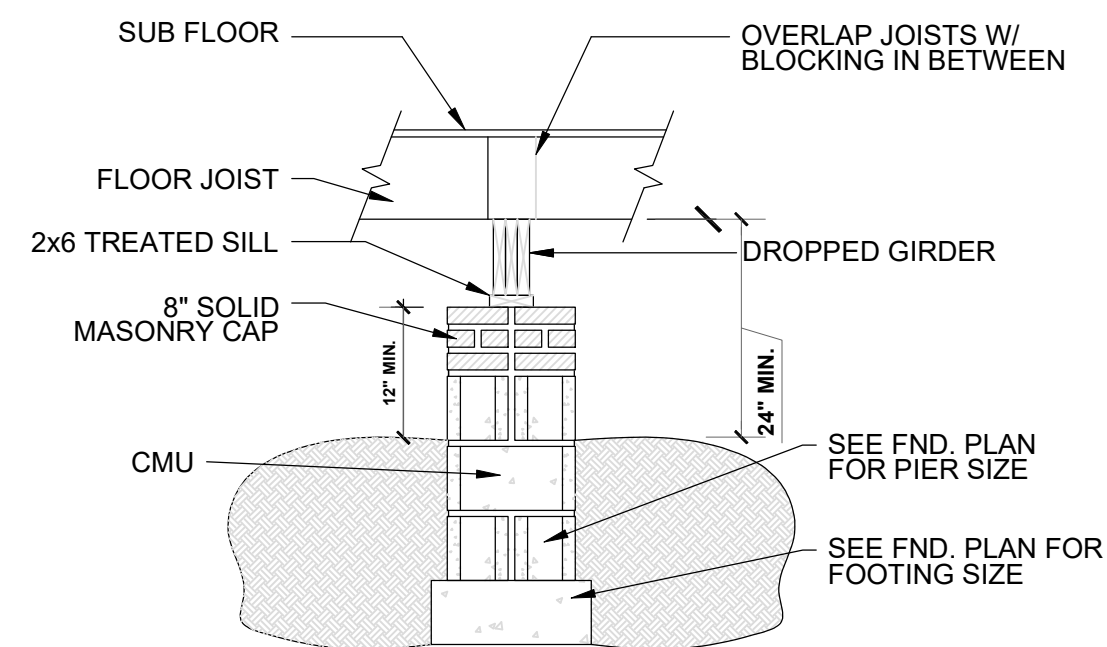
Sheet No. Of



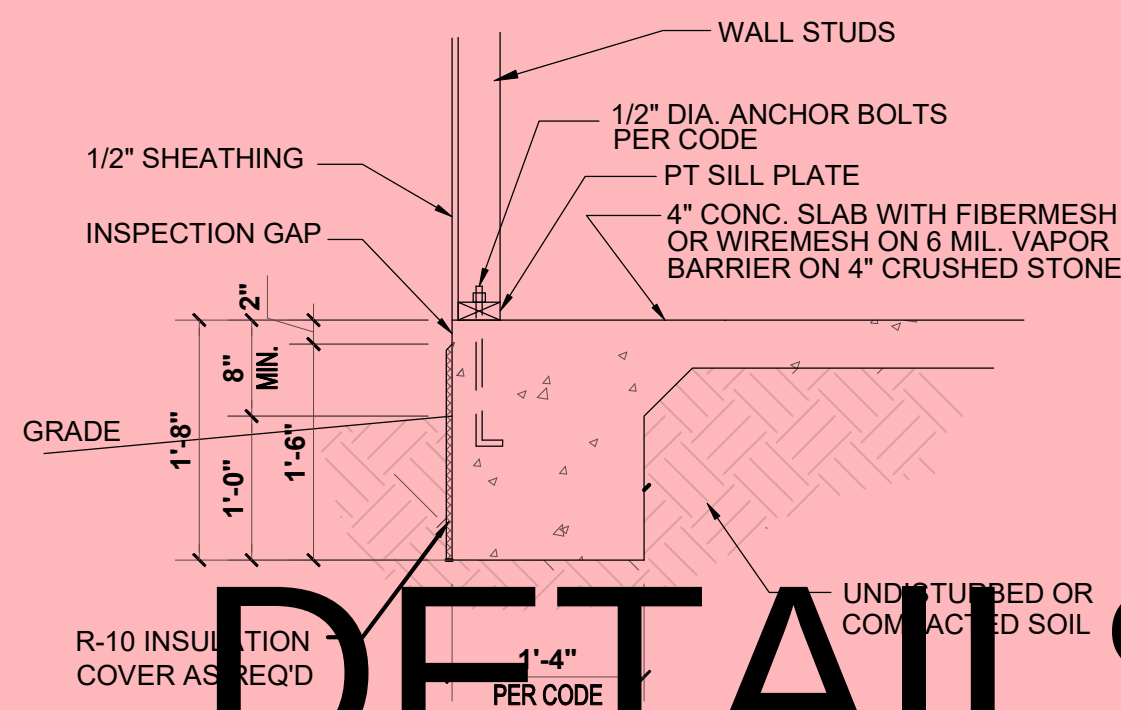
1 CRAWL SECTION
NTS (SIDING)



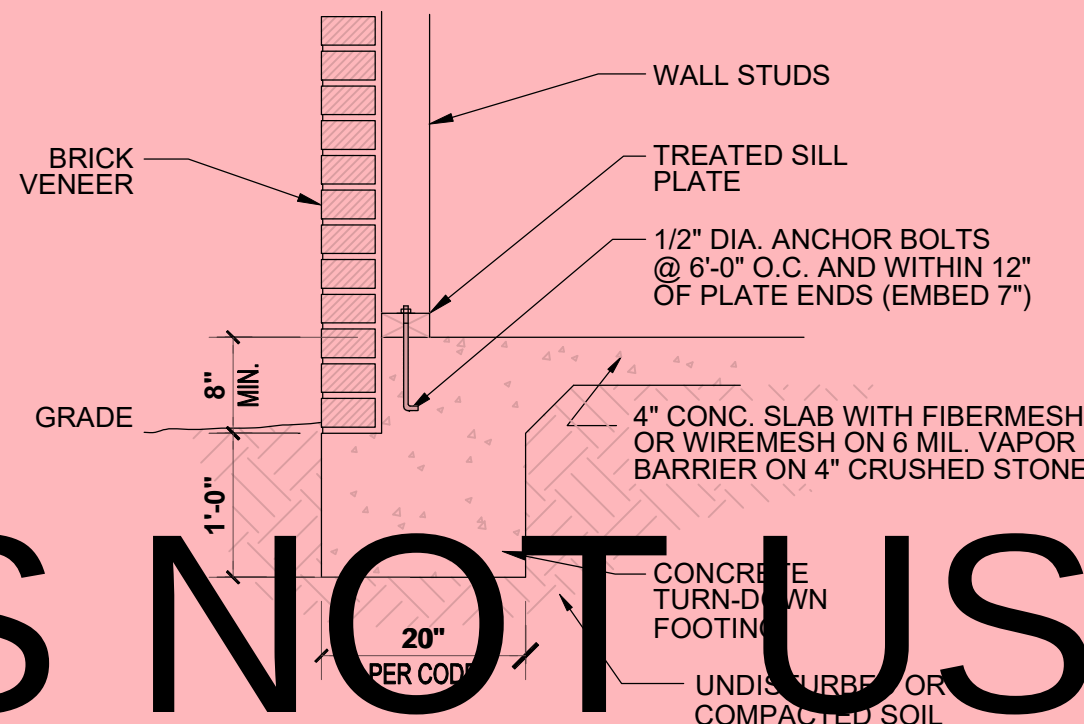
2 CRAWL SECTION
NTS (BRICK VENEER)



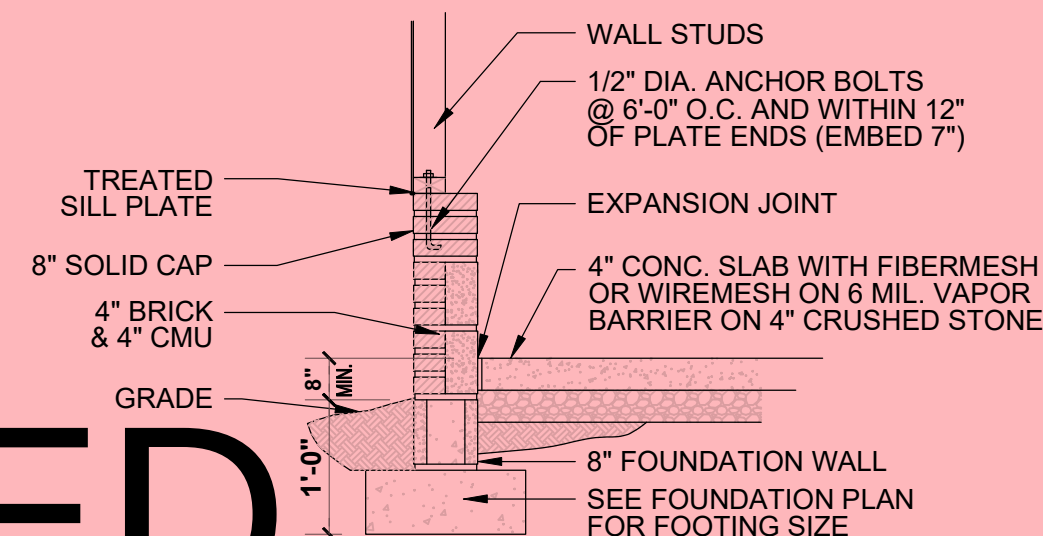
3 DROPPED GIRDER
NTS



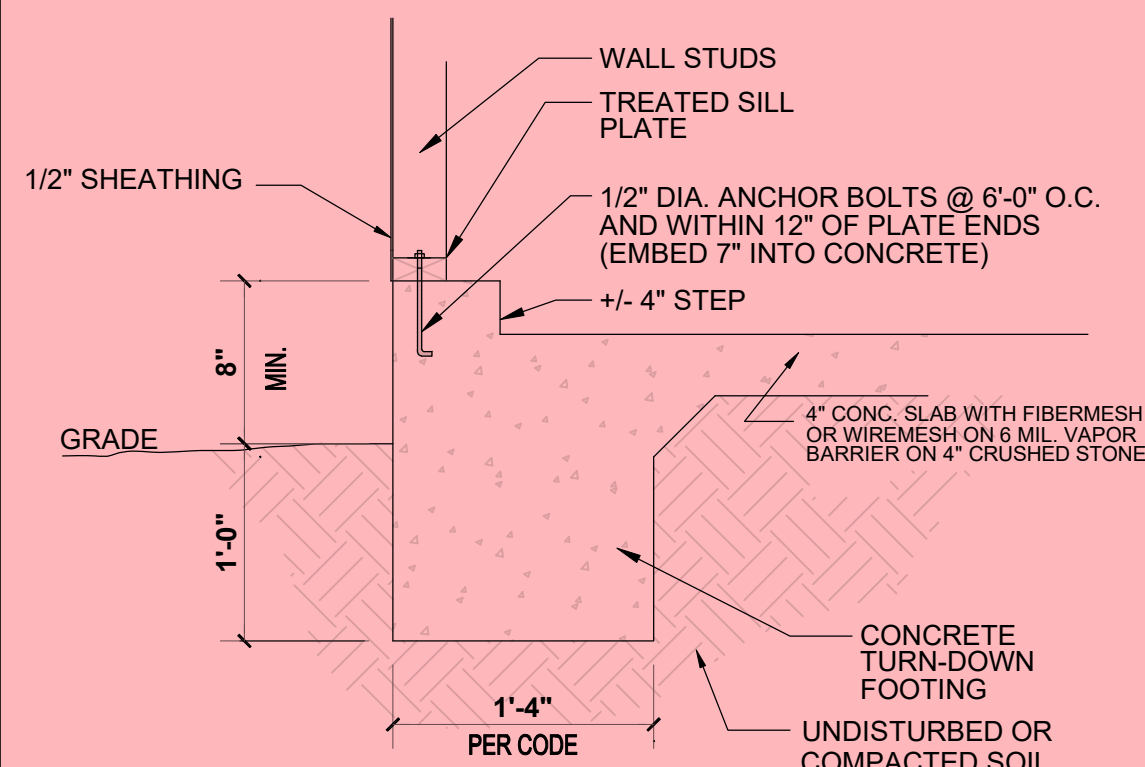
4 TURN DOWN SLAB FOOTING
NTS (SIDING)



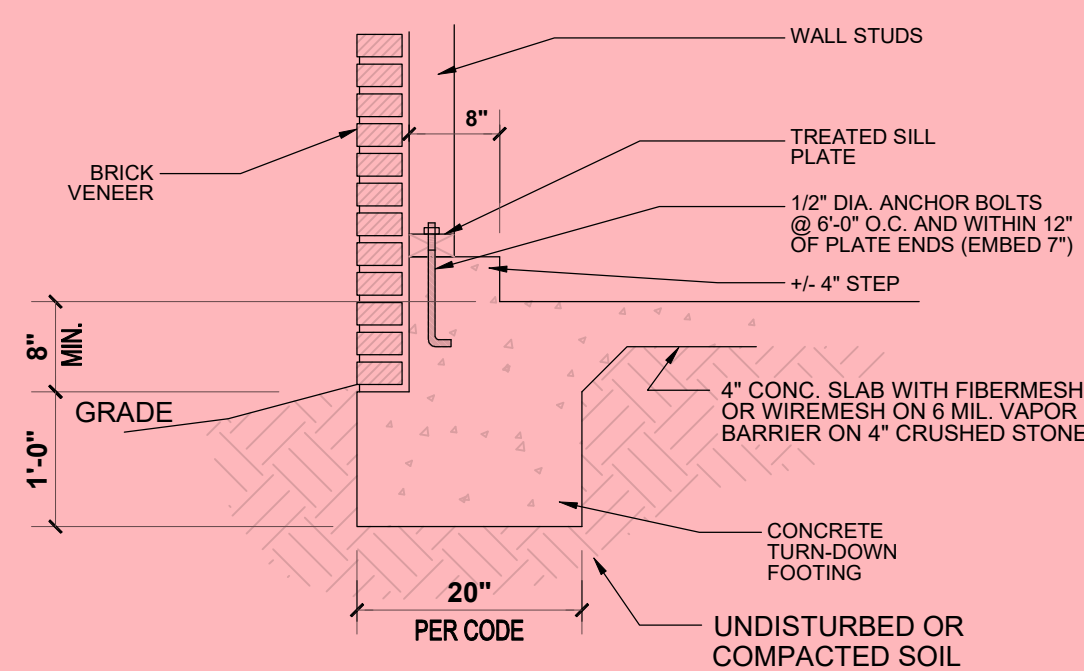
5 TURN DOWN SLAB FOOTING
NTS (BRICK VENEER)



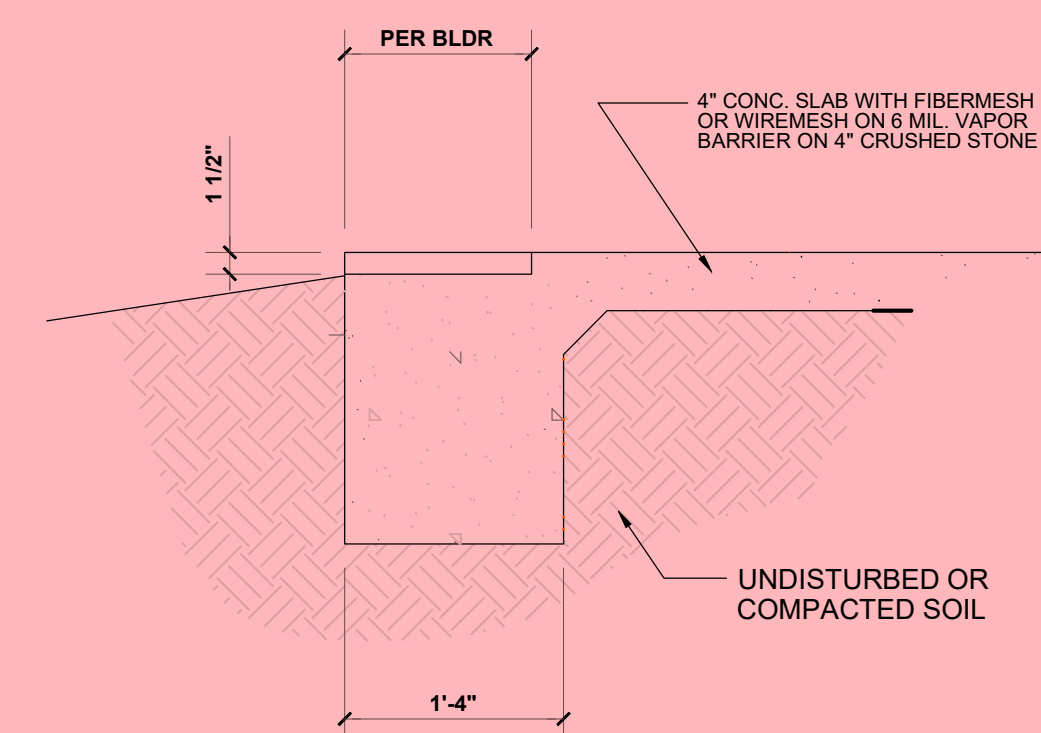
6 GARAGE SLAB STEM WALL
NTS



7 GARAGE CURB W/ TURNDOWN
NTS (SIDING)



8 GARAGE CURB W/ TURNDOWN
NTS (BRICK VENEER)



9 GARAGE ENTRY TURNDOWN
NTS



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Reviewed by M. Bunster 11/16/2022 11:56:17 AM

Drawn By: **RWB**

Checked By: **RWB**

Date: **12-31-2020**

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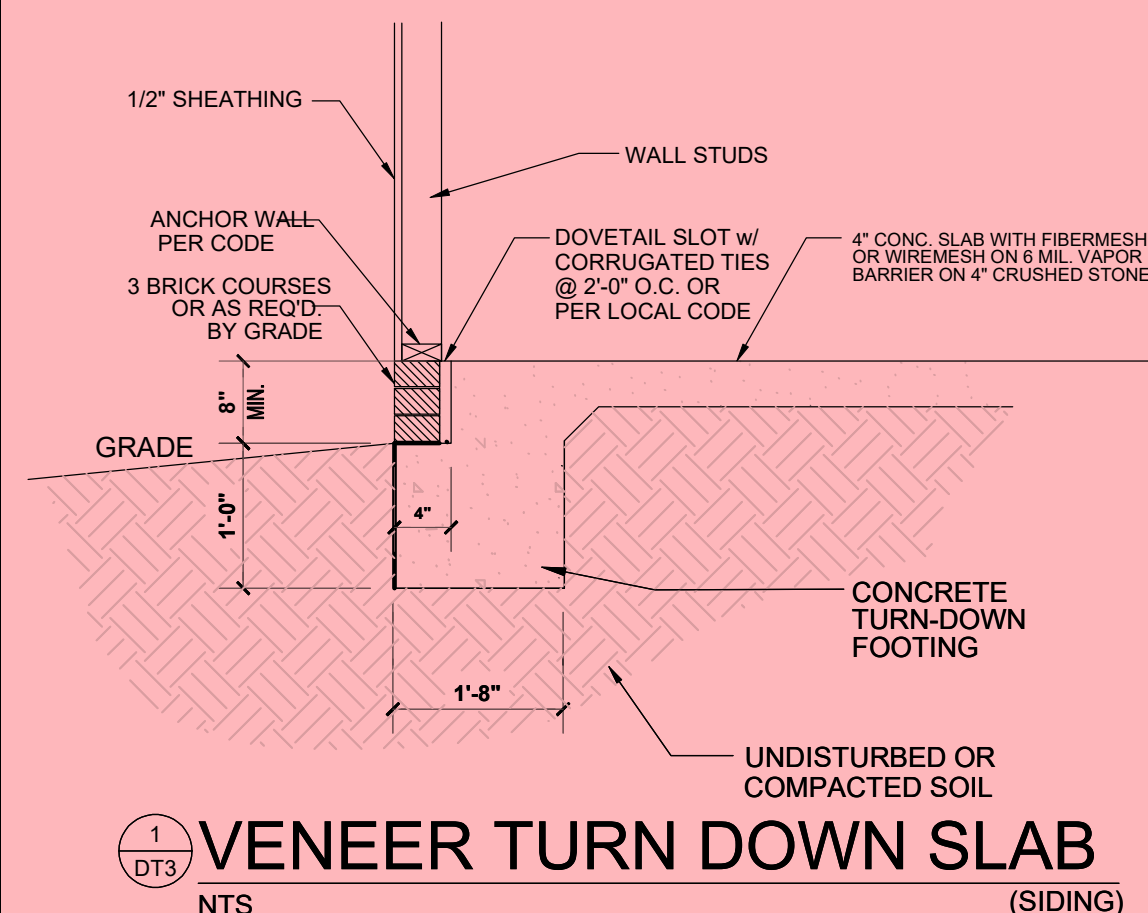
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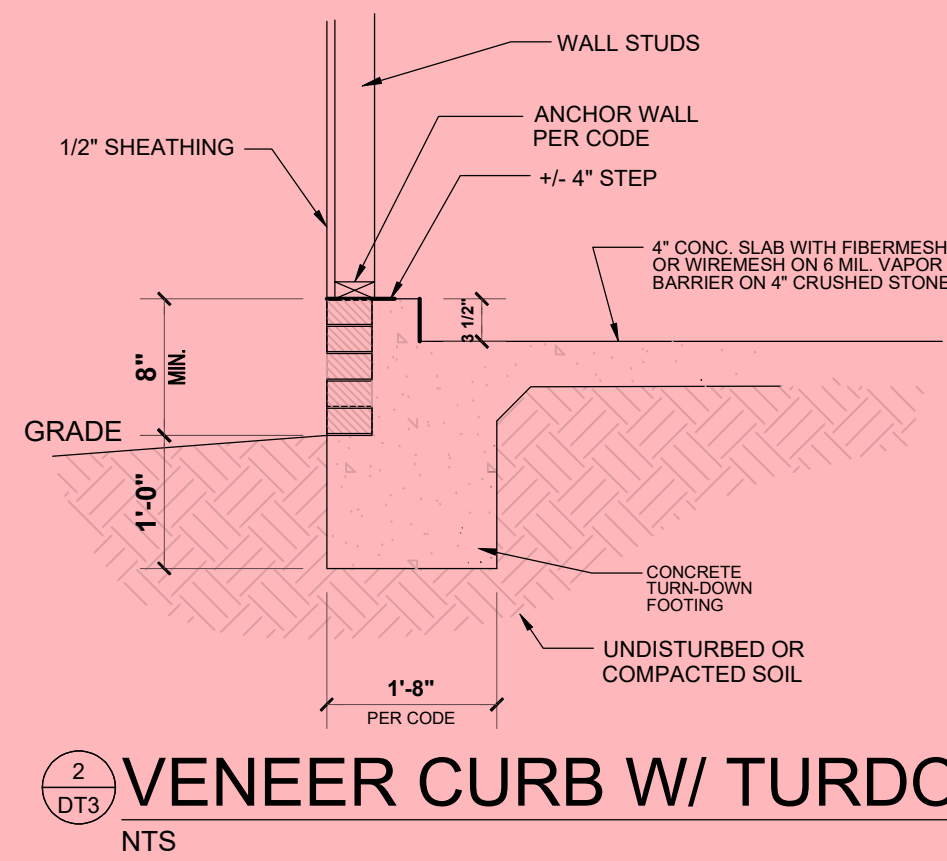
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Plan No.

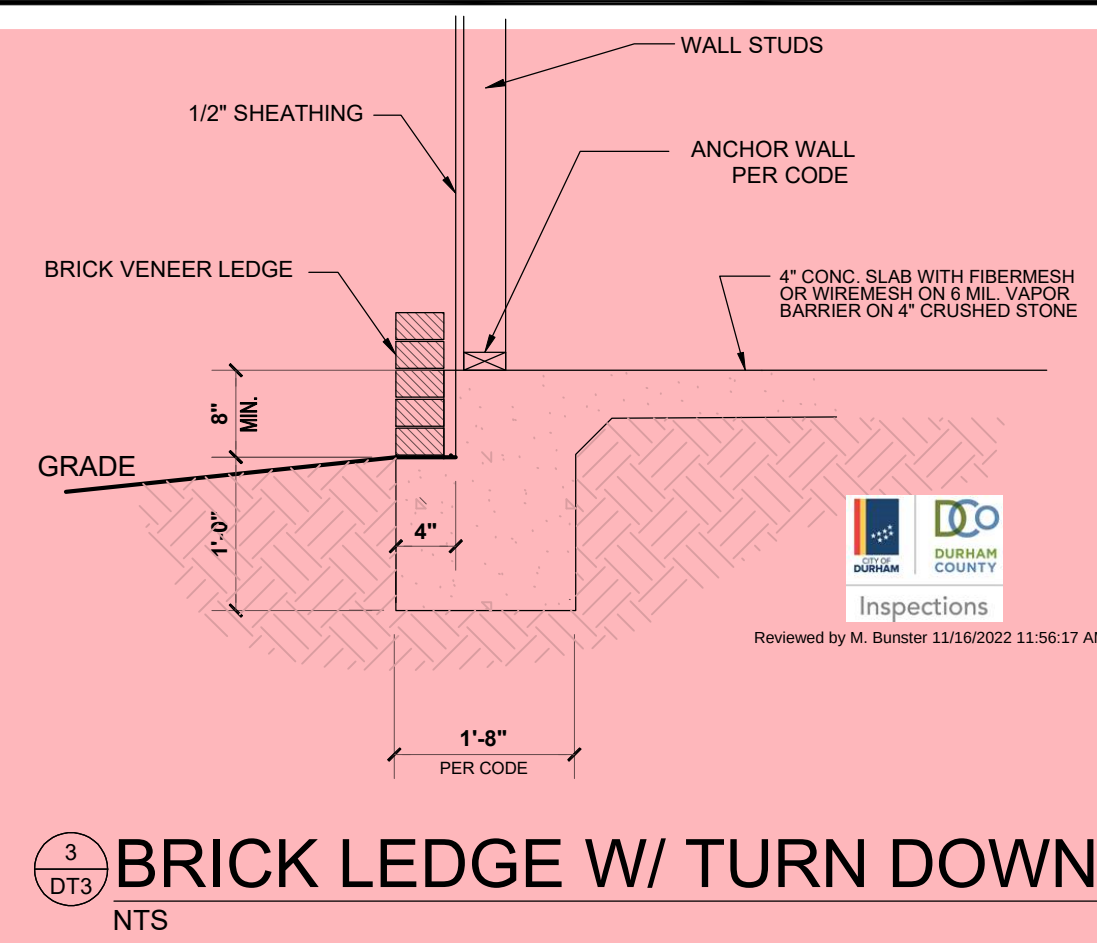
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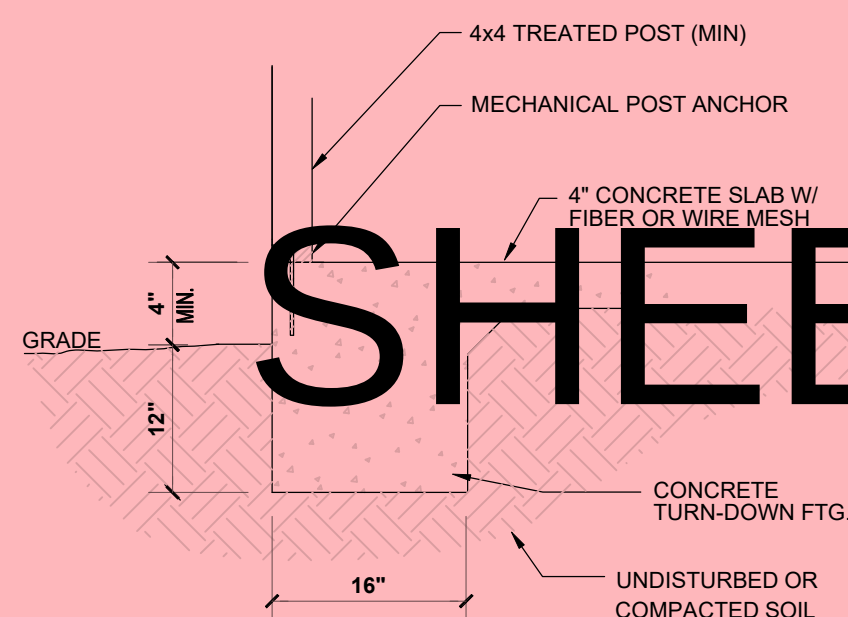
1 VENEER TURN DOWN SLAB
NTS (SIDING)



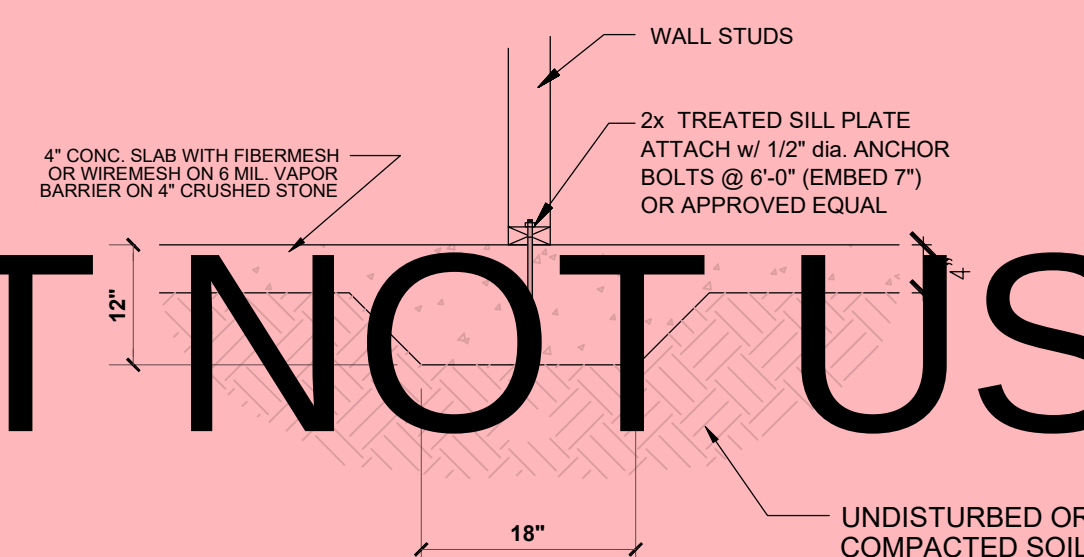
2 VENEER CURB W/ TURDOWN
NTS (SIDING)



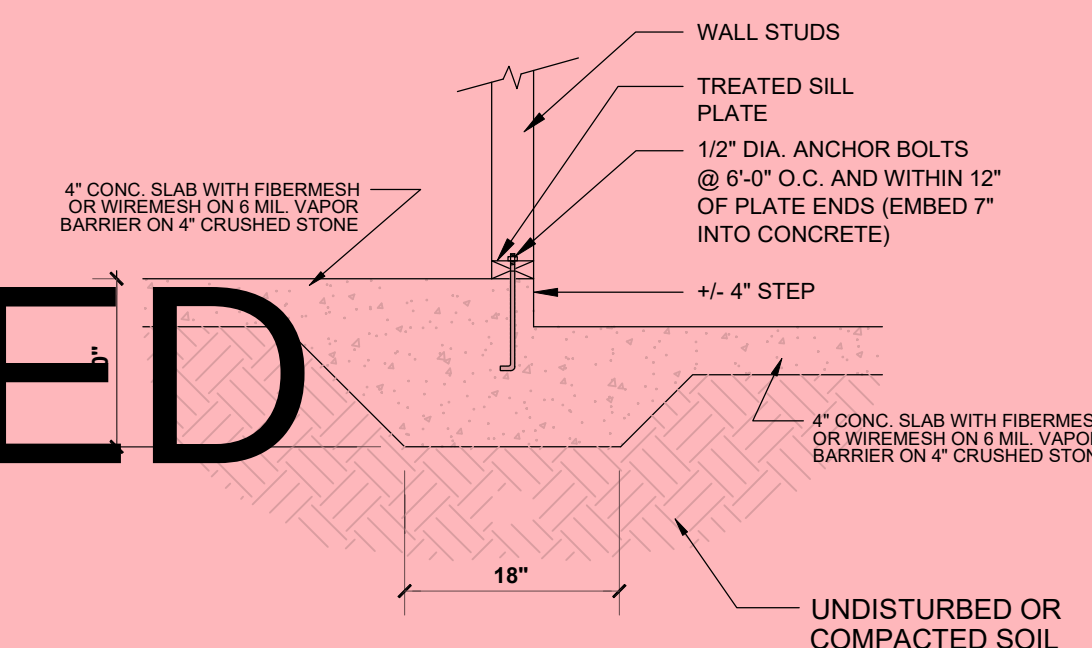
3 BRICK LEDGE W/ TURN DOWN
NTS



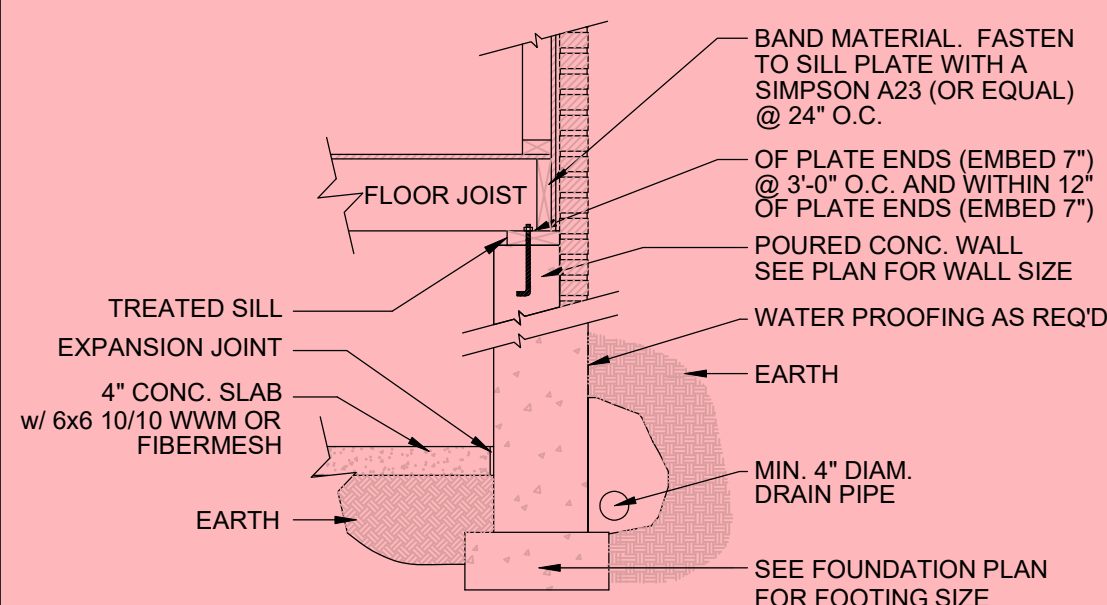
4 PORCH TURN DOWN SLAB
NTS



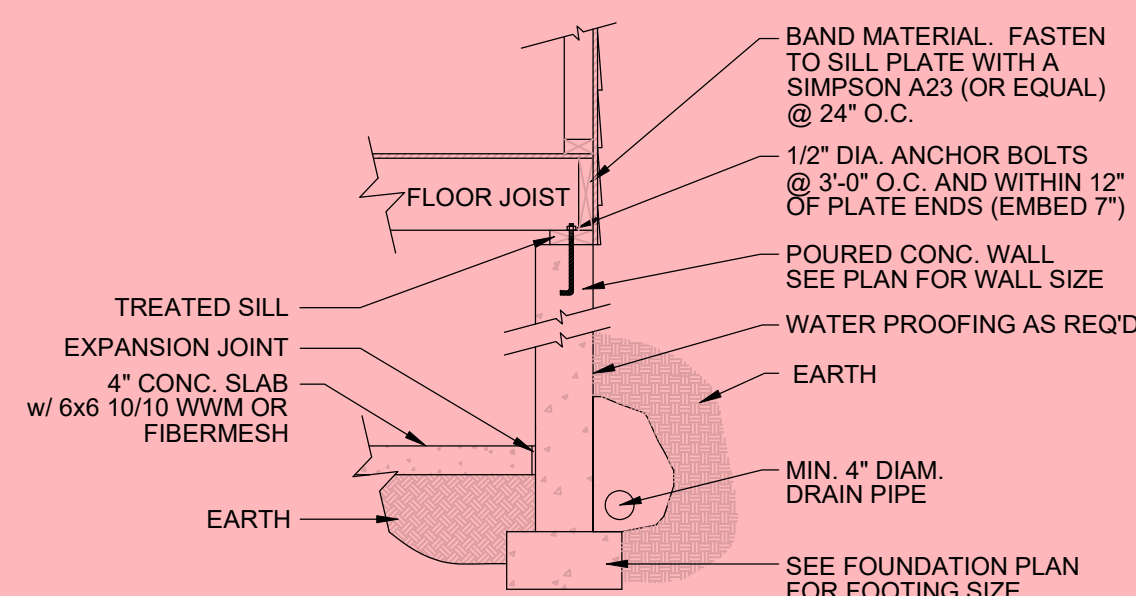
5 TYPICAL THICKENED SLAB
NTS



6 TYPICAL SLAB STEP
NTS



7 BASEMENT FOUNDATION
NTS REINF. PER CH4 OF THE 2012 NCBC

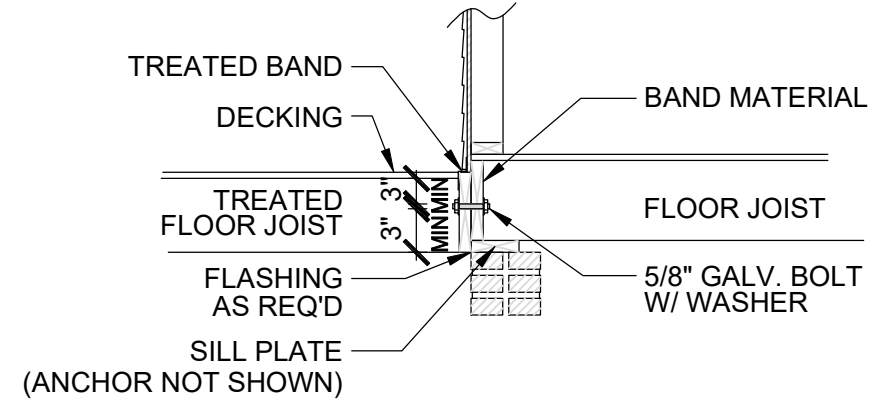


8 BASEMENT FOUNDATION
NTS REINF. PER CH4 OF THE 2012 NCBC

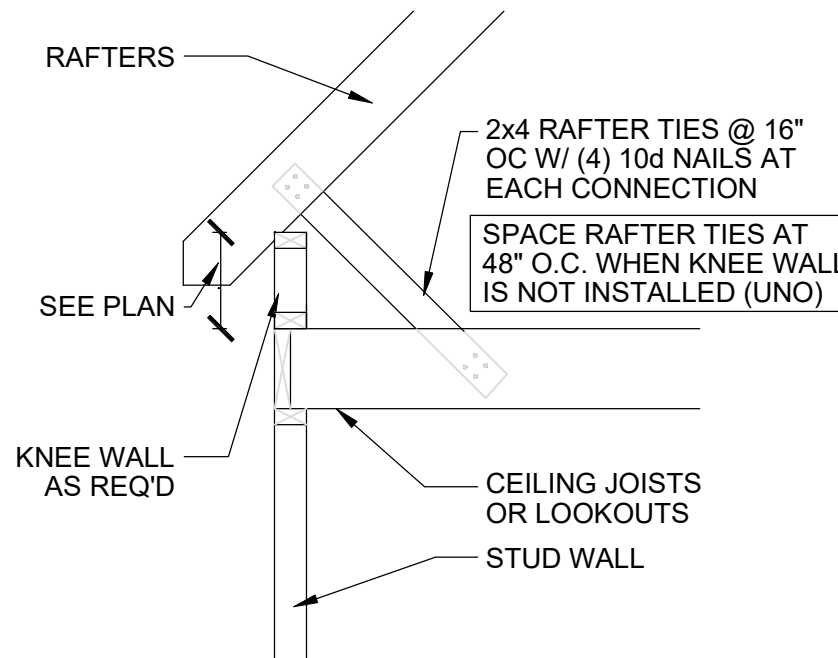


(3) 12d GALV. NAILS @ 6" O.C. AND
5/8"dia. GALV. BOLTS W/ WASHER @ 20" O.C.

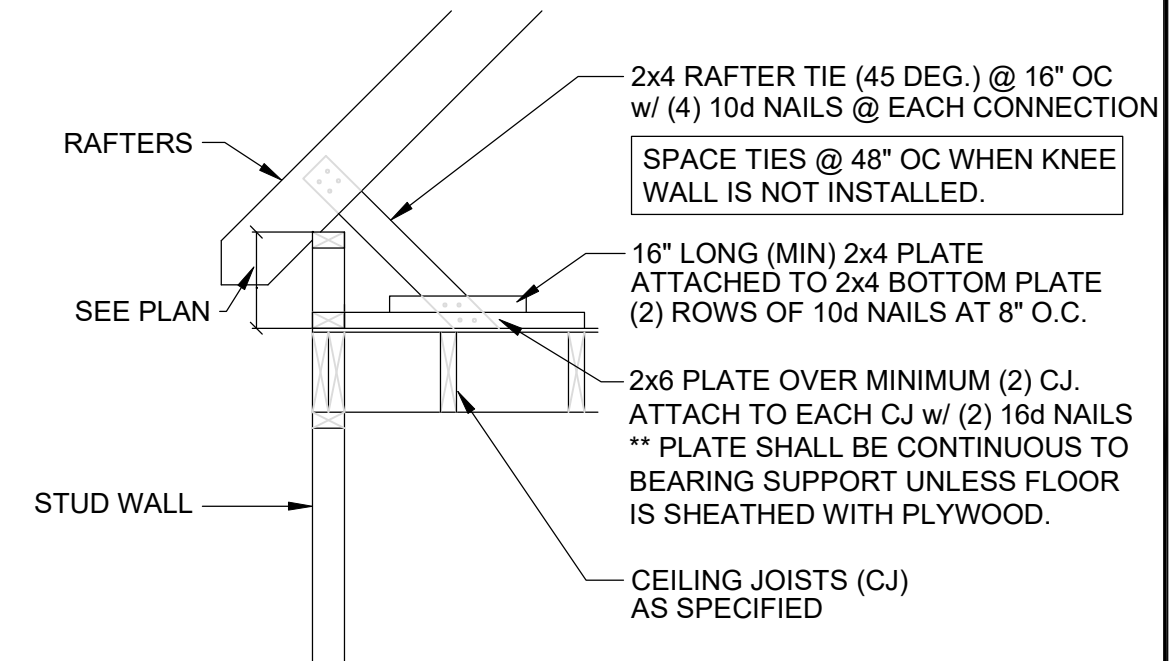
FOR BRICK VENEER STRUCTURES:
5/8"dia. GALV. BOLTS W/ WASHER @ 16" O.C.



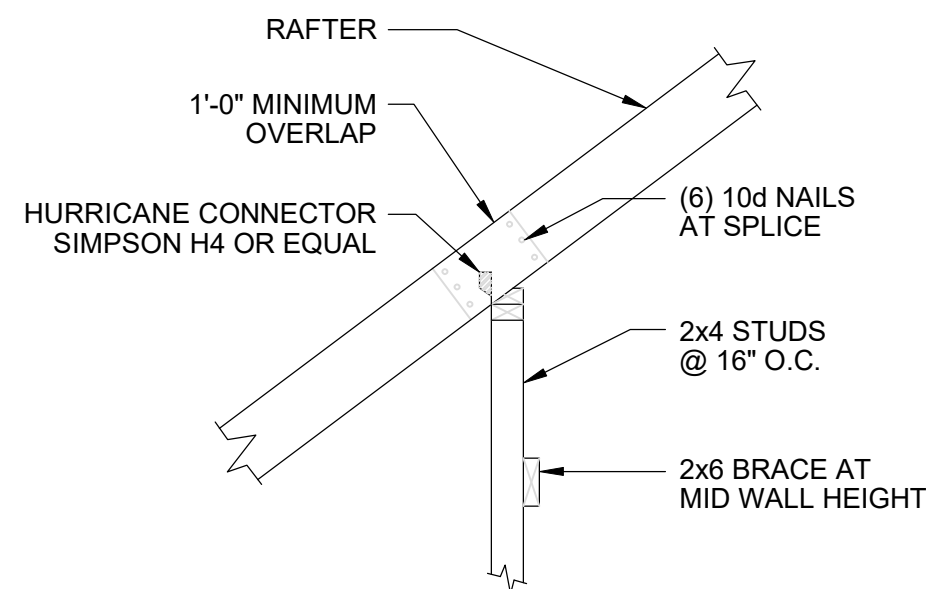
1
DT4
NTS
DECK ATTACHMENT DETAIL



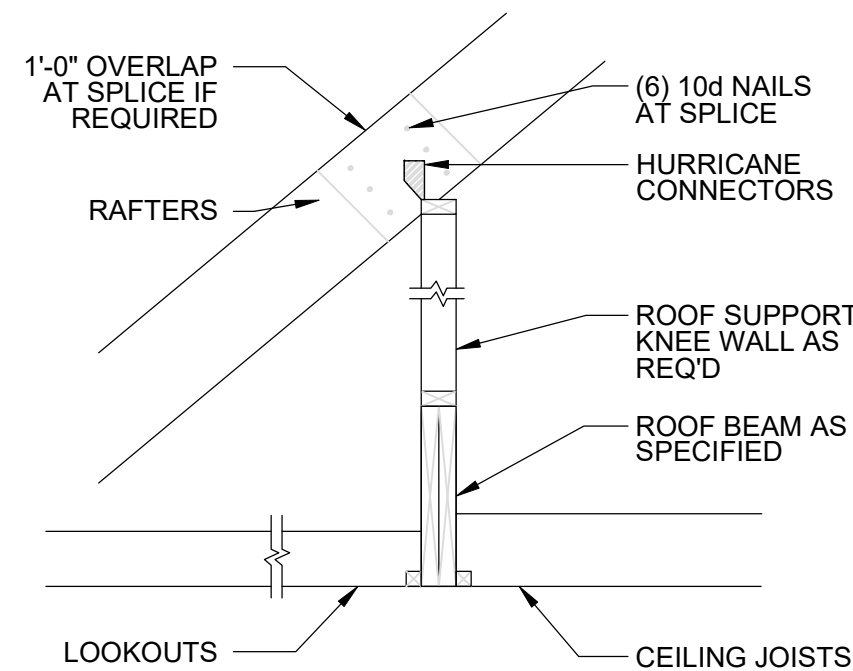
2
DT4
NTS
RAFTER TIE DOWN (TYP)



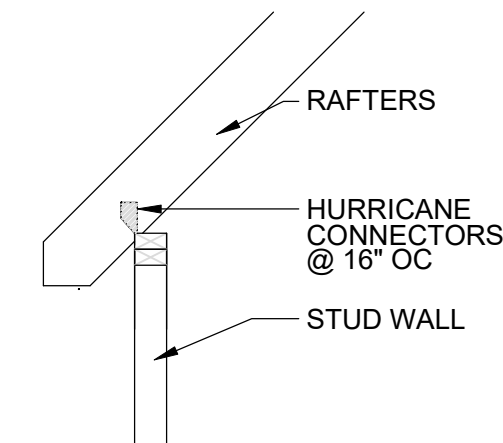
3
DT4
NTS
RAFTER TIE DOWN (TYP)
(RAFTERS PERPENDICULAR TO JOISTS)



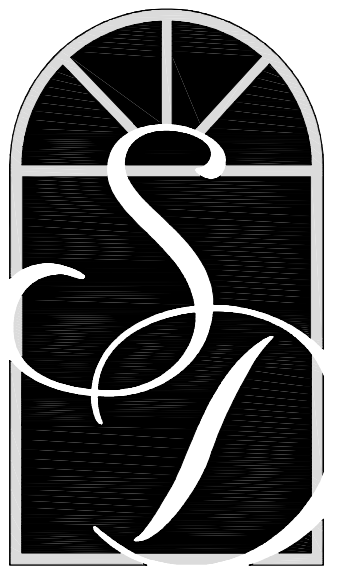
4
DT4
NTS
RAFTER SPLICE - ATTIC K.W.



5
DT4
NTS
ROOF BEAM



6
DT4
NTS
RAFTER TIE @ VAULT



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Drawn By: **RWB**

Checked By: **RWB**

Date: **12-31-2020**

Revision No.	Revision Date

Designer Signature

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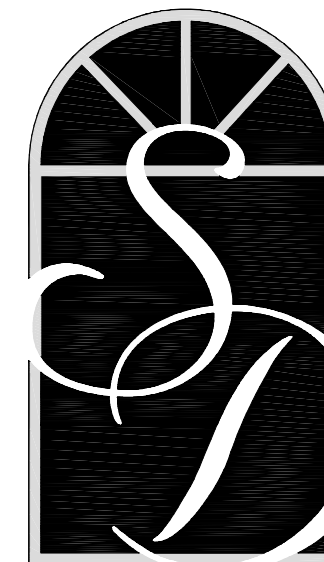
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Client:
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PLAN #1763

Title:

Plan No.

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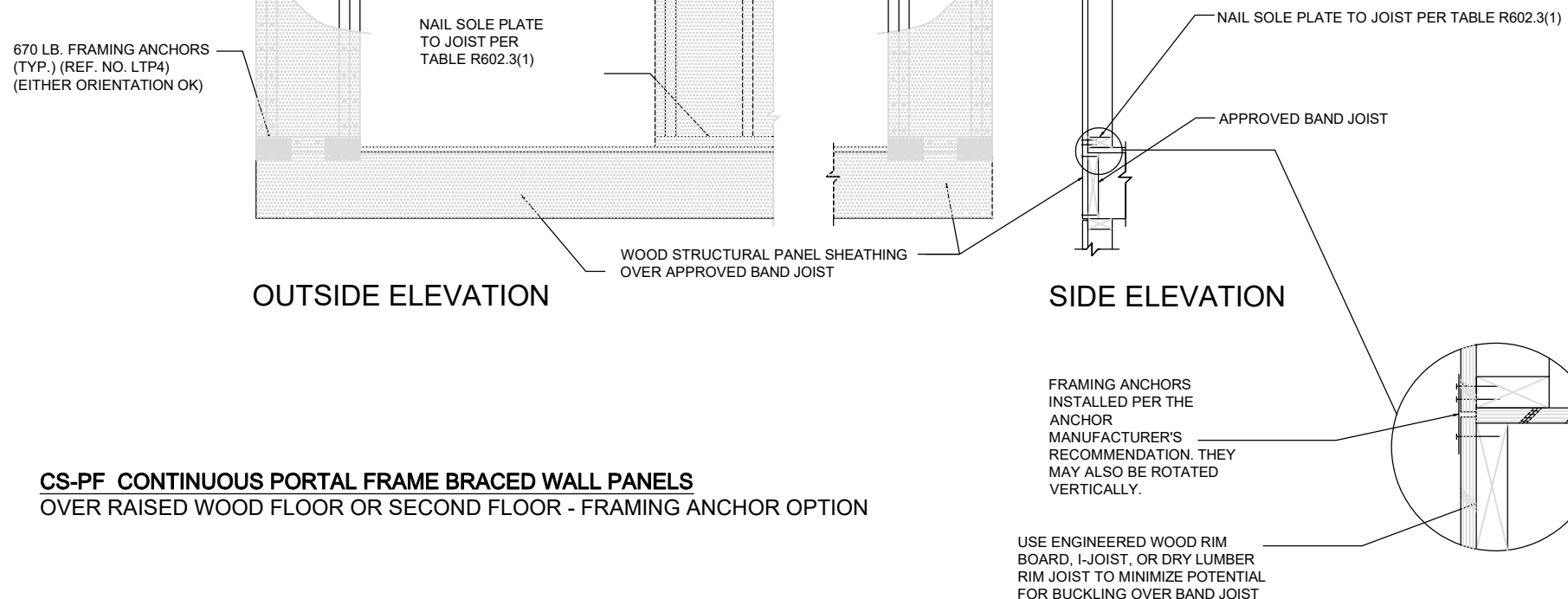
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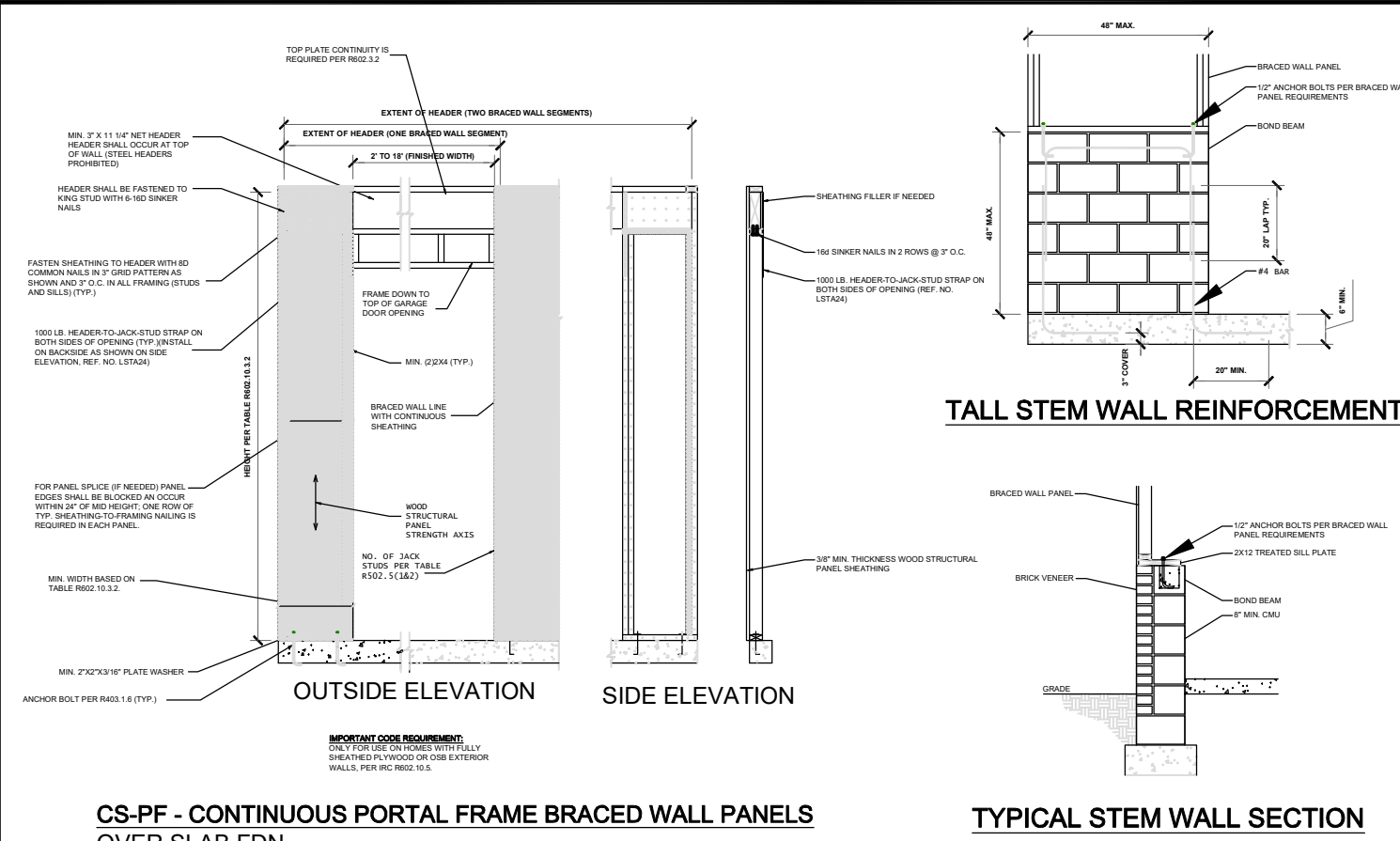


Inspections

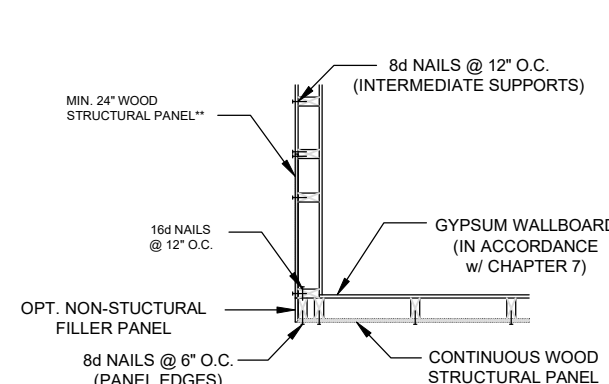
Reviewed by M. Bunster 11/16/2022 11:56:17 AM



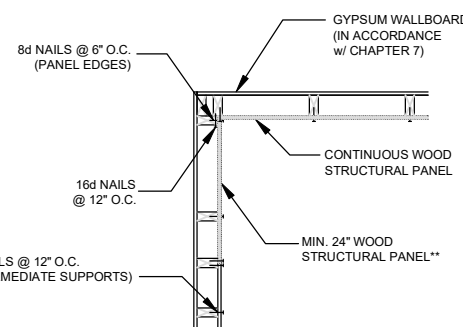
CS-PF CONTINUOUS PORTAL FRAME BRACED WALL PANELS
OVER RAISED WOOD FLOOR OR SECOND FLOOR - FRAMING ANCHOR OPTION



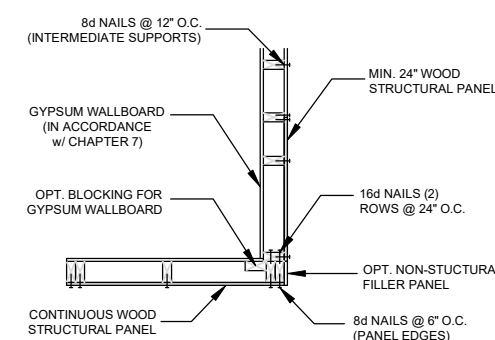
CS-PF - CONTINUOUS PORTAL FRAME BRACED WALL PANELS
OVER SLAB FDN



OUTSIDE CORNER DETAIL



INSIDE CORNER DETAIL



GARAGE DOOR CORNER

WALL CORNER DETAILS

BRACING NOTES

BRACED WALL CONSTRUCTION NOTES: 30' MAX MRH - 10 FT MAX WALL HEIGHT (EXCEPT ITEM 5)

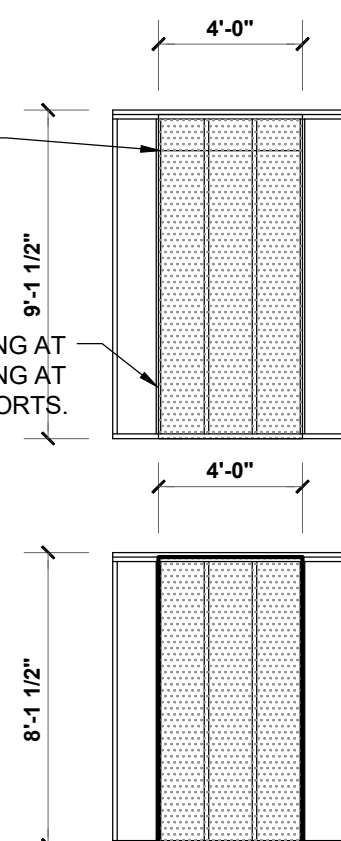
- ALL EXTERIOR WALLS ARE BRACED WALLS NOTATED EBW AND CONTINUOUSLY SHEATHED (EXTERIOR ONLY) WITH MIN. 7/16 OSB. MINIMUM WALL BRACED WALL PANEL LENGTH TO BE 12' PER LEVEL IN EACH DIRECTION U.N.O. W/ 6D COMMON NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS. PROVIDE BLOCKING BETWEEN STUDS AT PANEL BREAK IF OSB PANEL HEIGHT DOES NOT MATCH WALL HEIGHT (FIRST LEVEL SHEATHING TO LAP TREATED MUD-SILL PLATE).
- ALL INTERIOR BRACED WALLS NOTATED IBW (IF USED) ARE TO BE BRACED USING DOUBLE SIDED GWB WITH A MINIMUM BRACED PANEL LENGTH OF 20' PER LEVEL U.N.O. W/ GWB NAILED TO STUDS AT 7" O.C.
- MAXIMUM DISTANCE BETWEEN BRACED WALL LINES TO BE 60' U.N.O.
- MAXIMUM OFFSET FOR BRACED WALL CONTINUITY TO BE 4' EACH AND 8' TOTAL PER BRACED WALL LINE (BWL)
- BALLOON FRAMED AND TALL WALLS (OVER 10'-0") TO BE BRACED USING A COMBINATION OF INTERIOR SIMPSON WB126 STRAPPING (CROSS PATTERN - FULLY NAILED) W/ 1/2" GWB AND EXTERIOR OSB SHEATHING WITH CONNECTIONS AS OUTLINED ABOVE.
- PROVIDE 800# HOLD DOWN FASTENERS AT BUILDING CORNERS WHEN A MINIMUM 24" RETURN CANNOT BE MET. SEE R602.10 FOR HOLD DOWN ATTACHMENT.
- FOR 120 MPH & 130 MPH PROVIDE BLOCKING PER R4506.2 IF LESS THAN 50% OF THE WALL LENGTH IS SHEATHED.

WSP - WOOD STRUCTURAL PANEL

BRACED WALL PANEL PER IRC TABLE R602.10.2.1
3/8" MIN. OSB SHEATHING ON ONE SIDE OF WALL.
MINIMUM PANEL LENGTH 48".

PROVIDE BLOCKING BETWEEN STUDS
AT PANEL BREAK IF OSB PANEL
HEIGHT DOES NOT MATCH WALL
HEIGHT

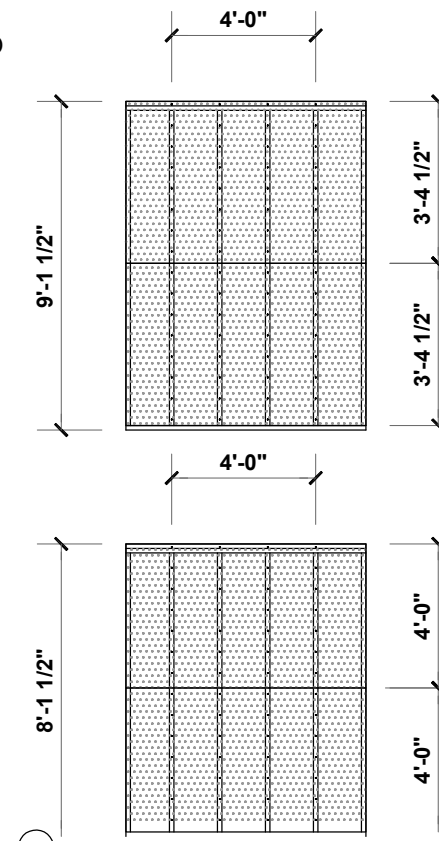
6d COMMON NAILS AT 6" SPACING AT
PANEL EDGES AND 12" SPACING AT
INTERMEDIATE SUPPORTS.



BRACING METHODS

GB - GYPSUM BOARD

BRACED WALL PANEL PER IRC TABLE R602.10.2.1
1/2" GYPSUM BOARD NAILED TO STUDS AT 7" O.C.
MINIMUM PANEL LENGTH 48" WHEN APPLIED TO
BOTH SIDES OF WALL AND 96" WHEN APPLIED TO
ONE SIDE OF WALL.



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PLAN #1763

Title:

Plan No.

Sheet No. Of

Designer Signature

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