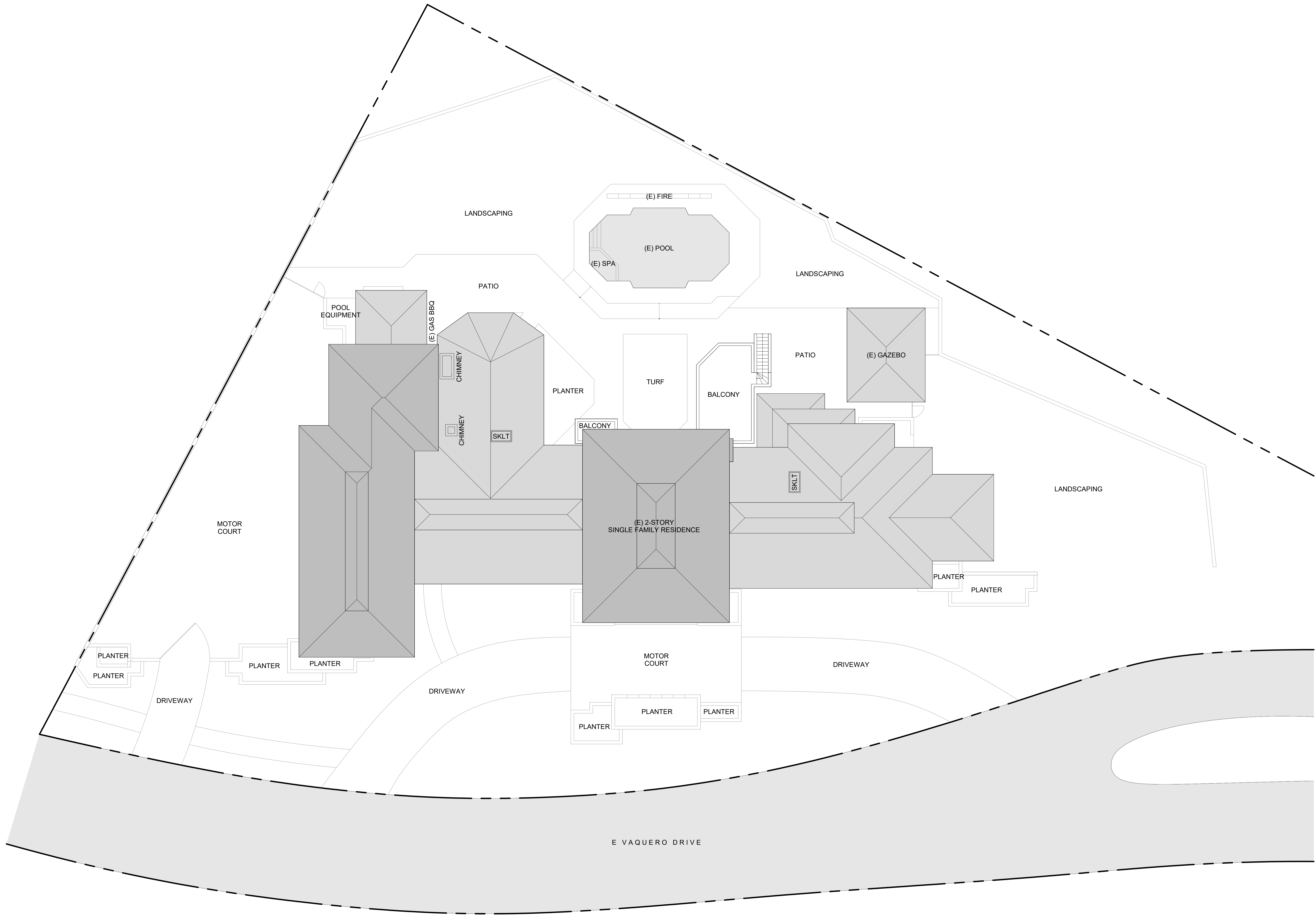


City of Scottsdale THE FOLLOWING CODES APPLY TO ONE- AND TWO-FAMILY DWELLINGS 2021 INTERNATIONAL BUILDING CODE (ORD #4550, resolution #12498) 2021 INTERNATIONAL RESIDENTIAL CODE (ORD #4575, resolution #12499) 2021 INTERNATIONAL FIRE CODE (ORD #4562, resolution #12583) NOTES 1-12 REFLECT 2021 CODE UPDATES 1. *Doors and windows shall be separated from the swimming pool/spa, by an approved pool barrier. IPSC 305.4. 2. *Plumbing fixtures shall comply with the following conservation requirements: Lavatory faucets: 1.5 gal/minute; Shower heads: 2.0 gal/minute; Kitchen faucet: 1.8 gal/minute; water closets: 1.28 gal/flush. (Table P2903.2, amended). 3. *A demand-controlled hot water circulation system shall be provided in accordance with Section N1103.5.1.1 amended. 4. *Cool/light reflective coated roofs. Roof solar reflectance and thermal emittance for roof slopes less than 2:12. Three-year-aged solar reflectance index (SRI) of 64. Three-year-aged solar reflectance of 0.55 and a three-year aged thermal emittance of 0.75 over conditioned and non-conditioned spaces. N1102.6 amended. 5. *The building thermal envelope shall comply with climate zone 2. Energy compliance shall be demonstrated by UA trade-off (REScheck) OR performance (REM/Rate, ERI, HERS) compliance path OR by the following prescriptive values (Table N1102.1.3): Prescriptive minimum R-values: (*Ceiling-R-49) / (Walls-R-13). 6. *Exterior lighting over 30 watts shall include an automatic shut-off. (N1104.3). 7. *All permanently installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1). 8. *All permanently installed interior lighting fixtures shall be controlled with either a dimmer, an occupant sensor control or other control such as an automatic timer shut-off switch. Exceptions include bathrooms and hallways. (N1104.2). 9. *E3606.5 Surge protection. All electrical services supplying one- and two-family dwelling units shall be provided with a surge protective device (SPD) installed in accordance with Sections E3606.5.1 through E3606.5.3. 10. *Electric Vehicle Charging Capacity. Reserve electrical service panel space for a full size 2-pole circuit breaker labeled "Future EV Charging". A raceway shall be installed from the electrical service panel to a location within the garage, where it shall terminate in a junction box or outlet and be labeled "Future EV Charging". 11. *Solar-Ready Zones – RB103. Minimum 10% of roof area but not less than 300 sq. ft. free and clear of obstructions including mechanical equipment and vents. Provide electrical pathway for conduit run from solar-ready zone to electrical service panel with reserved space for 2-pole circuit breaker. Capped roof penetration sleeve shall be provided on roofs with a slope of 1 in 12 or less. 12. *The following three notes are applicable to New Construction only (BPI certified professionals are approved for testing air leakage in existing buildings, otherwise RESNET professionals are approved for new and existing): 1. *The building shall be provided with a whole-house mechanical ventilation system that meets the requirements of Section M1505. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (M1103.6). 2. *The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding five air changes per hour for detached dwelling units and seven air changes per hour for attached dwelling units. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by an approved third party (RESNET certified). A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2). 3. *Ducts, air handlers, and filter boxes shall be sealed in accordance with N1103.3.4. Joints and seams shall comply with Section M1601.4.1. Ducts shall be pressure tested to determine leakage by one of the following methods (N1103.3.5): 1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test. 2. Post-construction test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test. A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Final Building Inspection.		SUBMIT PLAN CHECK DESIGN REVIEW DESIGN APPROVAL		SHEET NUMBER		COLOR SHEET		SC.1 RENOVATION AND IMPROVEMENTS TO AN EXISTING 2-STORY SINGLE FAMILY RESIDENCE EXTERIOR BALCONY ADDITION EXTERIOR WINDOWS & DOORS REPLACEMENT ROOF REPLACEMENT EXTERIOR STUCCO REPAIR AND EXTERIOR PAINT NEW POOL & SPA, REPLACED OUTDOOR GAS BBQ, AND RELOCATED FIRE FEATURE	
		ARCHITECTURAL GENERAL		COVER SHEET		SITE PLANS		BUILDING CODES THE FOLLOWING CODES SHALL APPLY TO THIS PROJECT. AND ALL WORK SHALL BE IN CONFORMANCE. 2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL FIRE CODE	
BC.1 BC.2 BC.3		A2.1 A2.2		A3.1 A3.2 A3.3		FLOOR PLANS - EXISTING		SEPARATE PERMITS THE FOLLOWING CODES SHALL REQUIRE SEPARATE PERMITS: RESIDENTIAL POOL & SPA FENCES + SITE WALLS (INCLUDING RETAINING WALLS)	
SP.1 SP.2		A4.1 A4.2 A4.3		A5.1 A5.2 A5.3		FLOOR PLANS - DEMOLITION		PROJECT DATA PROJECT ADDRESS 7780 E VAQUERO DRIVE SCOTTSDALE, AZ 85258 ZONING R1-18 CONSTRUCTION TYPE TYPE V(B) STORES 2 FIRE SPRINKLERS YES (EXISTING) ASSESSOR PARCEL NO. 174-28-096 LOT AREA 43,009 SF PARKING 6 (IN GARAGE)	
STRUCTURAL S1 S2 S3		INTERIOR ELEVATIONS AB.1 AB.2 AB.3 AB.4 AB.5		INTERIOR ELEVATIONS + FINISH PLANS AB.1 AB.2 AB.3 AB.4 AB.5		SCHEDULES AB.1		PROJECT TEAM OWNER 7780 E VAQUERO DR LLC 7278 E ECHO LN SCOTTSDALE, AZ 85258 ARCHITECT TY HARRISON TY HARRISON ARCHITECTURE, LLC 3511 E MORRISON RANCH PKWY GILBERT, AZ 85206 T: 720.530.6732 ty@tyharrison.com GENERAL CONTRACTOR DEAN DOTY HARRISWELLS LLC 2659 N SARATOGA ST TEMPE, AZ 85281 T: 480.540.3423 STRUCTURAL ENGINEER SERGIO HARD HARD ENGINEERING LLC 3519 N 106TH LN BUCKEYE, AZ 85266 T: 602.743.7910	
COVER SHEET		TY HARRISON ARCHITECTURE 720.530.6732 ty@tyharrison.com		CS					



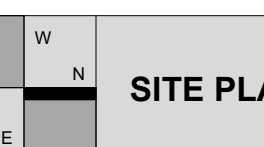
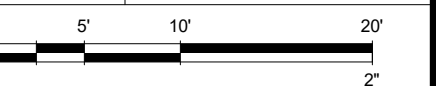
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GAINEY RANCH REMODEL
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SCOTTSDALE, AZ 85258

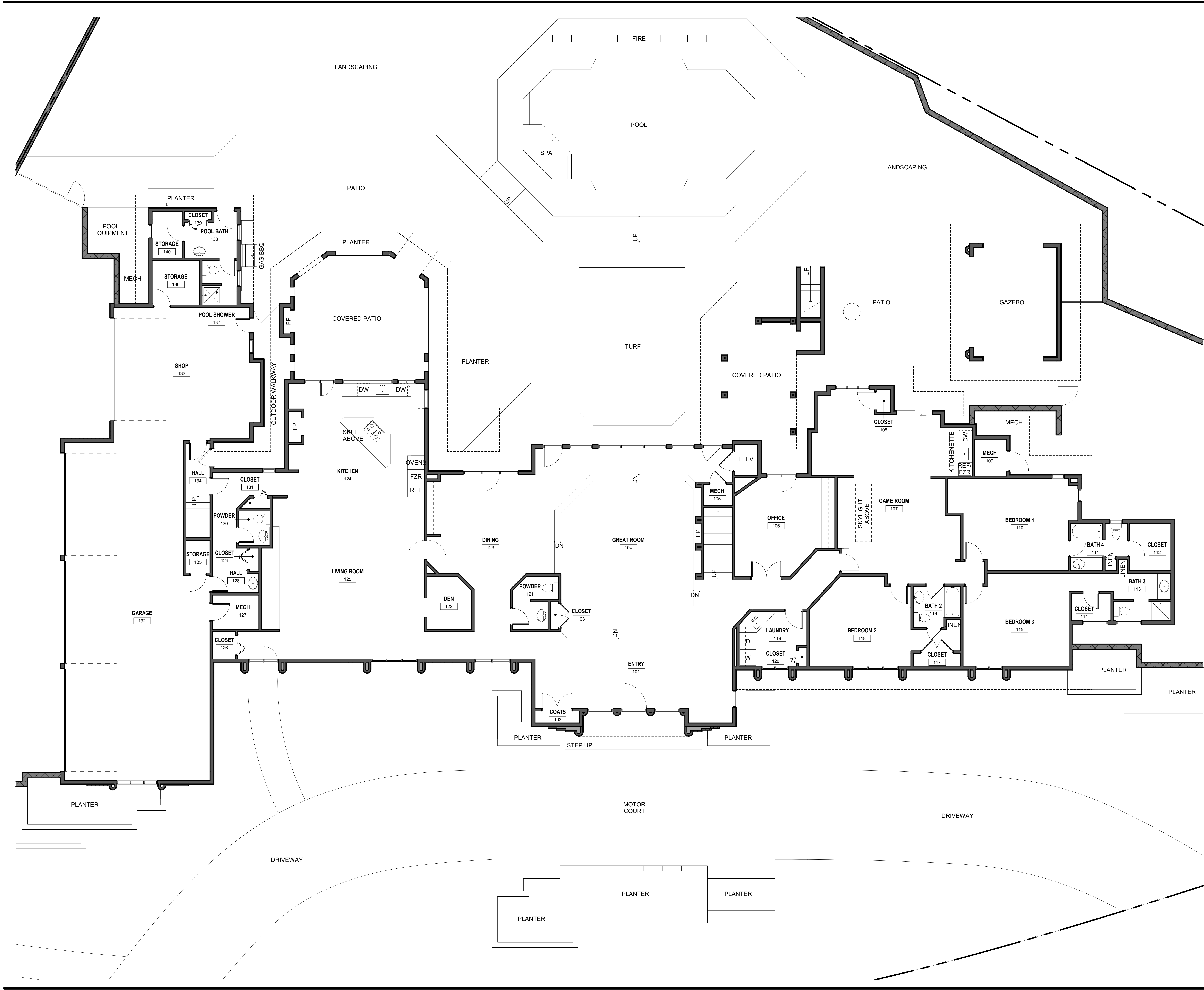
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SUBMIT PLAN CHECK	05.13.25	V1
CLIENT UPDATES	06.06.25	V1
ADD IT - PLAN & ELEVATION UPDATES	06.13.25	V1
ADD IT - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	V2

DRAWN BY / CHECKED BY	TDH
PROJECT NUMBER	SC17780
SCALE	1" = 10'-0"



SITE PLAN - EXISTING

A2.1



GAINEY RANCH REMODEL
7780 E VAQUERO DR
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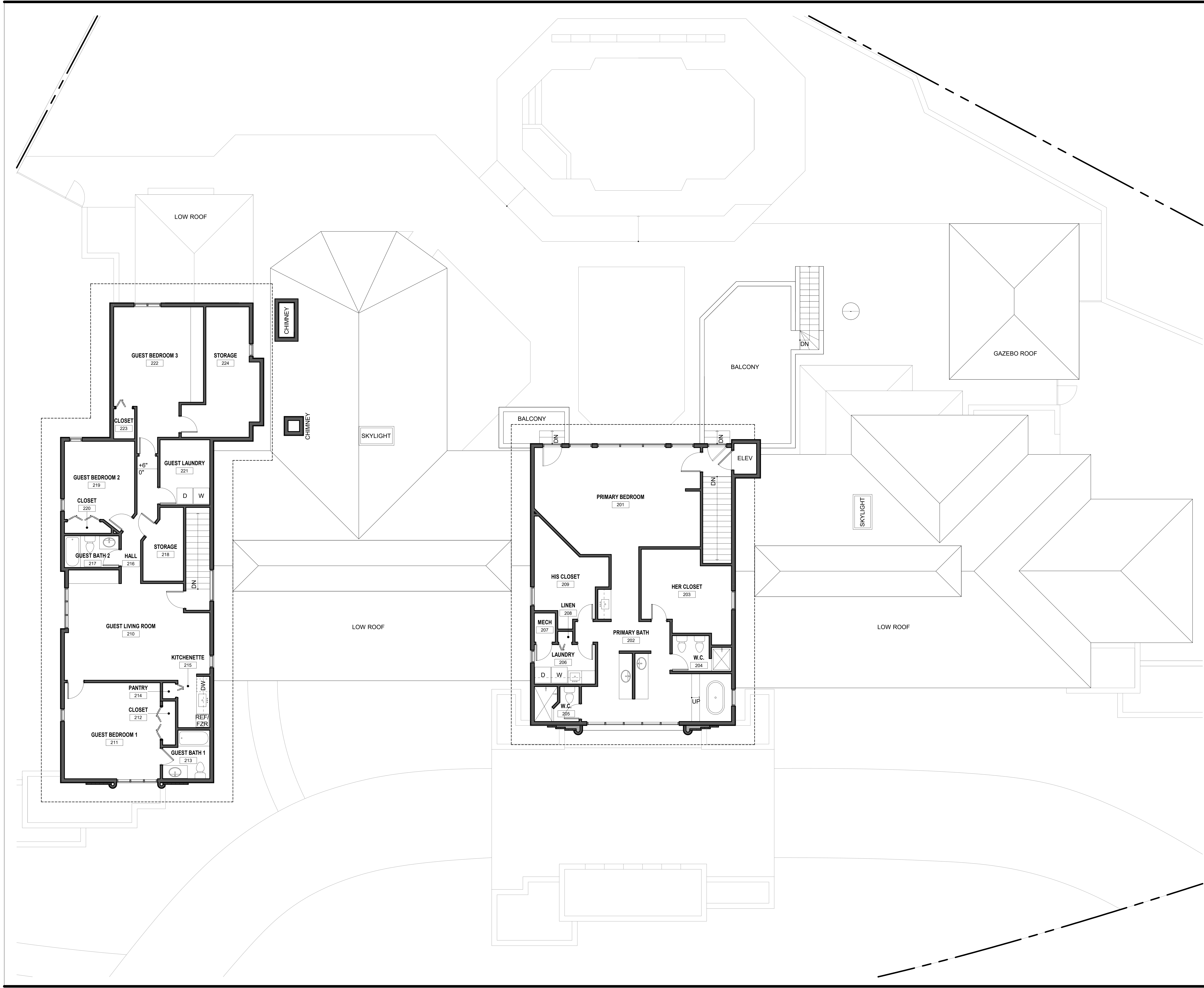
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DRAWN BY / CHECKED BY	TDH
PROJECT NUMBER	SC77780
SCALE	0 2' 4' 6' 8' 10' 12'
3/16" = 1'-0"	

MAIN FLOOR PLAN - EXISTING

A3.1



GAINEY RANCH REMODEL
7780 E VAQUERO DR
SCOTTSDALE, AZ 85258

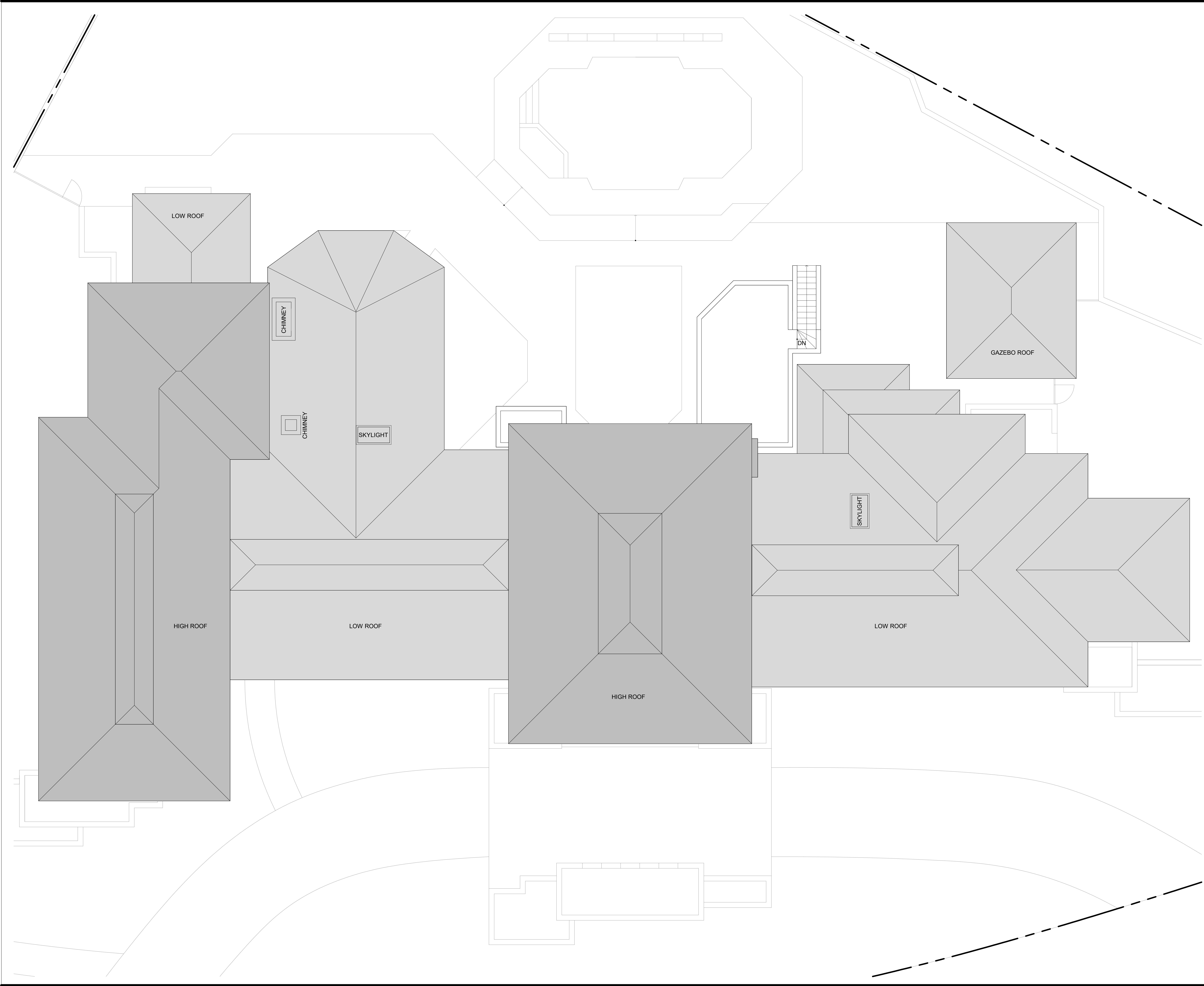
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DRAWN BY / CHECKED BY	TDH
PROJECT NUMBER	SC77780

SCALE	0 2' 5' 10' 7'
3/16" = 1'-0"	0 2' 5' 10' 7'



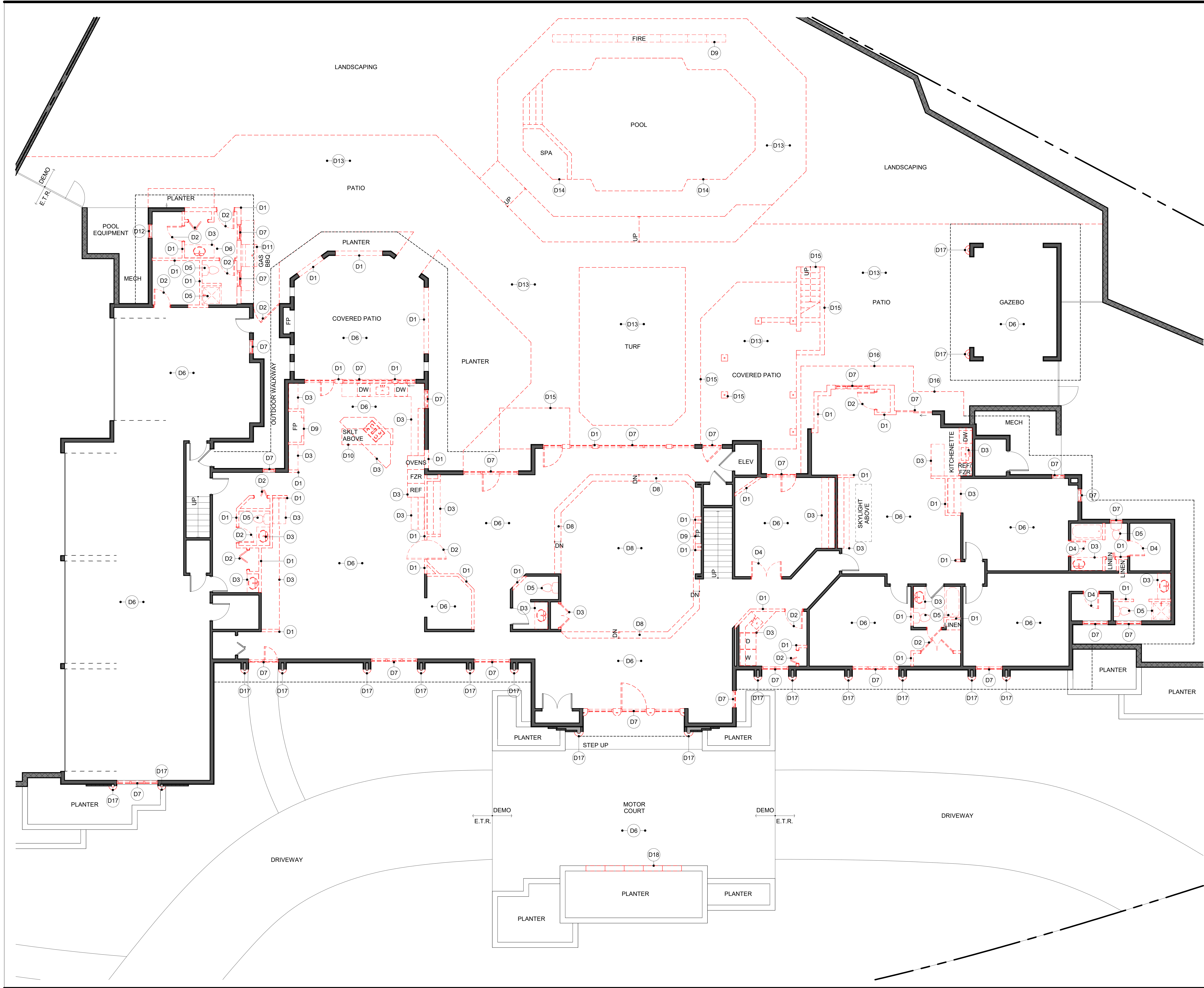
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GAINEY RANCH REMODEL
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DRAWN BY / CHECKED BY	TDH
PROJECT NUMBER	SC17780
SCALE	0 2' 5' 10' 7'
3/16" = 1'-0"	0 2' 5' 10' 7'



- DEMOLITION NOTES**
- (D1) DEMOLISH PORTION OF EXISTING WALL.
 - (D2) DEMOLISH DOOR, FRAME, AND HARDWARE.
 - (D3) DEMOLISH EXISTING CASEWORK / CABINETRY.
 - (D4) DEMOLISH EXISTING DOOR, FRAME, AND HARDWARE. PREPARE FOR NEW DOOR AND FRAME.
 - (D5) DEMOLISH EXISTING PLUMBING FIXTURE.
 - (D6) DEMOLISH EXISTING FINISH FLOOR. PREPARE SUBSTRATE FOR NEW FINISH FLOOR.
 - (D7) DEMOLISH EXISTING EXTERIOR WINDOW OR DOOR. PREPARE FOR NEW WINDOW OR DOOR.
 - (D8) DEMOLISH EXISTING FINISH FLOOR. INFILL RECESSED PORTION AND PREPARE SUBSTRATE FOR NEW FINISH FLOOR SO IT IS FLUSH AND LEVEL WITH ADJACENT FLOOR.
 - (D9) DEMOLISH EXISTING FIRE FEATURE.
 - (D10) DEMOLISH EXISTING SKYLIGHT AND ALL ASSOCIATED COMPONENTS. PREPARE FOR DRYWALL AT INTERIOR CEILING AND NEW SHEATHING AND ROOFING AT EXTERIOR.
 - (D11) DEMOLISH EXISTING GAS BBQ.
 - (D12) DEMOLISH EXISTING EXTERIOR WINDOW. PREPARE FOR INFILL.
 - (D13) DEMOLISH EXISTING HARDSCAPE OR CONCRETE FLOOR FINISH.
 - (D14) DEMOLISH EXISTING POOL AND SPA. PREPARE FOR INFILL.
 - (D15) DEMOLISH EXISTING BALCONY AND ALL ASSOCIATED COMPONENTS INCLUDING STAIRS, GUARDRAILS, COLUMNS, ETC.
 - (D16) DEMOLISH PORTION OF EXISTING ROOF.
 - (D17) DEMOLISH ROUNDED PORTION OF STUCCO COLUMN. PREPARE FOR NEW SQUARED FINISH PROFILE.
 - (D18) DEMOLISH EXISTING ACCENT TILE FEATURE. STUCCO WALL TO REMAIN.
 - (D19) REMOVE EXISTING TILE ROOF AND UNDERLAYMENT. PREPARE FOR NEW UNDERLAYMENT AND TILE ROOF.

LEGEND: DEMOLITION PLAN

GENERAL: REVIEW NEW CONSTRUCTION REQUIREMENTS AND VISIT THE JOBSITE TO DETERMINE COMPLETE SCOPE OF REQUIRED DEMOLITION. THE DRAWINGS ARE DIAGNOSTIC AND MAY NOT SHOW ALL DEMOLITION THAT IS REQUIRED TO CONSTRUCT THE PROJECT AS IT IS DOCUMENTED.

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EXISTING FINISHES TO REMAIN, UNLESS OTHERWISE NOTED. PROTECT FROM DAMAGE.

THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY TEMPORARY SHORING OF STRUCTURE DURING DEMOLITION.

--- EXISTING TO BE DEMOLISHED.

— EXISTING TO REMAIN.

E.T.R. EXISTING TO REMAIN.

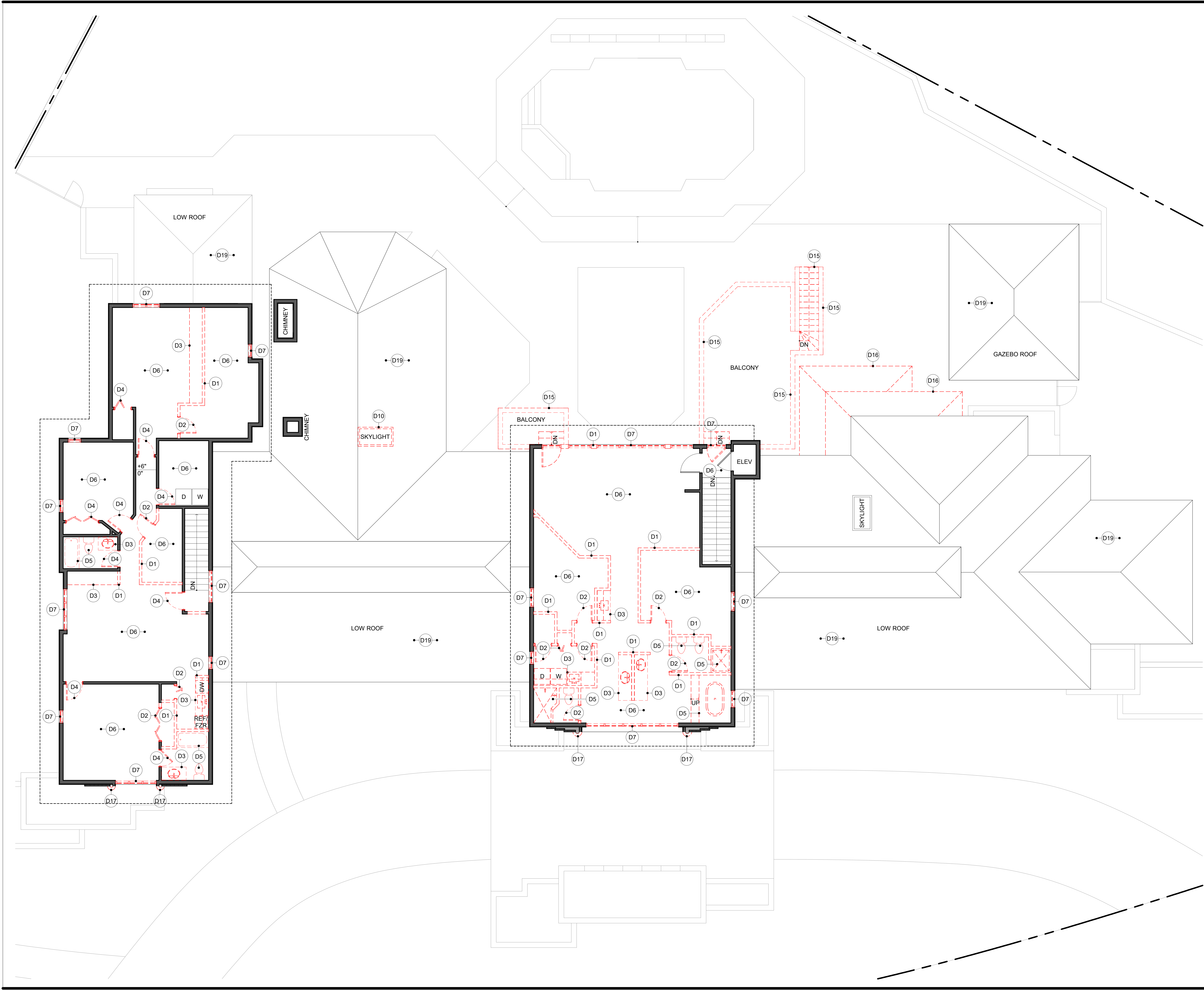


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ADD ID: FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2
DRAWN BY / CHECKED BY	TDH	
PROJECT NUMBER	SC77780	
SCALE	3/16" = 1'-0"	



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LEGEND: DEMOLITION PLAN

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--- EXISTING TO REMAIN.

--- E.T.R. EXISTING TO REMAIN.



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ARCHITECTURE**

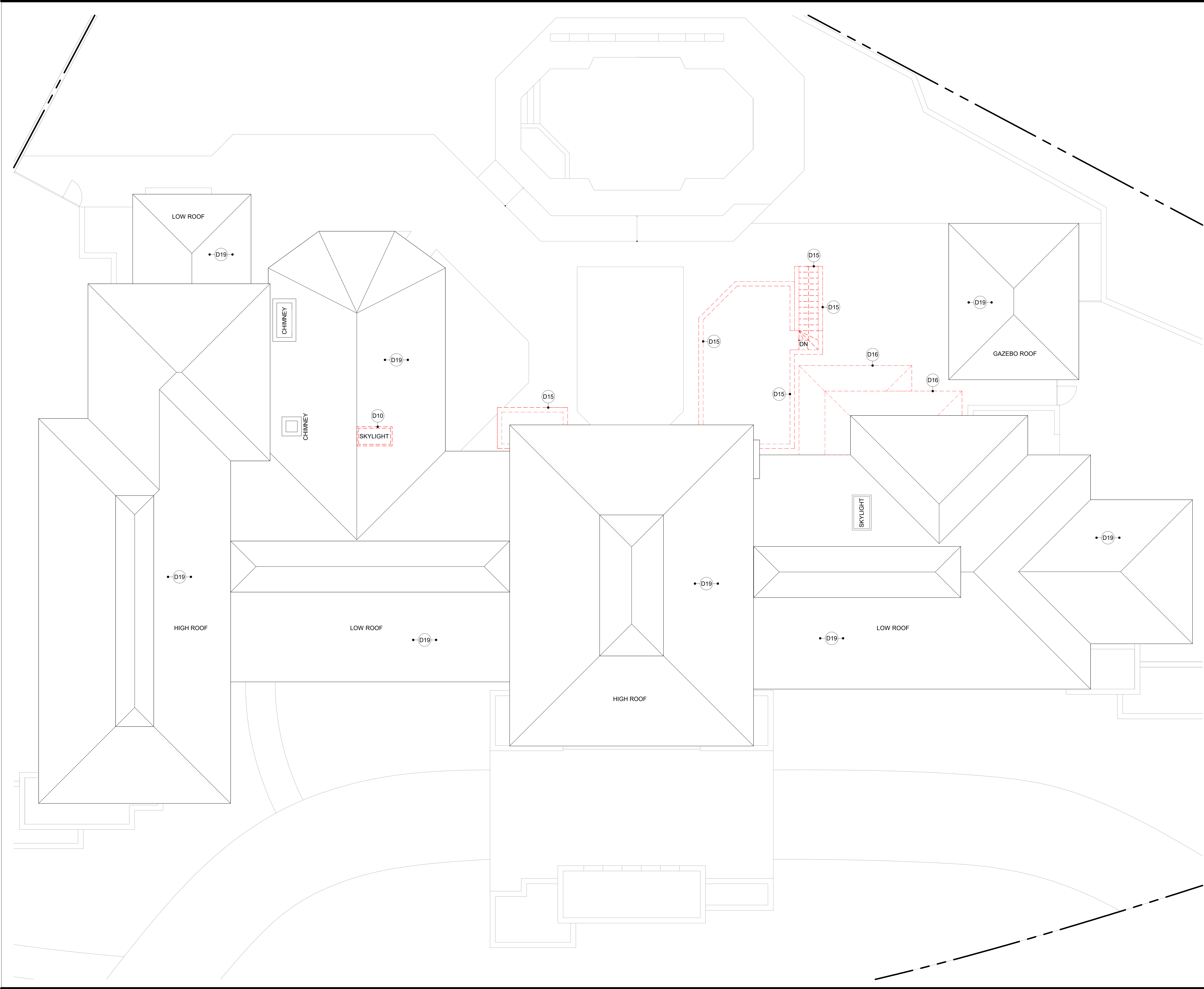
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GAINEY RANCH REMODEL 7780 E VAQUERO DR SCOTTSDALE, AZ 85258		
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DRAWN BY / CHECKED BY: TDH		
PROJECT NUMBER: SCT7780		
SCALE: 3/16" = 1'-0"		

W
N
S
E

UPPER FLOOR PLAN -
DEMOLITION

A4.2



- DEMOLITION NOTES**
- D1 DEMOLISH PORTION OF EXISTING WALL.
 - D2 DEMOLISH DOOR, FRAME, AND HARDWARE.
 - D3 DEMOLISH EXISTING CASEWORK / CABINETRY.
 - D4 DEMOLISH EXISTING DOOR, FRAME, AND HARDWARE. PREPARE FOR NEW DOOR AND FRAME.
 - D5 DEMOLISH EXISTING PLUMBING FIXTURE.
 - D6 DEMOLISH EXISTING FINISH FLOOR. PREPARE SUBSTRATE FOR NEW FINISH FLOOR.
 - D7 DEMOLISH EXISTING EXTERIOR WINDOW OR DOOR. PREPARE FOR NEW WINDOW OR DOOR.
 - D8 DEMOLISH EXISTING FINISH FLOOR. INFILL RECESSED PORTION AND PREPARE SUBSTRATE FOR NEW FINISH FLOOR SO IT IS FLUSH AND LEVEL WITH ADJACENT FLOOR.
 - D9 DEMOLISH EXISTING FIRE FEATURE.
 - D10 DEMOLISH EXISTING SKYLIGHT AND ALL ASSOCIATED COMPONENTS. PREPARE FOR DRYWALL AT INTERIOR CEILING AND NEW SHEATHING AND ROOFING AT EXTERIOR.
 - D11 DEMOLISH EXISTING GAS BBQ.
 - D12 DEMOLISH EXISTING EXTERIOR WINDOW. PREPARE FOR INFILL.
 - D13 DEMOLISH EXISTING HARDSCAPE OR CONCRETE FLOOR FINISH.
 - D14 DEMOLISH EXISTING POOL AND SPA. PREPARE FOR INFILL.
 - D15 DEMOLISH EXISTING BALCONY AND ALL ASSOCIATED COMPONENTS INCLUDING STAIRS, GUARDRAILS, COLUMNS, ETC.
 - D16 DEMOLISH PORTION OF EXISTING ROOF.
 - D17 DEMOLISH ROUNDED PORTION OF STUCCO COLUMN. PREPARE FOR NEW SQUARED FINISH PROFILE.
 - D18 DEMOLISH EXISTING ACCENT TILE FEATURE. STUCCO WALL TO REMAIN.
 - D19 REMOVE EXISTING TILE ROOF AND UNDERLAYMENT. PREPARE FOR NEW UNDERLAYMENT AND TILE ROOF.

LEGEND: DEMOLITION PLAN

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E.T.R. EXISTING TO REMAIN.



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DRAWN BY / CHECKED BY	TDH
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SCALE 3/16" = 1'-0"

0 2' 5' 10' 7'

0 2'



C1

C2

C3

AFB1

AFB2

LINE OF ROOF ABOVE.

42" HIGH GUARDRAIL BY VIEWRAIL OR APPROVED EQUAL. SIGNATURE CABLE RAILING WITH SURFACE MOUNTED ALUMINUM POSTS. UNIVERSAL TOP POST, AND INTEGRATED DIMMABLE LED UNDERLIGHTING. COLOR: BLACK. (WWW.VIEWRAIL.COM)

NEW DOOR AND FRAME TO REPLACE EXISTING. DOOR TO BE 8'-0" HIGH TO MATCH OTHERS THROUGHOUT HOUSE. EXISTING DOOR WIDTH TO REMAIN THE SAME.

LINEAR SHOWER DRAIN.

NEW CONCRETE TILE ROOF - UNDERLAYMENT, TILE COLOR: CHARCOAL.

MINIMUM SHOWER AREA 1.024 SQ. INCHES. MINIMUM 30" DIAMETER.

PROVIDE TILE IN SHOWERS AND TUBS MIN 12" HIGH. SHOWER AND TUB ENCLOSURES TO BE APPROVED TEMPERED SAFETY GLAZING. SHOWER DOORS TO BE SPRUNG OUT. WINDOWS WITHIN SHOWER/TUB ENCLOSURES TO BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE DRAIN.

24" x 30" REQUIRED MINIMUM CLEAR SPACE IN FRONT OF TOILET. ALSO, 18" MIN CENTERLINE OF TOILET TO WALL OR CABINET ON EACH SIDE.

THERMAL INSULATION

PRESCRIPTIVE MINIMUM R-VALUES AS FOLLOWS USING BATT OR SPRAY INSULATION:
CEILING = R-49
WALLS = R-13

POOL + SPA DESIGN

SEE DRAWINGS BY POOL CONTRACTOR FOR THE DESIGN OF THE POOL AND SPA.

FIRE SPRINKLERS

THE EXISTING BUILDING HAS AN EXISTING FIRE SPRINKLER SYSTEM. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH APPLICABLE RESIDENTIAL CODE. MODIFY SPRINKLERS AS NECESSARY TO COMPLY REMOVE WITH CODE.

ALL FIRE SPRINKLER HEADS TO BE RECESSED CONCEALED TYPE.

KEYNOTES

C1

C2

C3

AFB1

AFB2

NEW WALL OR BLOCKING. MATCH EXISTING STUD SIZES AT ALL WALLS. TYPICAL.

EXISTING WALL TO REMAIN.

FURNITURE OR FURNISHINGS ITEM.

ROOM NAME

ROOM NUMBER AND NAME. SEE FINISH SCHEDULE.

DOOR NUMBER. SEE DOOR SCHEDULE.

FENESTRATION NUMBER. SEE FENESTRATION SCHEDULE.

ELEVATION REFERENCE. SEE DETAIL NUMBER AND SHEET INDICATED.

ALL EXTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL FROM EXISTING FINISH FACE OF WALL.

ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL FROM EXISTING FINISH FACE OF WALL.

REGISTERED ARCHITECT

TYLER D. HARRISON

SCOTTSDALE, AZ

TY HARRISON

ARCHITECTURE

TY HARRISON, ARCHITECT

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ISSUE / REVISION

DATE

NUMBER

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05.13.25

v1

CLIENT UPDATES

06.06.25

v1

ADDITIONAL FINISHES & INTERIOR DESIGN UPDATES

06.13.25

v1

06.19.25

v2

DRAWN BY / CHECKED BY

TDH

PROJECT NUMBER

SC77780

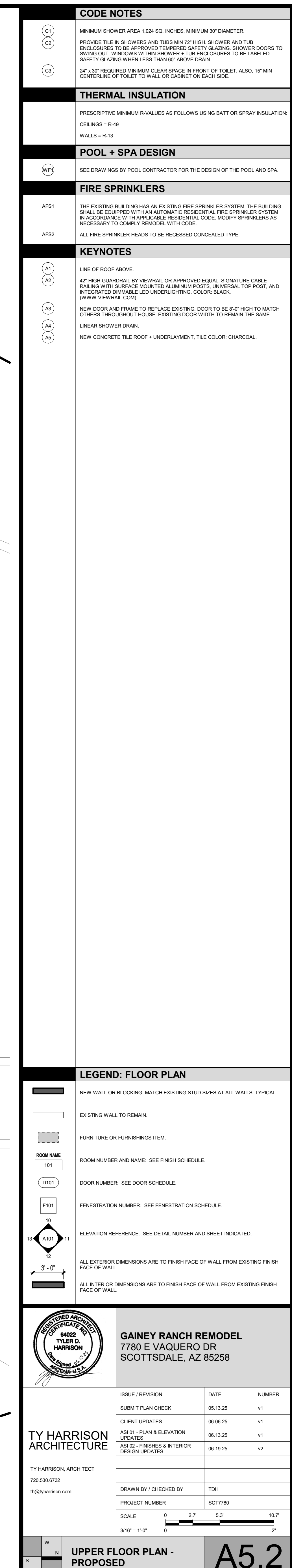
SCALE

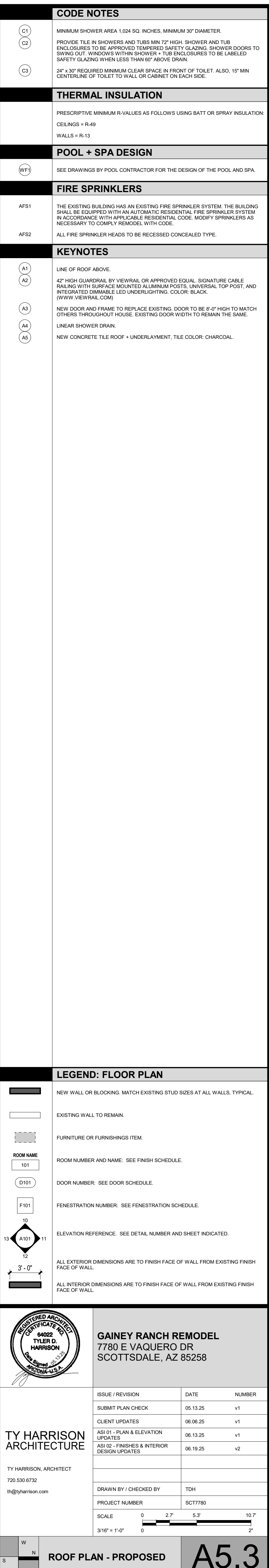
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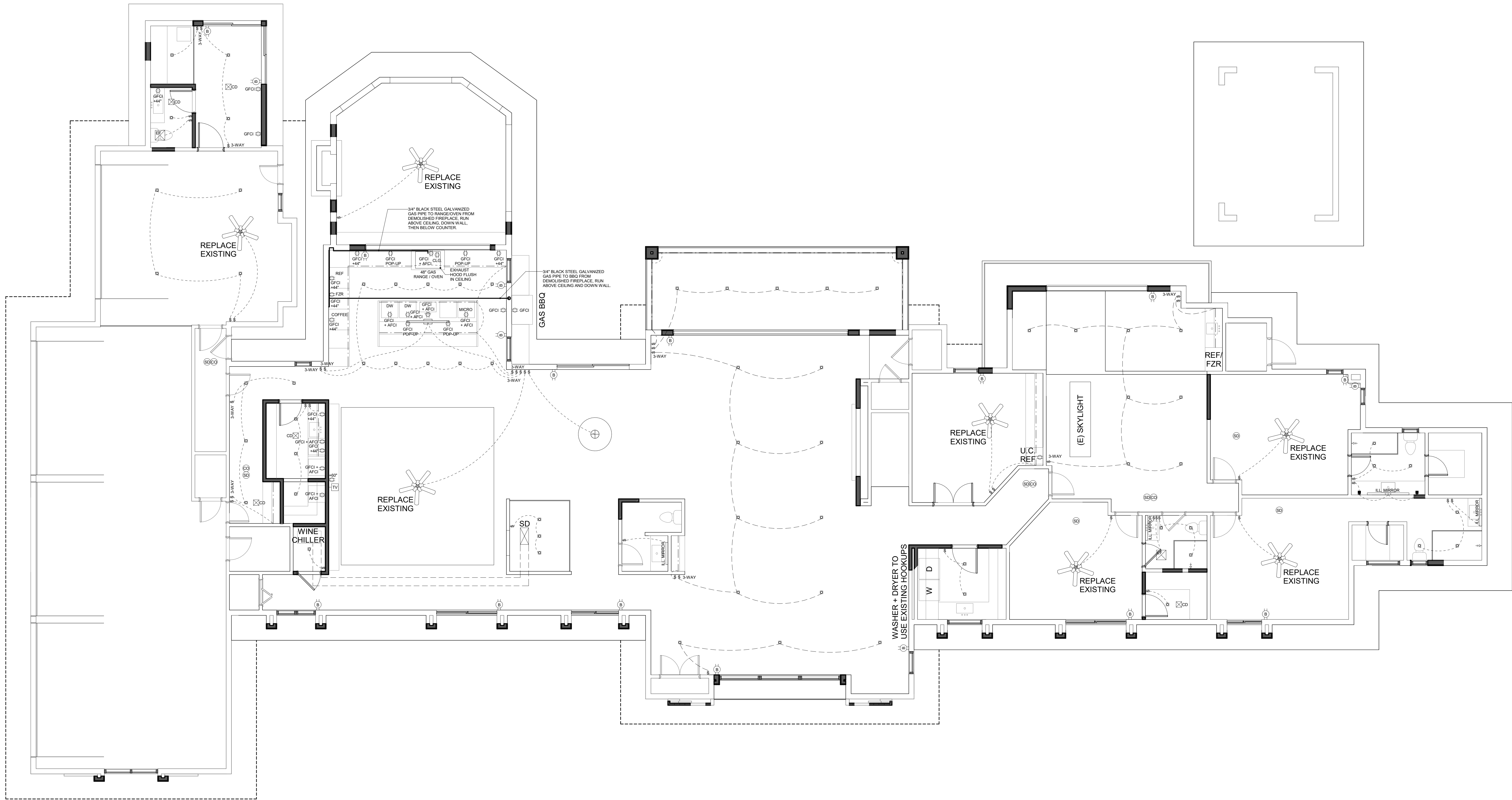
3/16" = 1'-0"

MAIN FLOOR PLAN - PROPOSED

A5.1







RCP NOTES

EXISTING OUTLETS, SUPPLY RETURN DIFFUSERS, EXHAUST FANS, LIGHTS, FIRE SPRINKLERS, ETC. ARE NOT SHOWN ON THIS DRAWING, UNLESS NOTED OTHERWISE. ALL SUCH ITEMS ARE TO REMAIN IN PLACE UNLESS REMOVED OR RELOCATED DUE TO DEMO AND PROPOSED DESIGN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM EXISTING ELEMENTS MEET CODE AND ARE PROVIDED ACCORDINGLY.

SWITCH LOCATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY AND ARE TO BE CONFIRMED BY CONTRACTOR. HEIGHT SHALL BE 44" TO CENTER OF SWITCH. CONTRACTOR TO VERIFY ALL LOADS AND AMPERAGE.

HVAC SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR IN RENOVATED AREAS. REFER TO SUGGESTED LAYOUT OF DIFFUSERS ON THIS DRAWING. TE NEW OR RELOCATED DIFFUSERS INTO EXISTING SYSTEM.

ELECTRICAL LEGEND

GENERAL	A	ELECTRICAL DEVICES AS FOLLOWS: RECEPTACLE: MATCH EXISTING (COLOR/WHITE MATTE) SWITCH PLATE: MATCH EXISTING (COLOR/WHITE MATTE) COMMON RECEPTABLES FOR MULTIPLE DEVICES
	B	WHERE NO DIMENSIONS ARE INDICATED, FIXTURES SHALL BE CENTERED, OR LOCATED AT EQUAL SPACES AS SCALED FROM DRAWINGS. REQUEST CLARIFICATION IF LAYOUT LOGIC IS NOT CLEAR.
	C	WHERE NO DIMENSIONS ARE INDICATED, LOCATIONS OF SWITCHES AND OUTLETS SHALL BE SCALED FROM DRAWINGS.
LIGHT FIXTURES	□	RECESSED ADJUSTABLE SQUARE DOWNLIGHT, EXTRA CLIP SQUARE FLANGED ADJUSTABLE TRIM MODEL ENCLOSURE 3000K IV OR APPROVED EQUAL, WHITE FINISH WITH WHITE BAFFLE, 3000K TEMPERATURE.
	Φ PEND.	CEILING MOUNTED PENDANT, SUPPLIED BY OWNER.
	■	WALL MOUNTED SCONCE, SUPPLIED BY OWNER.
	LL MIRROR	CEILING FAN WITH LIGHT, SUPPLIED BY OWNER. ILLUMINATED MIRROR CONTROLLED BY WALL SWITCH, SEE INTERIOR ELEVATIONS FOR SIZE AND LAYOUT. LED STRIP LIGHT WITH SHALLOW CHANNEL + DIFFUSE LENS, 3000K TEMPERATURE SURFACE MOUNTED DECORATIVE FIXTURE, SUPPLIED BY OWNER.
HUMAN VISION LIGHTING CONTROL	§	SWITCH.
	TV OUTLET	TV OUTLET. PROVIDE PRE-WIRE POWER FOR FUTURE MOTORIZED BLINDS. VERIFY EXACT LOCATION DURING CONSTRUCTION.
	①	JUNCTION BOX.
RECEPTACLE OUTLETS	□	RECEPTABLES SHALL BE GFCI WHERE REQUIRED BY CODE. HEIGHT SHALL BE +12" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
	□ GFCI	DUPLEX OUTLET.
	□ GFCI	GFCI DUPLEX OUTLET. DUPLEX OUTLET, 1/2 HOT, 1/2 SWITCHED LEG.
HVAC	□	EXISTING CEILING SUPPLY DIFFUSER.
	□	NEW CEILING SUPPLY DIFFUSER.
	□	RELOCATED CEILING RETURN DIFFUSER.
MISCELLANEOUS	Ⓢ	AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
	Ⓢ	AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
	Ⓢ	EXHAUST FAN: BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE PER CODE. (R303.3) BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS SHALL BE MECHANICALLY VENTED AND SHALL COMPLY WITH THE FOLLOWING (R306.1): 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FIRE SPRINKLERS LEGEND

Ⓢ	THIS HOUSE CONTAINS AN EXISTING FIRE SPRINKLER SYSTEM THROUGHOUT. RELOCATE OR PROVIDE NEW SPRINKLER HEADS AS REQUIRED.
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CEILING FINISHES

□	DRYWALL - MATCH EXISTING FINISH OR PROVIDE LEVEL 4 FINISH WHERE NEW COLOR: BENJAMIN MOORE CO'S VANILLA NUDE SHADE.
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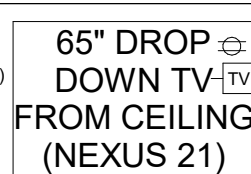


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ISSUE / REVISION	DATE	NUMBER
SUBMIT PLAN CHECK	05.13.25	v1
CLIENT UPDATES	06.06.25	v1
ADD IT: PLAN & ELEVATION UPDATES	06.13.25	v1
ADD IT: FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2
DRAWN BY / CHECKED BY	TDH	
PROJECT NUMBER	SC77780	
SCALE	0 2' 5' 10' 7'	
3/16" = 1'-0"	0 2' 5' 10' 7'	

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W		
	N	RCP

PROF

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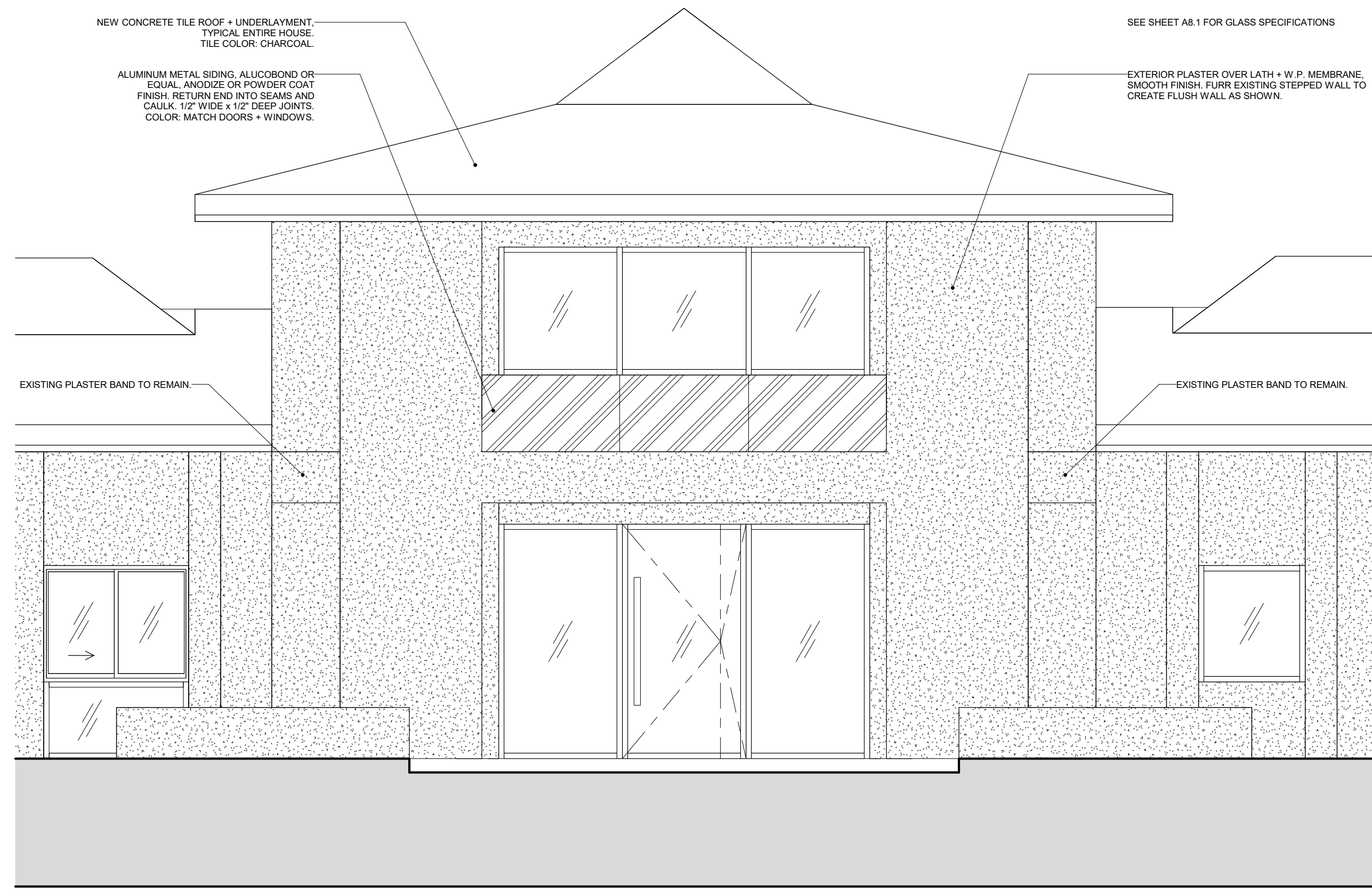
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SUBMIT PLAN CHECK	05.13.25	v1
CLIENT UPDATES	06.06.25	v1
ASI 01 - PLAN & ELEVATION UPDATES	06.13.25	v1
ASI 02 - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2
DRAWN BY / CHECKED BY	TDH	
PROJECT NUMBER	SC7760	
SCALE		

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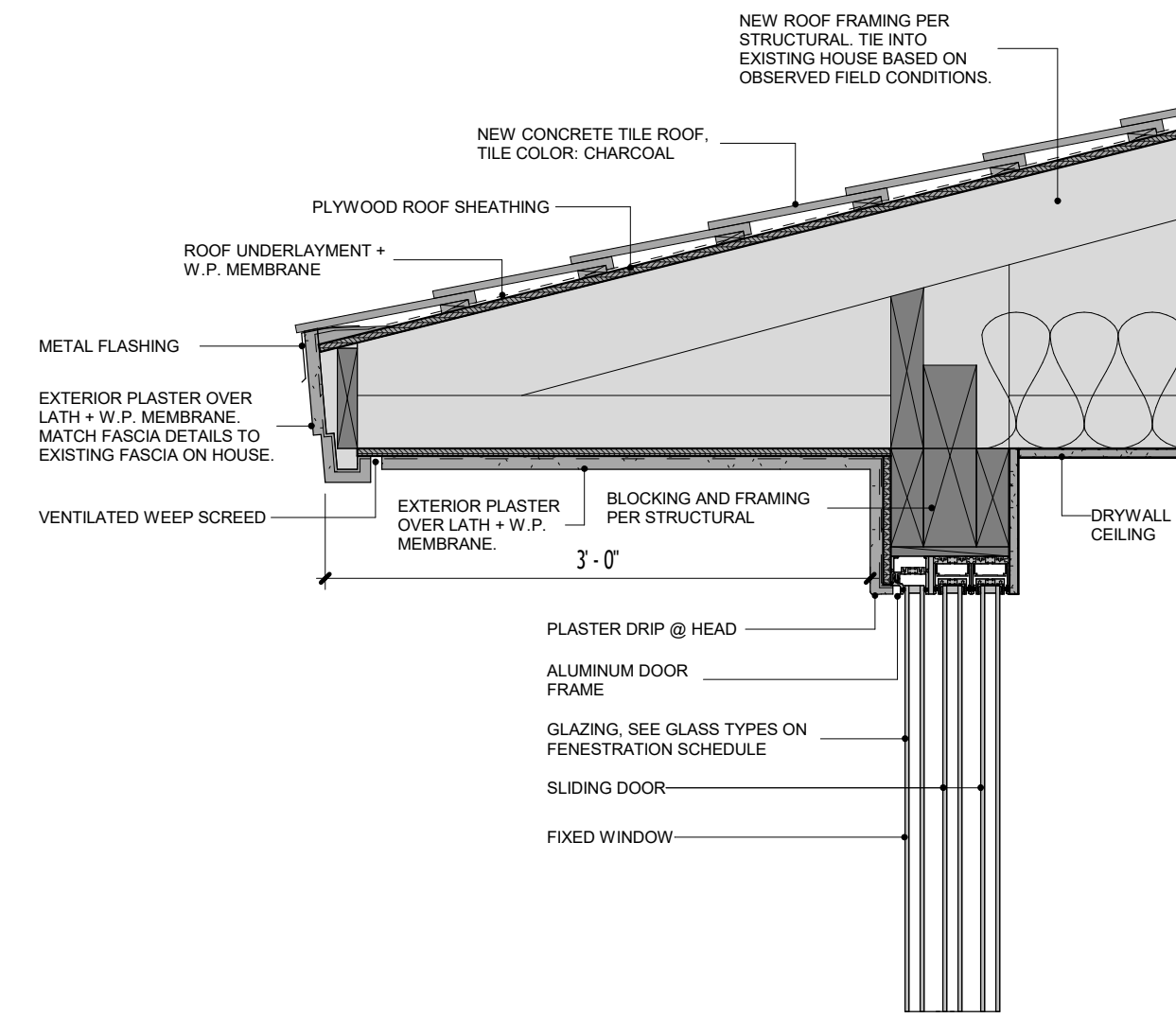
ER FLOOR - A6 2

10.2

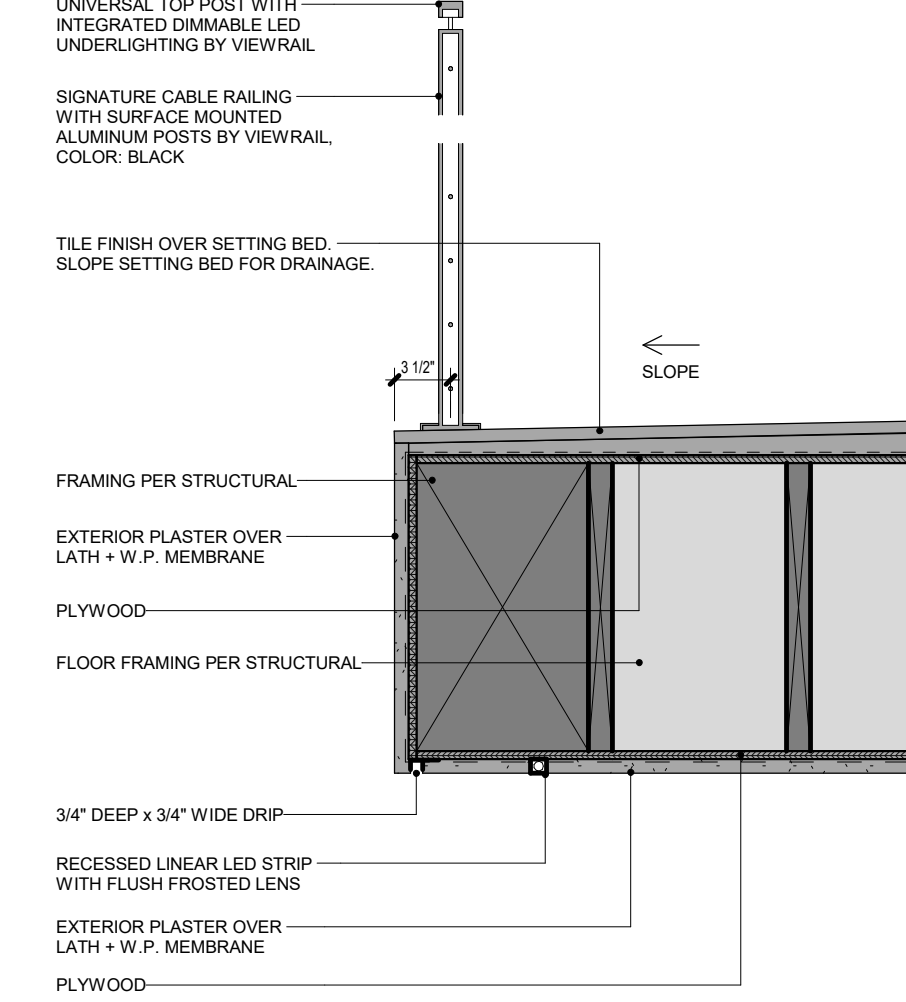
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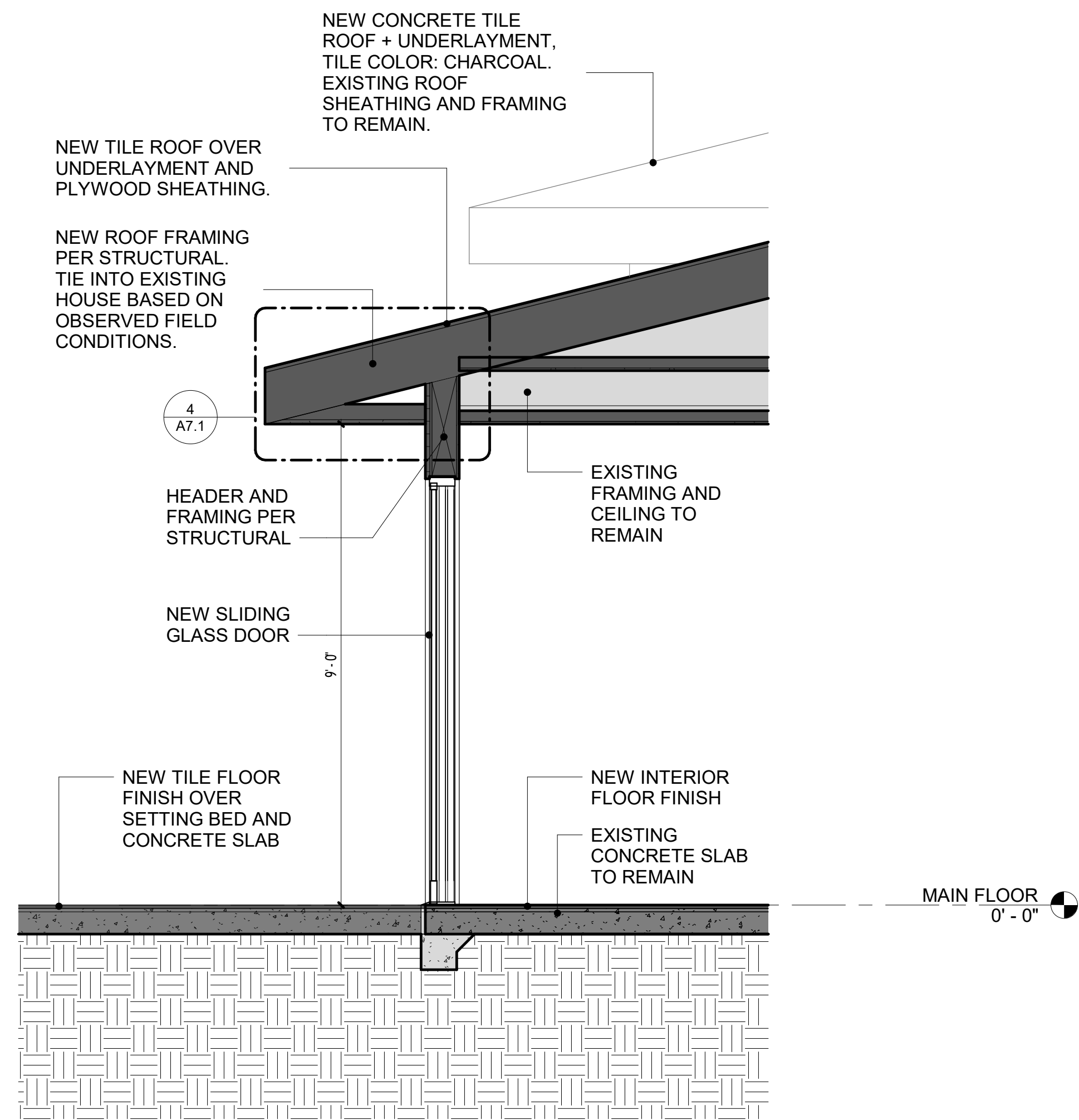
⑤ ELEVATION - EAST ENTRY
1/4" = 1'-0"



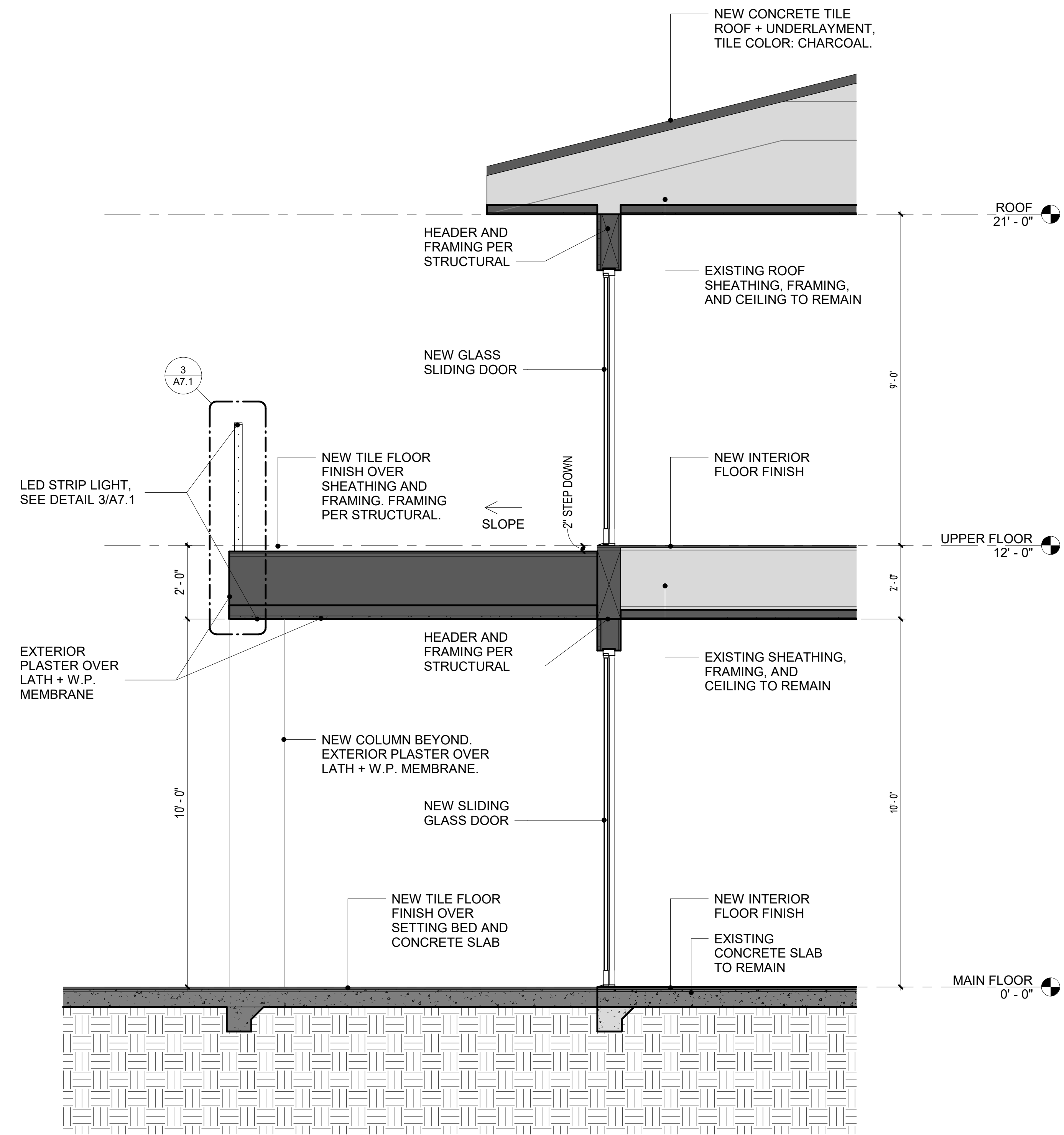
④ ROOF EAVE - DETAIL
1" = 1'-0"



③ GUARDRAIL @ EXTERIOR BALCONY - SECTION
1" = 1'-0"



② Section @ Game Room
1/2" = 1'-0"



① Section @ Balcony
1/2" = 1'-0"



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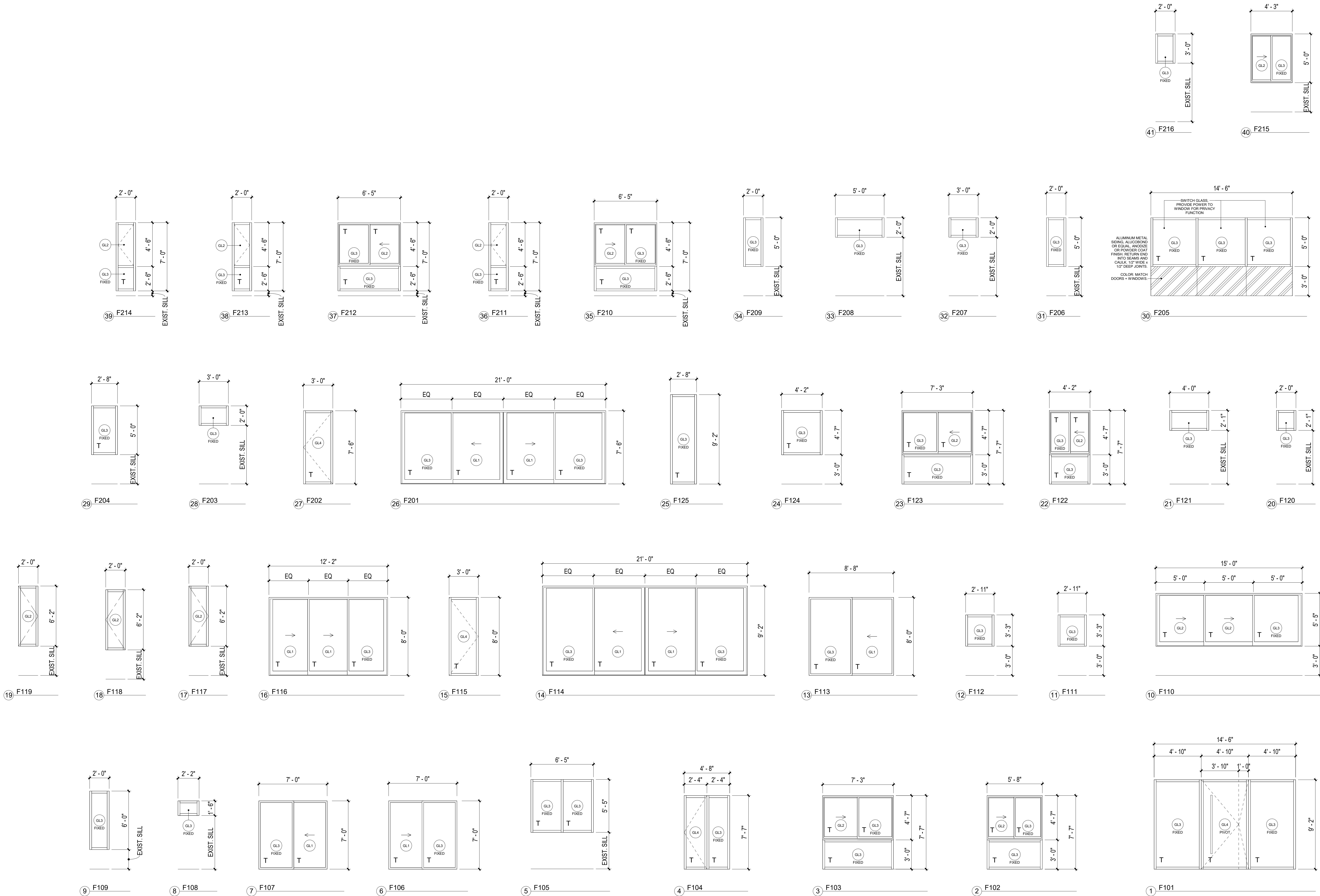
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DRAWN BY / CHECKED BY	TDH	
PROJECT NUMBER	SC17780	
SCALE		
AS NOTED		

ELEVATIONS, SECTIONS, &
DETAILS

A7.1



GLASS SPECIFICATIONS		
	THICKNESS OF GLASS TO BE DETERMINED BY GLASS MANUFACTURER / SUPPLIER BASED ON GLASS SIZE AND WIND LOADING.	
(GL1)	SLIDING DOOR INSULATING GLASS (DUAL) OVERALL DIMENSION TBD BY GLASS SUPPLIER PER NOTE ABOVE OR: CLEAR GLASS, TEMPERED WITH LOW-E SMOG FILM AS: 1/2" (AIR FILL WITH BLACK SPACER) IB: CLEAR GLASS (IF REQUIRED) CLEAR GLASS (IF REQUIRED) U-VALUE = 0.30 SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.22 PROVIDE N.F.R.C. LABELS FOR EACH PIECE OF GLASS INDICATING U-VALUE AND SOLAR HEAT GAIN COEFFICIENT (SHGC). OMIT BUGS ON GLASS	
(GL2)	CASEMENT / SLIDING WINDOW INSULATING GLASS (DUAL) OVERALL DIMENSION TBD BY GLASS SUPPLIER PER NOTE ABOVE OR: CLEAR GLASS, TEMPERED WITH LOW-E SMOG FILM AS: 1/2" (AIR FILL WITH BLACK SPACER) IB: CLEAR GLASS (IF REQUIRED) CLEAR GLASS (IF REQUIRED) U-VALUE = 0.30 SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.22 PROVIDE N.F.R.C. LABELS FOR EACH PIECE OF GLASS INDICATING U-VALUE AND SOLAR HEAT GAIN COEFFICIENT (SHGC). OMIT BUGS ON GLASS	
(GL3)	FIXED WINDOW INSULATING GLASS (DUAL) OVERALL DIMENSION TBD BY GLASS SUPPLIER PER NOTE ABOVE OR: CLEAR GLASS, TEMPERED WITH LOW-E SMOG FILM AS: 1/2" (AIR FILL WITH BLACK SPACER) IB: CLEAR GLASS (IF REQUIRED) CLEAR GLASS (IF REQUIRED) U-VALUE = 0.30 SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.22 PROVIDE N.F.R.C. LABELS FOR EACH PIECE OF GLASS INDICATING U-VALUE AND SOLAR HEAT GAIN COEFFICIENT (SHGC). OMIT BUGS ON GLASS	
(GL4)	HINGED DOOR INSULATING GLASS (DUAL) OVERALL DIMENSION TBD BY GLASS SUPPLIER PER NOTE ABOVE OR: CLEAR GLASS, TEMPERED WITH LOW-E SMOG FILM AS: 1/2" (AIR FILL WITH BLACK SPACER) IB: CLEAR GLASS (IF REQUIRED) CLEAR GLASS (IF REQUIRED) U-VALUE = 0.30 SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.22 PROVIDE N.F.R.C. LABELS FOR EACH PIECE OF GLASS INDICATING U-VALUE AND SOLAR HEAT GAIN COEFFICIENT (SHGC). OMIT BUGS ON GLASS	
(GL5)	FIXED WINDOW INSULATING GLASS WITH FROSTED FILM (DUAL) OVERALL DIMENSION TBD BY GLASS SUPPLIER PER NOTE ABOVE OR: CLEAR GLASS, TEMPERED WITH LOW-E SMOG FILM AS: 1/2" (AIR FILL WITH BLACK SPACER) IB: CLEAR GLASS (IF REQUIRED) CLEAR GLASS (IF REQUIRED) U-VALUE = 0.30 SOLAR HEAT GAIN COEFFICIENT (SHGC) = 0.22 PROVIDE N.F.R.C. LABELS FOR EACH PIECE OF GLASS INDICATING U-VALUE AND SOLAR HEAT GAIN COEFFICIENT (SHGC). OMIT BUGS ON GLASS	

DOOR / WINDOW NOTES

WINDOWS AND DOORS ARE ILLUSTRATED AS VIEWED FROM EXTERIOR.

DIMENSIONS OF WINDOWS, DOORS, AND OPENINGS TO BE CONFIRMED BY CONTRACTOR AND/OR WINDOW MANUFACTURER PRIOR TO ORDERING AND INSTALLATION OF WINDOWS SO THAT THE EXISTING OPENINGS CAN BE UTILIZED FOR REPLACEMENT.

PROVIDE TEMPERED GLAZING WHERE REQUIRED AND AS INDICATED ON DRAWINGS WITH THE LETTER T.

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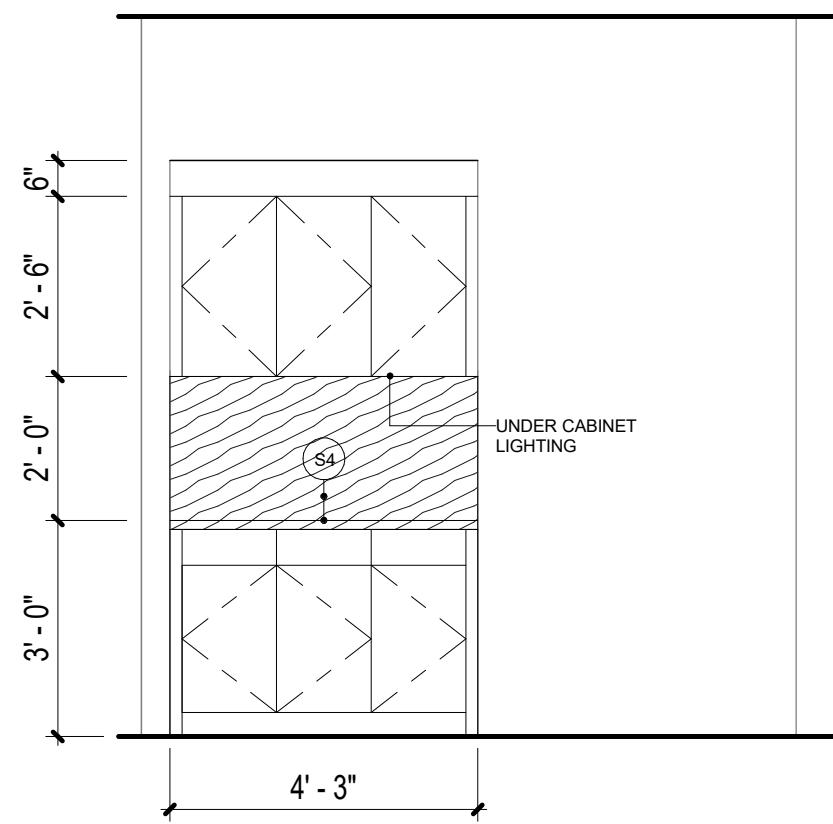
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PROJECT NUMBER: SCT7780

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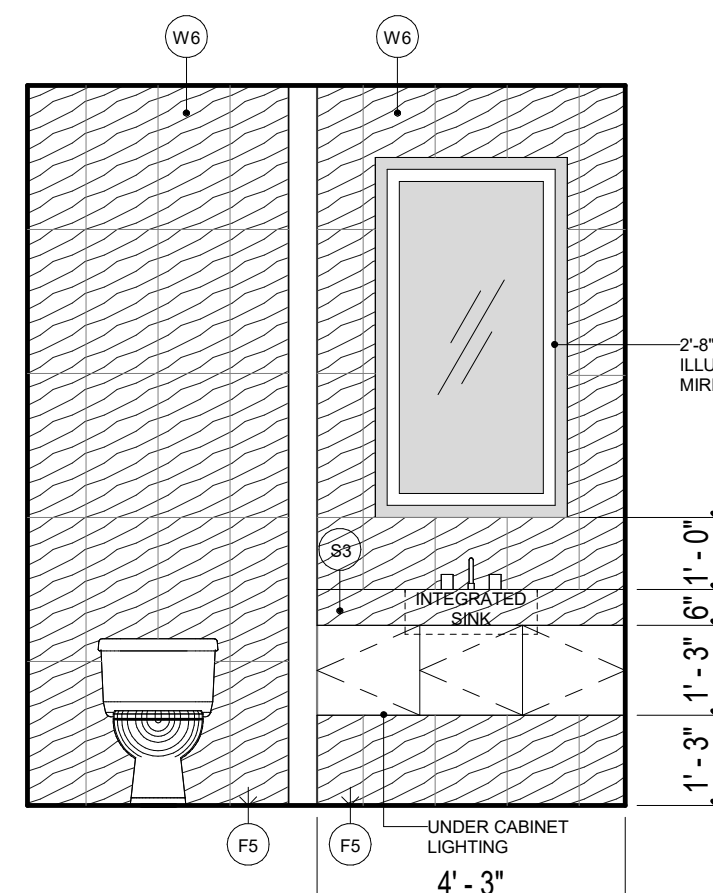
FENESTRATION SCHEDULE

A8.1



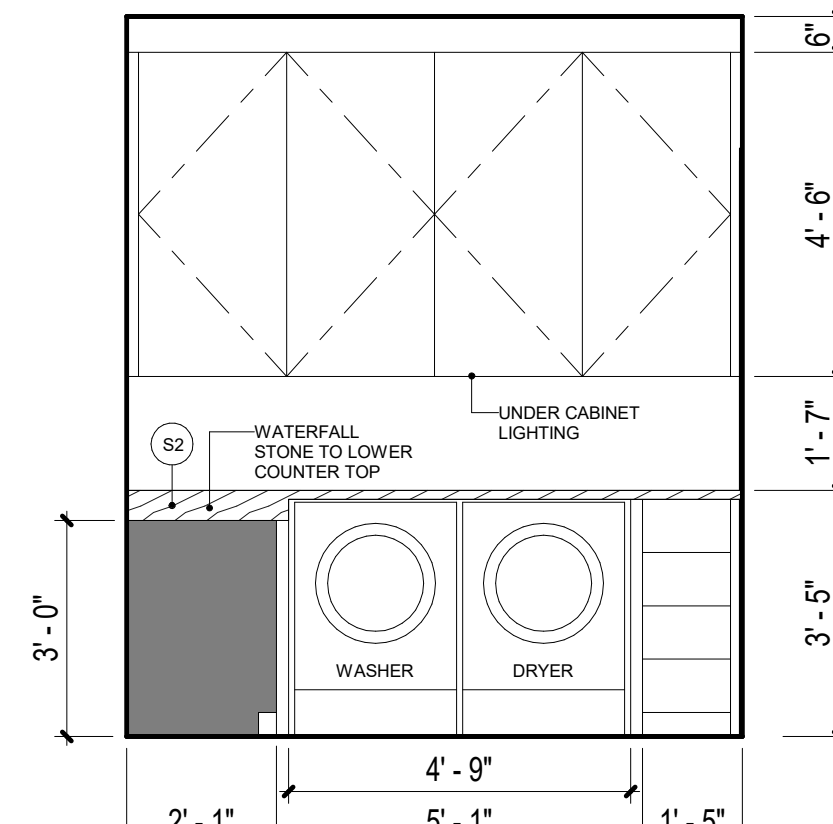
CABINET FINISH: WHITE RIFT OAK - NATURAL STAIN

16 101 ENTRY - DROP - SOUTH



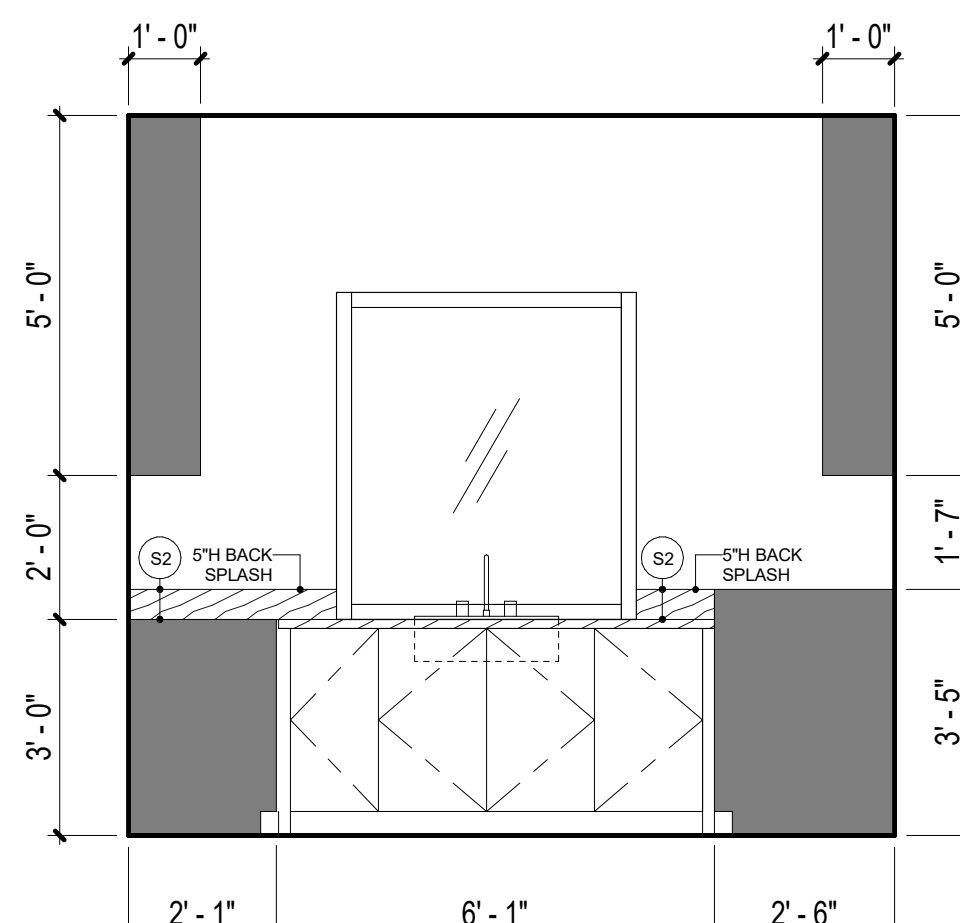
CABINET FINISH: LUMINA - MIDNIGHT SUN HIGH GLOSS HG75

15 118 POWDER 1 - NORTH



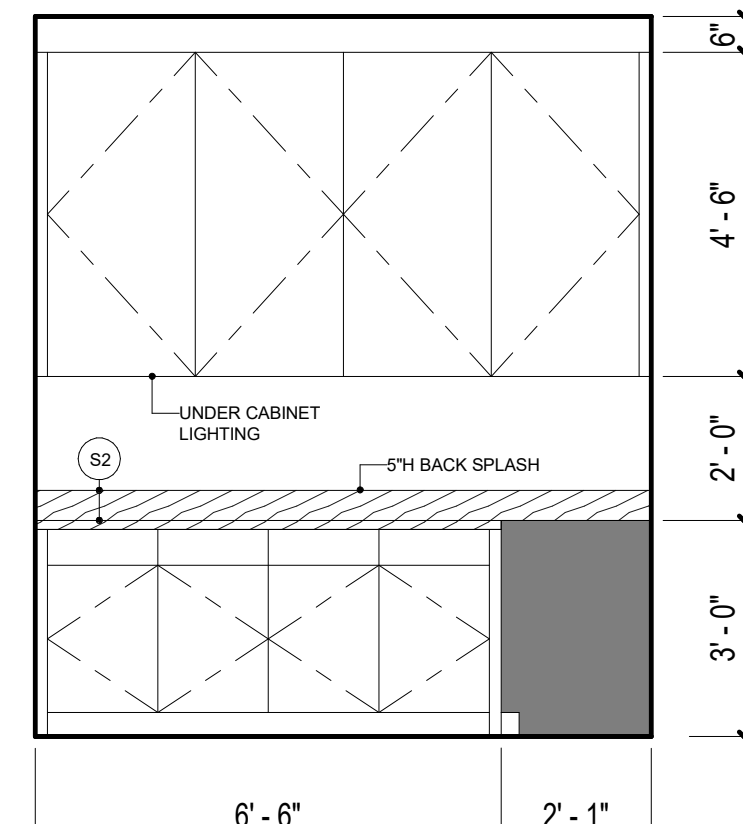
CABINET FINISH: WHITE RIFT OAK - NATURAL STAIN

14 117 LAUNDRY - SOUTH



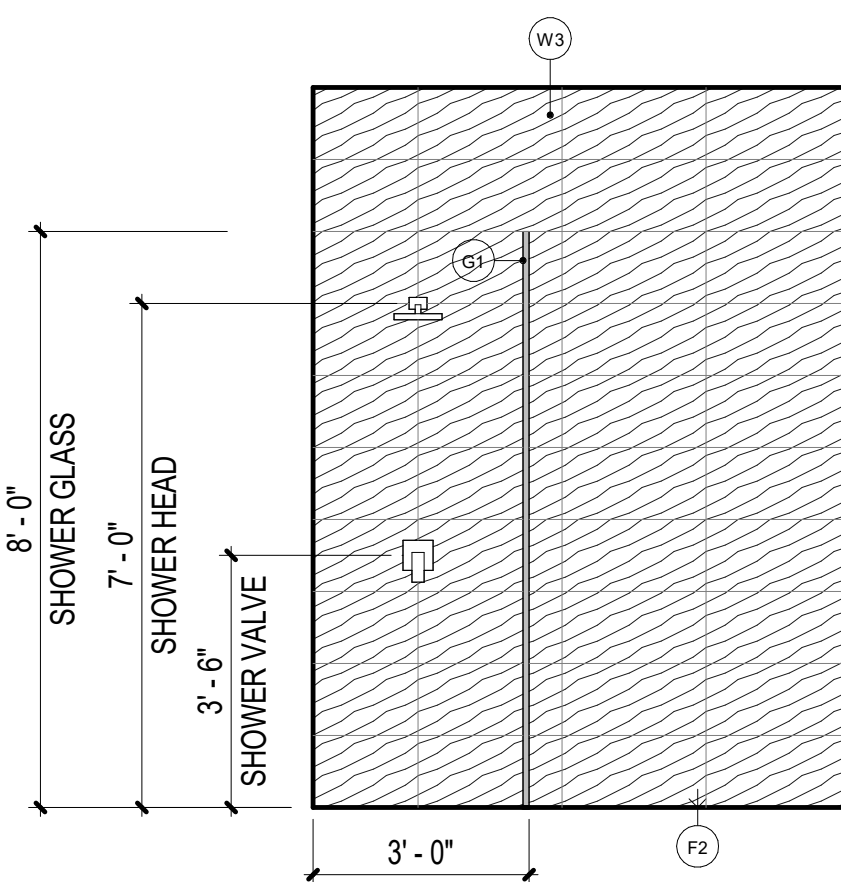
CABINET FINISH: WHITE RIFT OAK - NATURAL STAIN

13 117 LAUNDRY - EAST

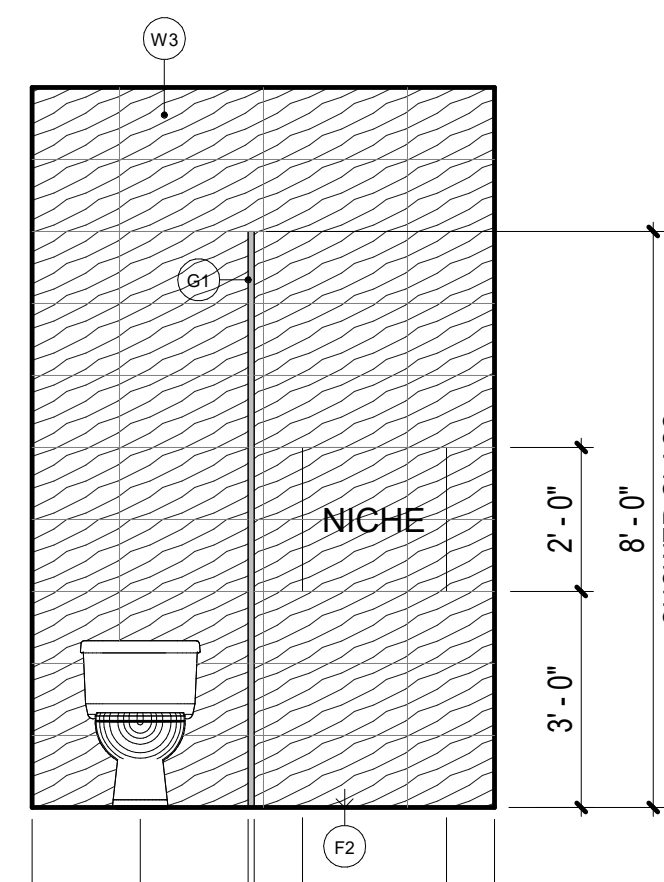


CABINET FINISH: WHITE RIFT OAK - NATURAL STAIN

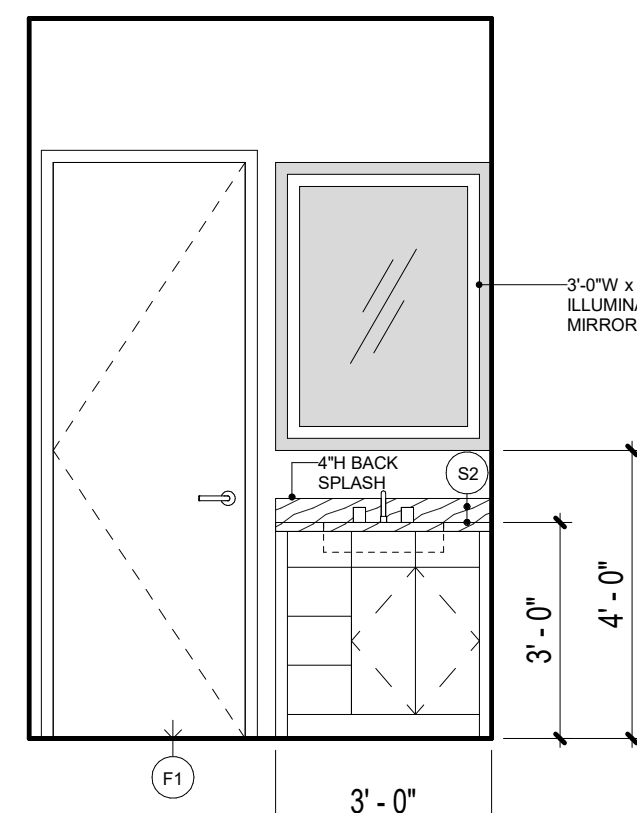
12 117 LAUNDRY - NORTH



11 115 BATH 2 - EAST

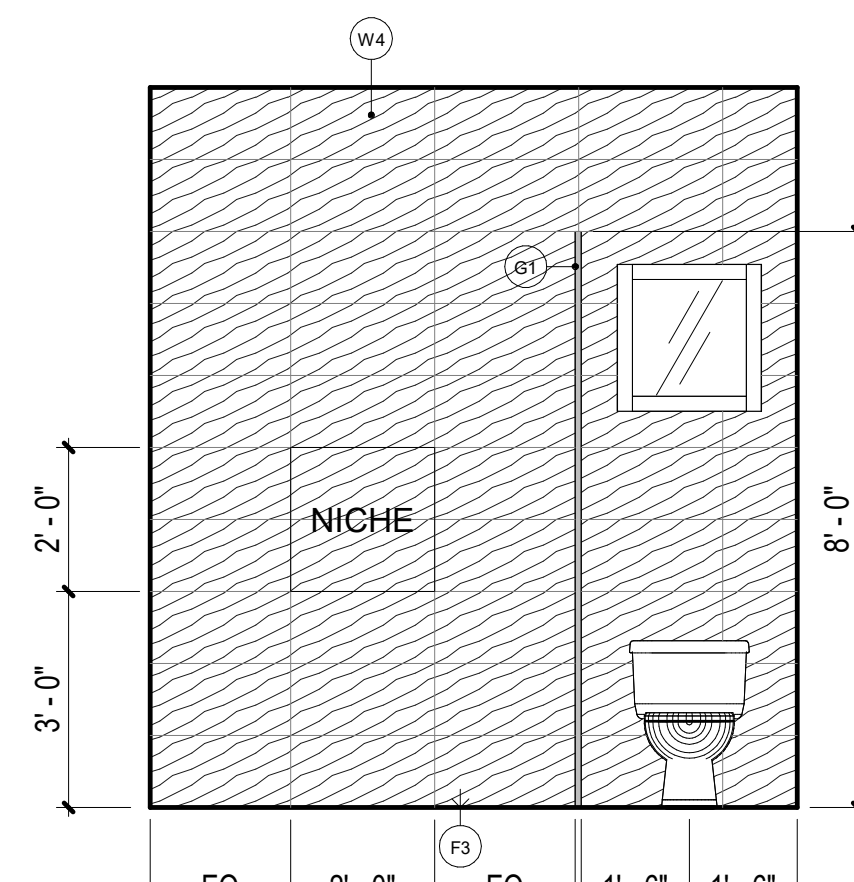


10 115 BATH 2 - NORTH

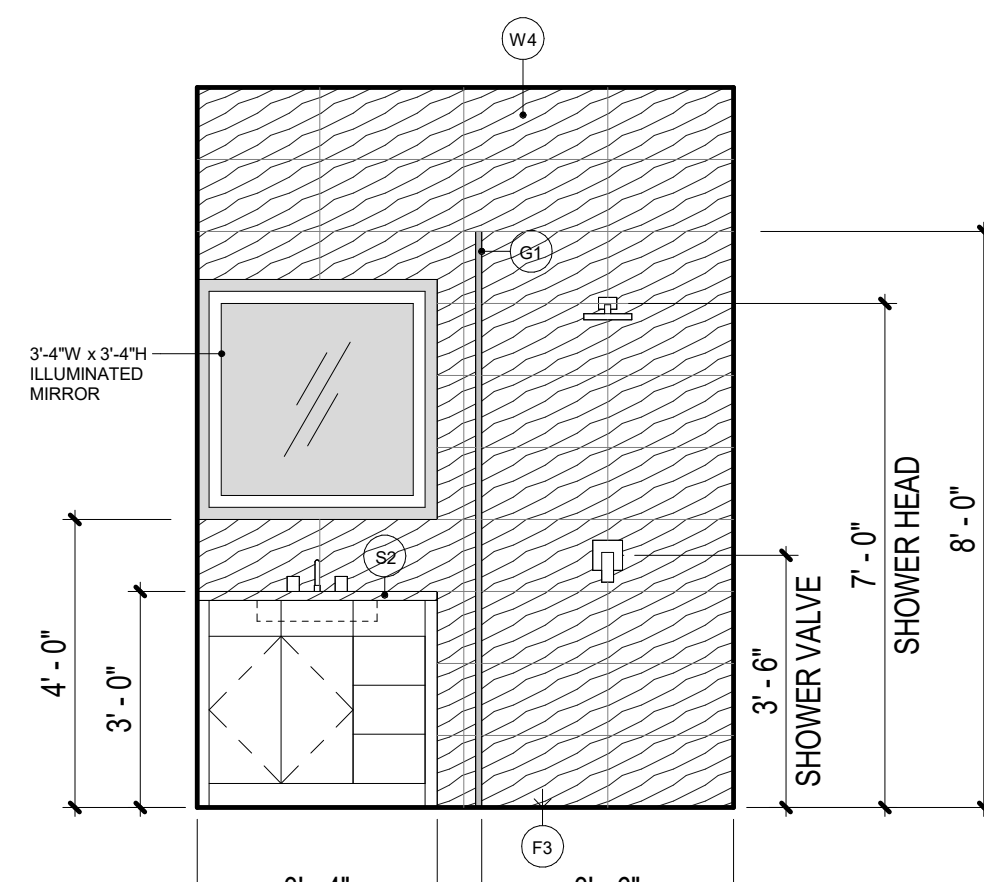


CABINET FINISH: WHITE RIFT OAK - NATURAL STAIN

9 115 BATH 2 - SOUTH

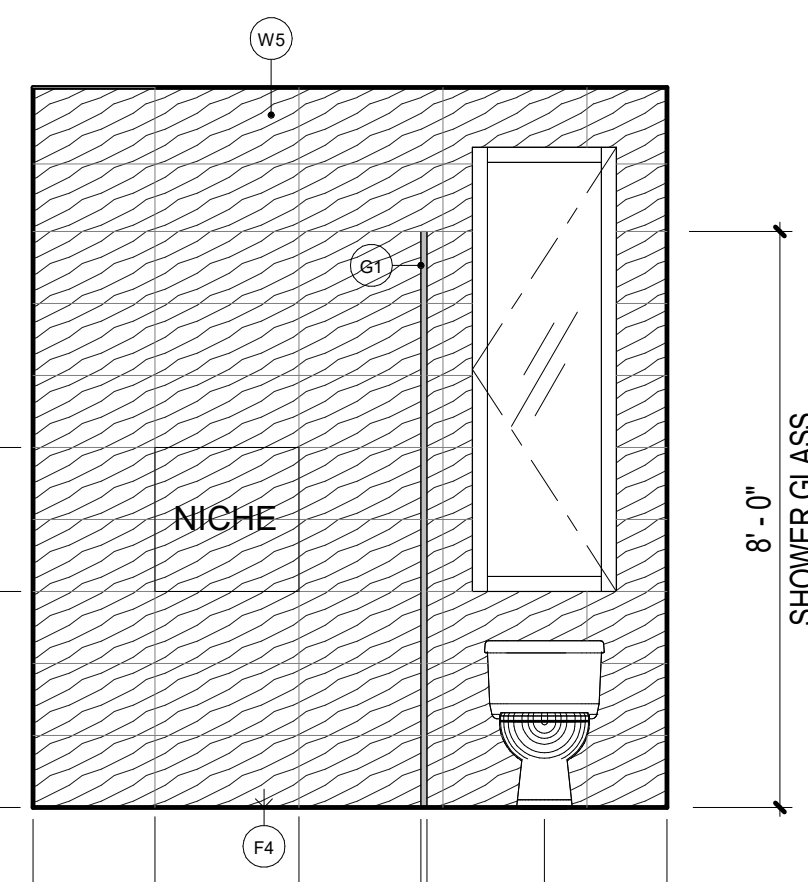


8 112 BATH 3 - EAST

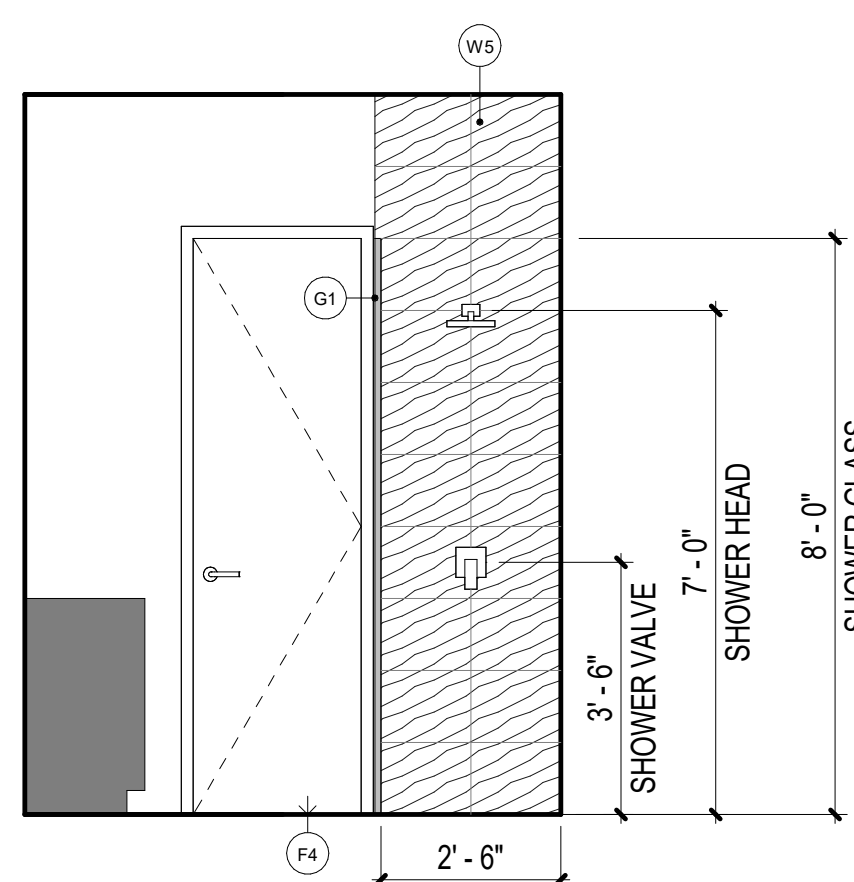


CABINET FINISH: WHITE RIFT OAK - NATURAL STAIN

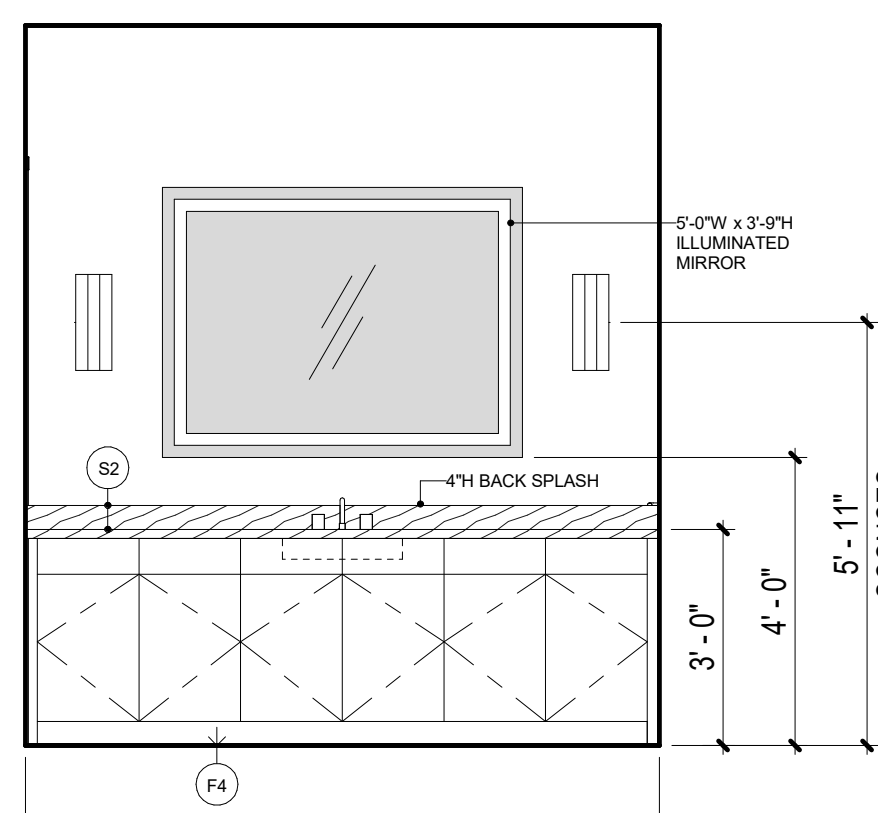
7 112 BATH 3 - NORTH



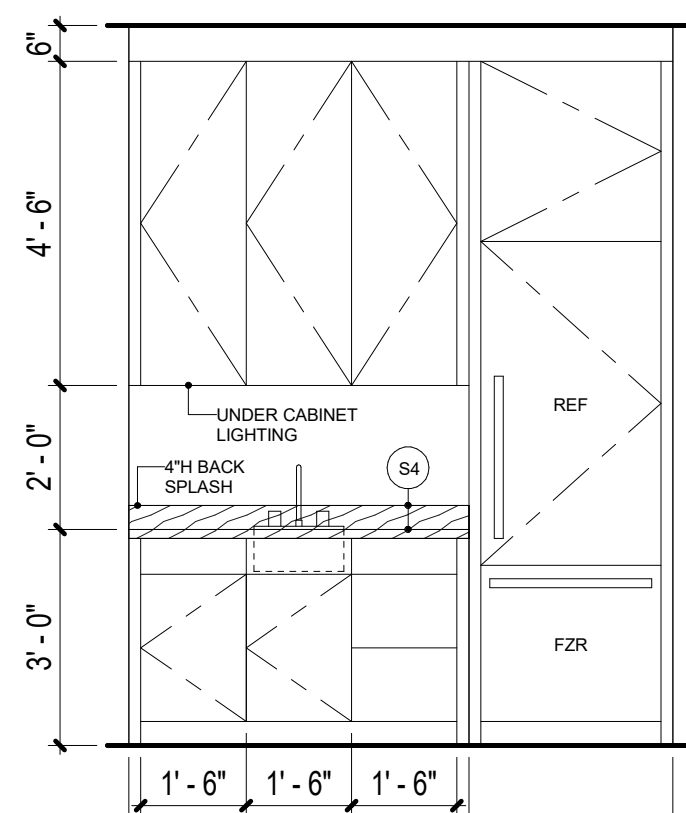
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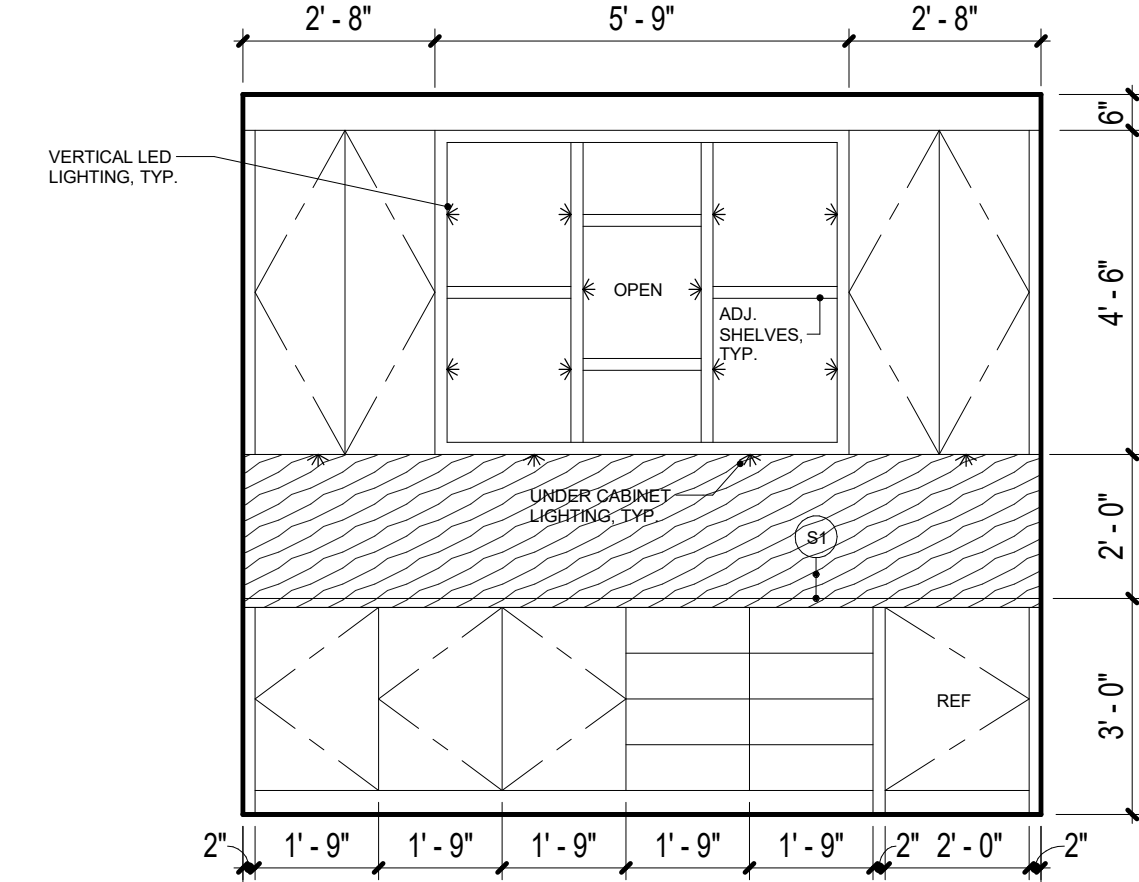
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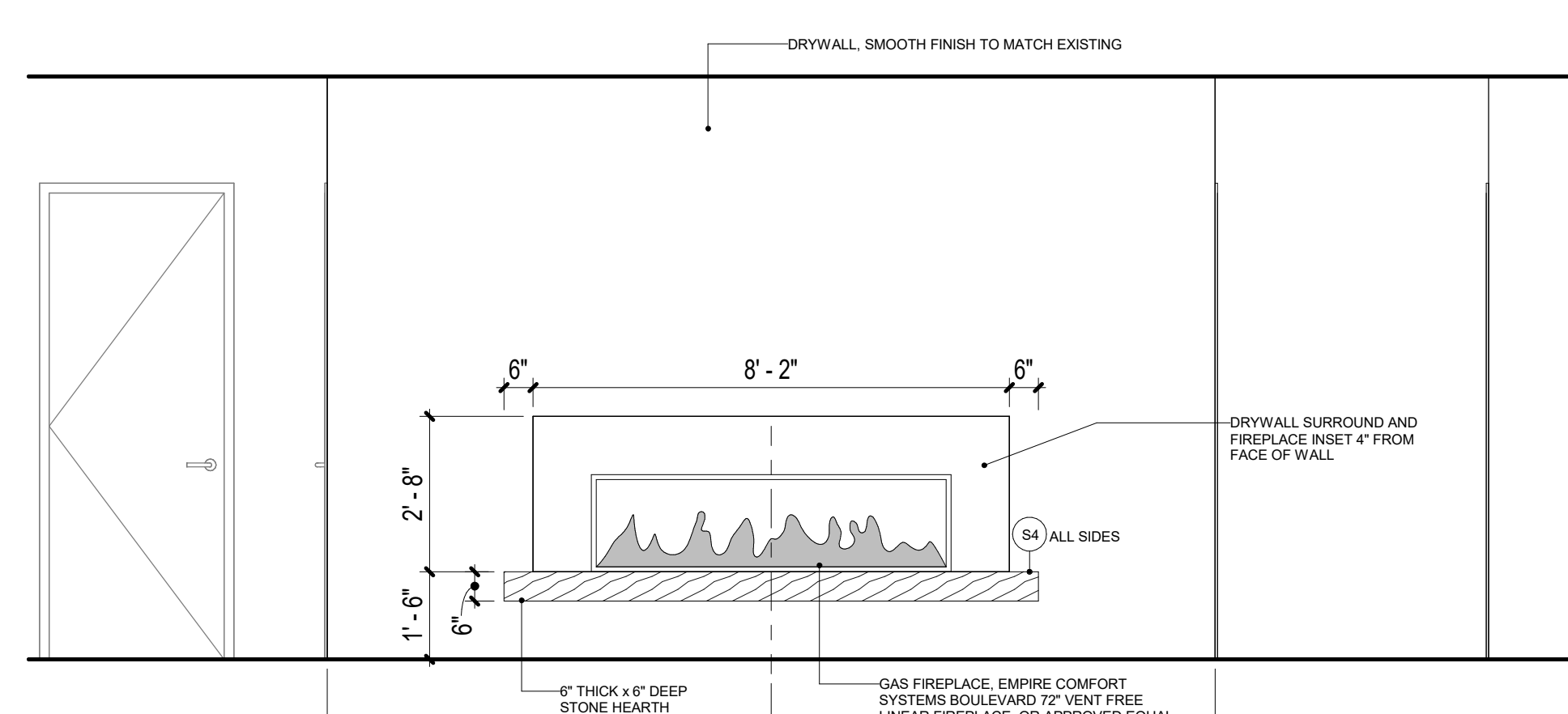
4 109 BATH 4 - EAST



3 106 GAME ROOM - NORTH



2 105 OFFICE - NORTH



1 103 LIVING ROOM - NORTH

WALL FINISHES

W1	EXTERIOR PLASTER OVER PAPER BACKED METAL LATH. PROVIDE PLASTER CORROSION RESISTANT JOIST SCABED AT BOTTOM. 4" MIN. ABOVE ADJACENT GRADE. 2" MIN. ABOVE ADJACENT PAVED SURFACE. FINISH COAT: LA HABRA PERMA-FLEX STUCCO GRADE ACRYLIC FINISH, FINE TEXTURE, APPLIED WITH A SMOOTH STEEL TROWEL. SEALER: WYNN LAHABRASTUCCO.COM COLOR: BENJAMIN MOORE, OC-65 CHANTILLY LACE BASE COAT: MERLEX BASE X POLYMER-MODIFIED BASE COAT AND ANTI-FRACTURE MEMBRANE APPLIED OVER BROWN COAT WITH PARASOL. 305 STANDARD MESH EMBEDDED IN BASE X.
W2	8" DRYWALL, LEVEL 5 FINISH COLOR: BM OC-59 VANILLA MILKSHAKE
W3	ERGO - STONETALK - WHITE RULLATA COLOR: WHITE SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #56 BLEACHED WOOD
W4	ERGO - STONETALK - GREY RULLATA COLOR: GREY SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #165 DELOREAN GRAY
W5	ERGO - STONETALK - SAND RULLATA COLOR: SAND SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY
W6	ERGO - STONETALK - DARK RULLATA COLOR: DARK SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #19 FEWTER
W7	5" DRYWALL, LEVEL 5 FINISH COLOR: BM CSP-570 NOTRE DAME
W8	ERGO - STONETALK - WHITE MINIMAL COLOR: WHITE SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD

FLOOR FINISHES

F1	CALIFORNIA CLASSICS - LOUIRE HARDWOOD COLOR: DELACROIX SIZE: 8'4" x 8'6" x 1/2"
F2	ERGO - STONETALK - WHITE MINIMAL COLOR: WHITE SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD
F3	ERGO - STONETALK - GREY MARTELLATA COLOR: GREY SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #165 DELOREAN GRAY
F4	ERGO - STONETALK - SAND MARTELLATA COLOR: SAND SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY
F5	ERGO - STONETALK - DARK MARTELLATA COLOR: DARK SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #19 FEWTER
F6	ANDERSON TUFTEX - ONE MORE HOUR COLOR: ENCHANTED EVE 00488
F7	CONCRETE SLAB - UNFINISHED
F8	CONCRETE WITH EPOXY PAINT FINISH COLOR TO MATCH MOTOR COURT CONCRETE PAVING

SLAB STONE FINISHES

S1	VADARA QUARTZ FINISH: PETRA GRIDO SIZE: 30" x 120" x 3/4"
S2	DAESARSTONE FINISH: 801 FRESH CONCRETE SIZE: 96" x 120" x 3/4"
S3	NERO MARQUINA MARBLE FINISH: LEATHER SIZE: 60" x 120" x 3/4"
S4	BOTTICINO CLASSICO MARBLE FINISH: HONED SIZE: 60" x 120" x 3/4"

GENERAL FINISHES

G1	GLASS ENCLOSURE, 1/2" CLEAR TEMPERED GLASS
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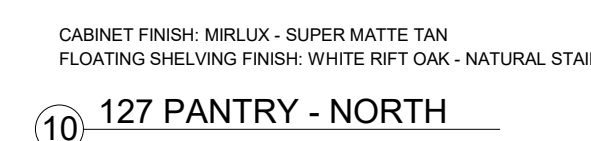
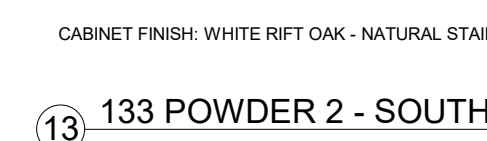
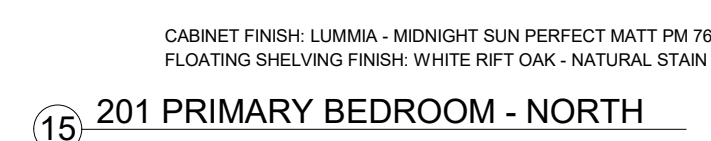
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SCALE	0 1.3 2.7 5.3 3/8" = 1'-0"	

INTERIOR ELEVATIONS

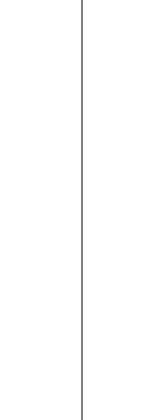
A9.1



FLOOR FINISHES	
P1	CALIFORNIA CLASSICS - LOUVE HARDWOOD COLOR: DELICADO SIZE: 8 1/4" x 6" x 3/8"
P2	ERIGON - STONE/TEAK - WHITE MINIMAL COLOR: WHITE SIZE: 23 1/2" x 47 1/2" x 1 1/4" PATTERN: STRAIGHT STACK GRUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD
P3	ERIGON - STONE/TEAK - GREY MARTELLA COLOR: GREY SIZE: 23 1/2" x 47 1/2" x 1 1/4" PATTERN: STRAIGHT STACK GRUT: CUSTOM BUILDING PRODUCTS, #516 DELUSION GRAY
P4	ERIGON - STONE/TEAK - SAND MARTELLA COLOR: SAND SIZE: 23 1/2" x 47 1/2" x 1 1/4" PATTERN: STRAIGHT STACK GRUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY
P5	ERIGON - STONE/TEAK - DARK MARTELLA COLOR: DARK SIZE: 23 1/2" x 47 1/2" x 1 1/4" PATTERN: STRAIGHT STACK GRUT: CUSTOM BUILDING PRODUCTS, #51 PEPPER
P6	ANDERSON TURFEX - ONE MORE HOUR COLOR: ENCHanted EYE DASH
P7	CONCRETE SLAB - ENPHIN
P8	CONCRETE WITH GREY FIBER COLOR TO MATCH MOTOR COURT CONCRETE PAVING

	SLAB STONE FINISHES
S1	VADARA QUARTZ FINISH: PETRA GRIGIO SIZE: 50" x 120" x 3/4"
S2	CAESARSTONE FINISH: ADOBI FRESH CONCRETE SIZE: 56.5" x 120" x 3/4"
S3	NERO MARQUINA MARBLE FINISH: LEATHER SIZE: 60" x 120" x 3/4"
S4	BOTTICINO CLASSICO MARBLE FINISH: HONEY SIZE: 60" x 120" x 3/4"

	GENERAL FINISHES
G1	GLASS ENCLOSURE, 1/2" CLEAR TEMPERED GLASS

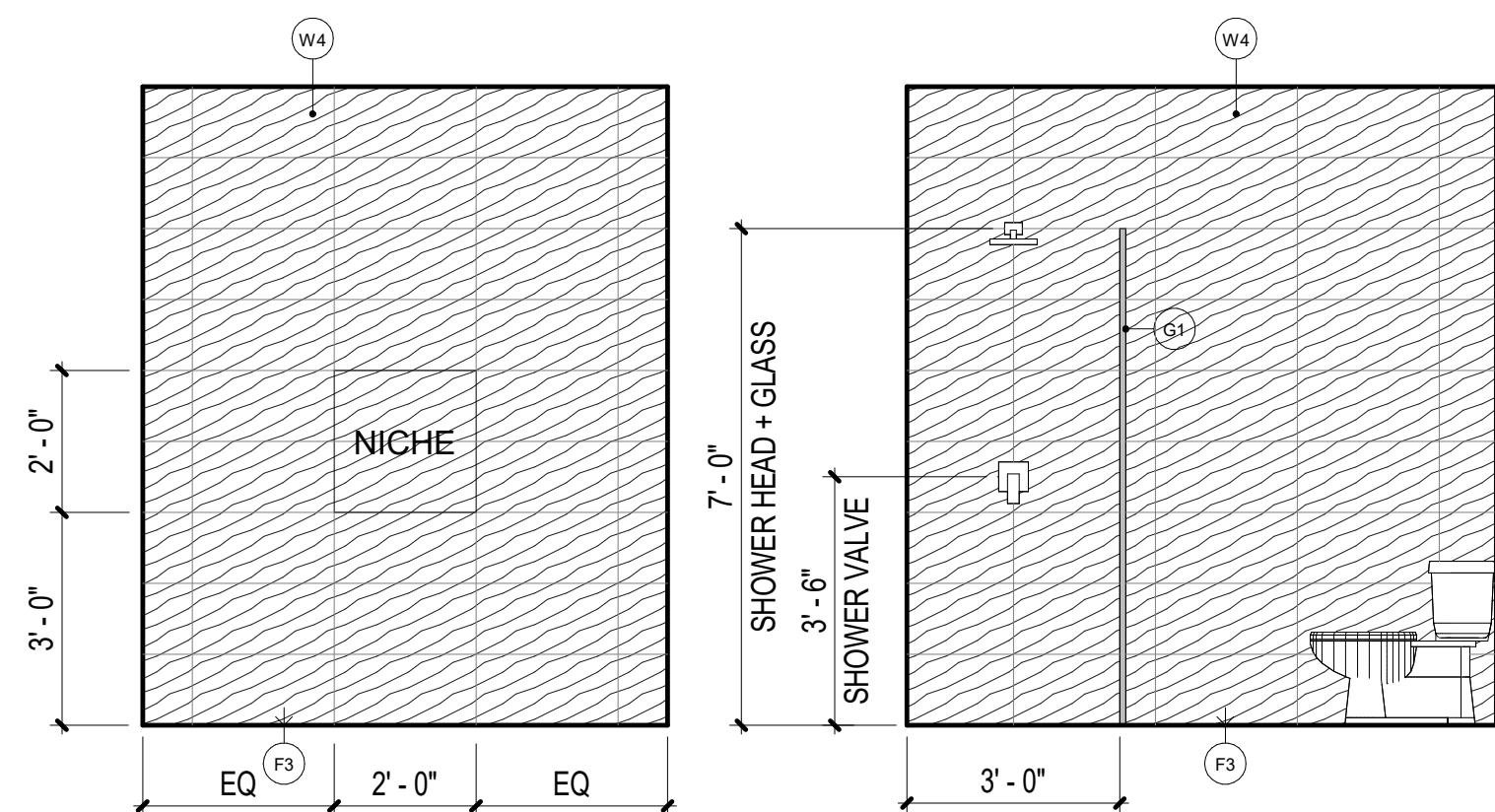


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GAINEY RANCH REMODEL

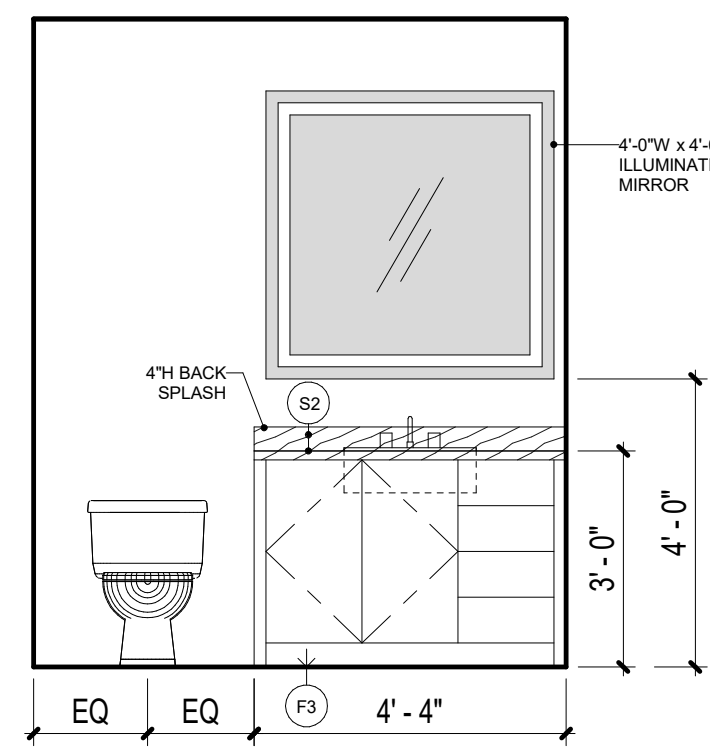
7780 E VAQUERO DR
 SCOTTSDALE, AZ 85258

ISSUE / REVISION	DATE	NUMBER
SUBMIT PLAN CHECK	06.13.25	v1
CLIENT UPDATES	06.09.25	v1
AS-BUILT - PLAN & ELEVATION UPDATES	06.13.25	v1
AS-BUILT - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2
DRAWN BY / CHECKED BY	TDH	
PROJECT NUMBER	SC17770	
SCALE	0 1" = 3' 2' 0 1" = 5'3" 5'3"	

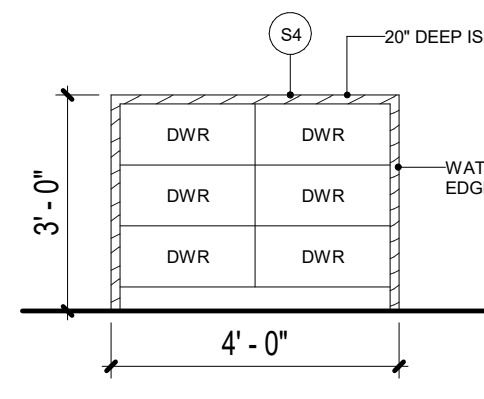


18 210 GUEST BATH 1 - WEST

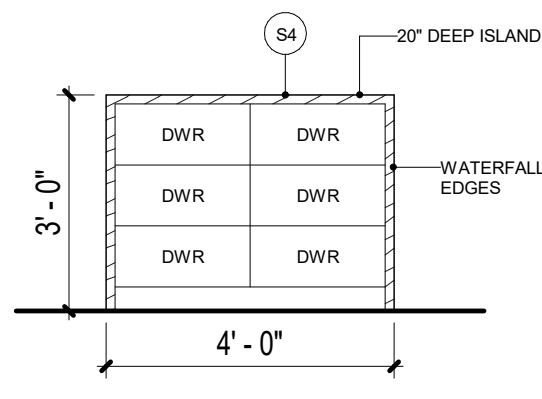
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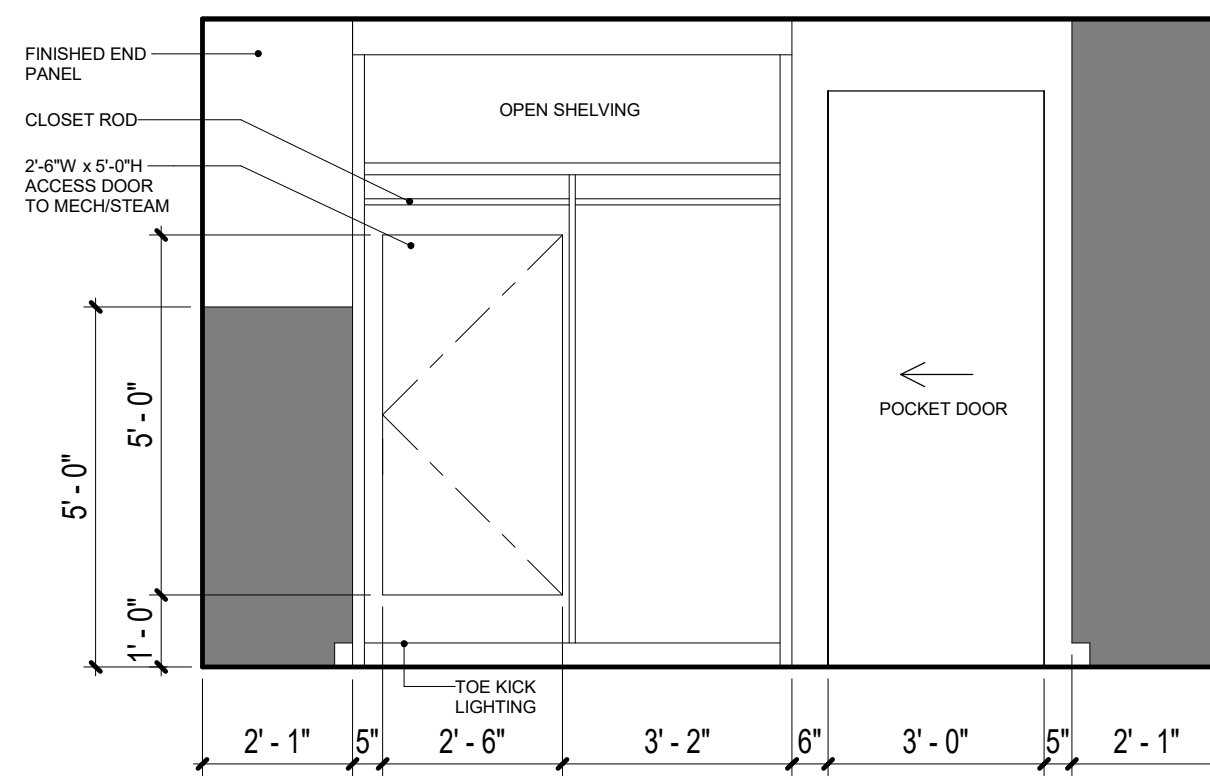
16 210 GUEST BATH 1 - EAST



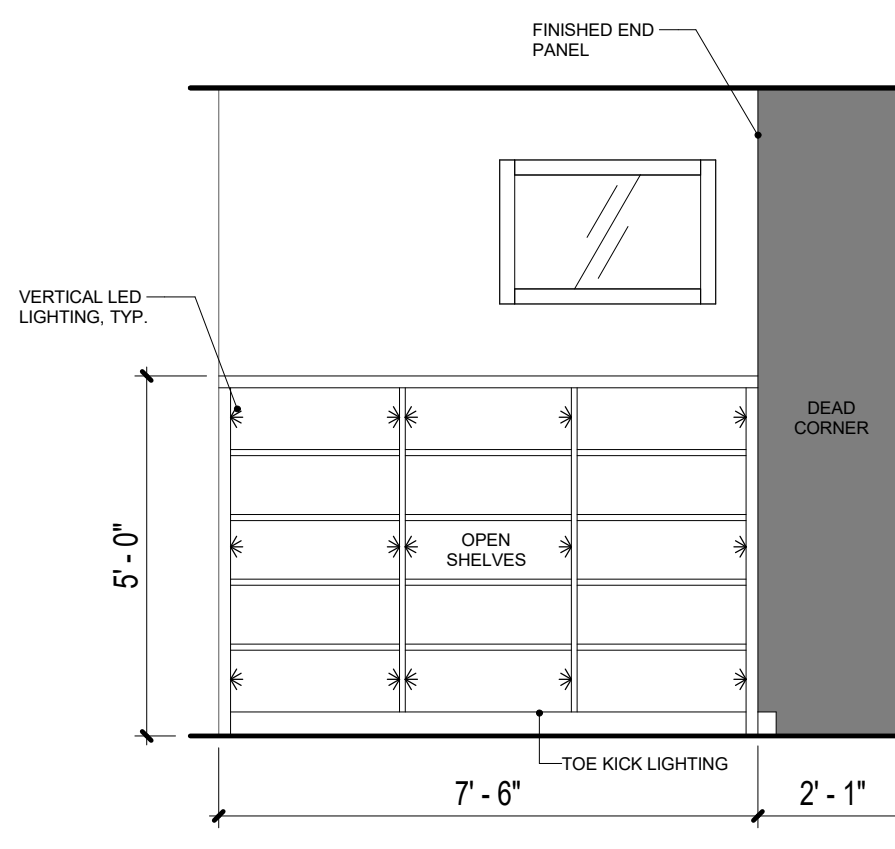
15 206 HER CLOSET ISLAND - WEST



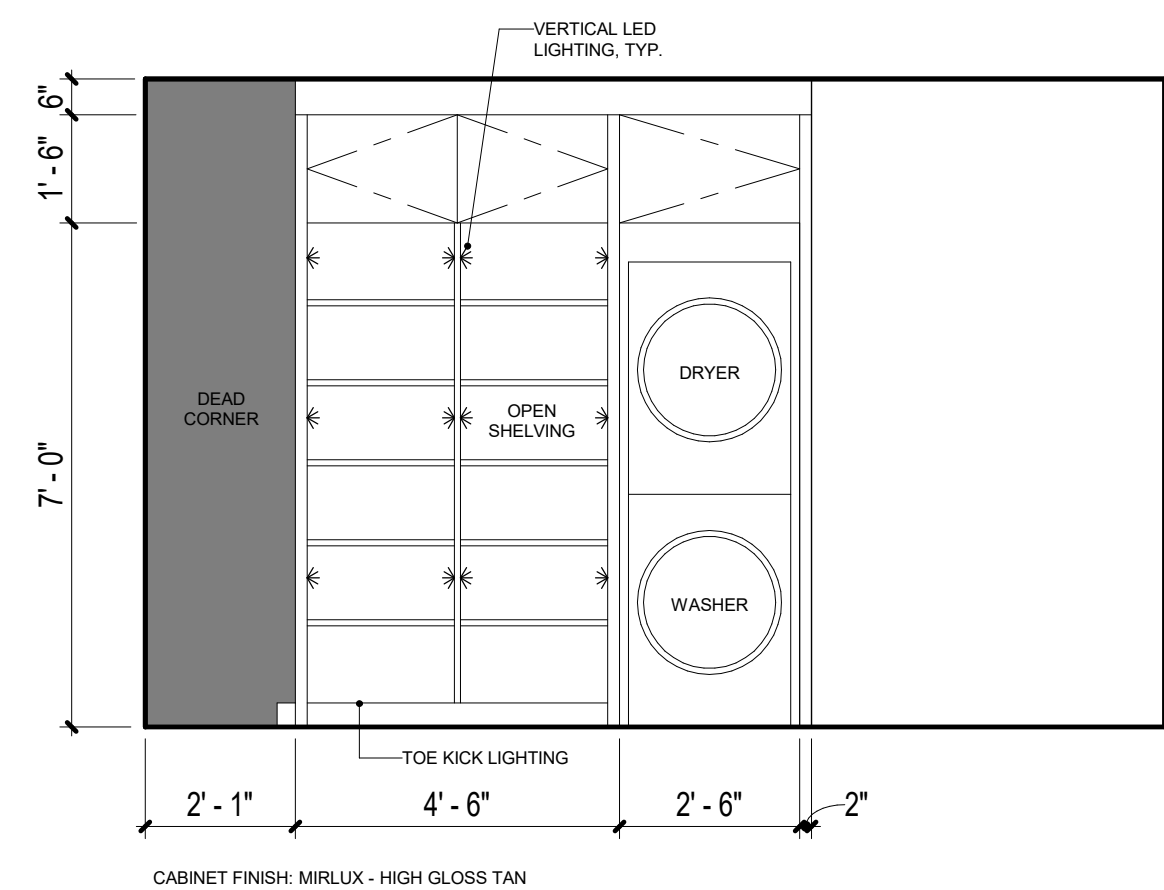
14 206 HER CLOSET ISLAND - EAST



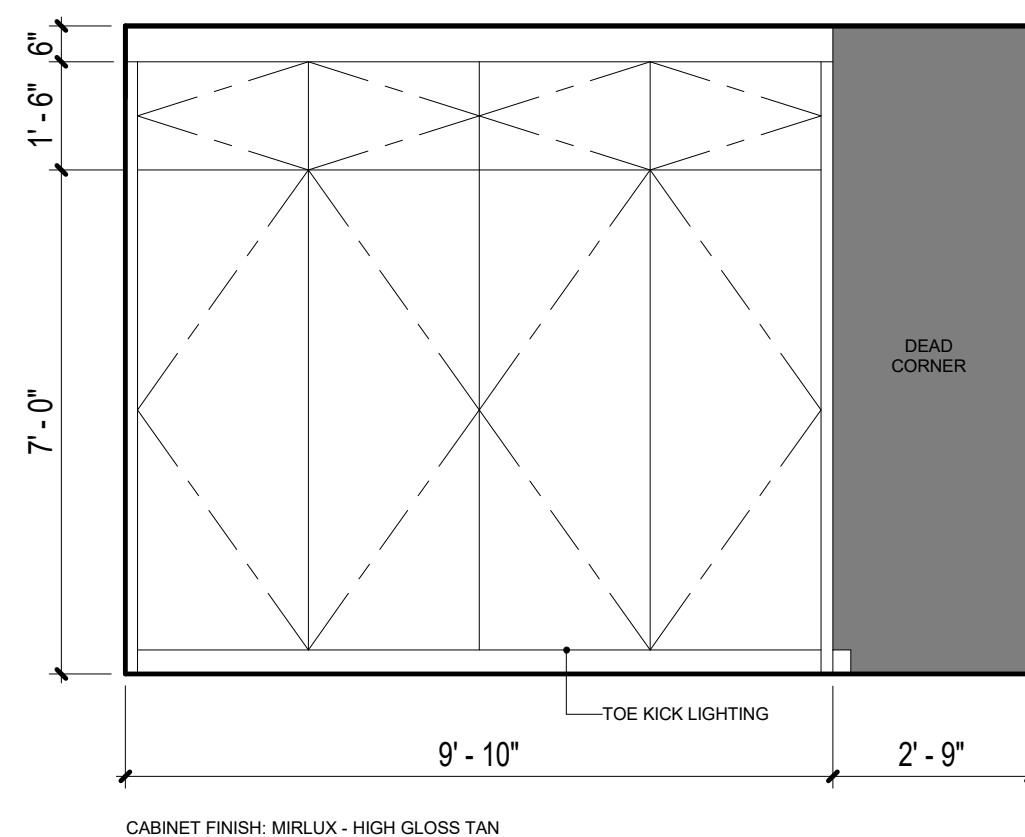
13 206 HER CLOSET - EAST



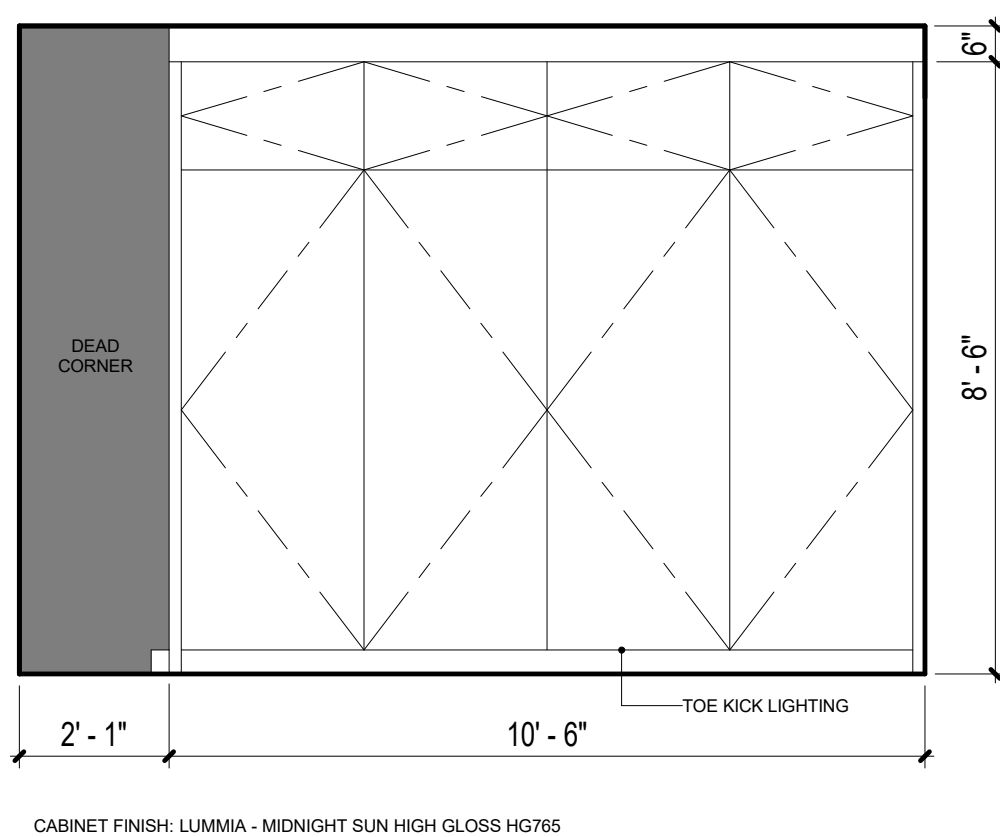
12 206 HER CLOSET - NORTH



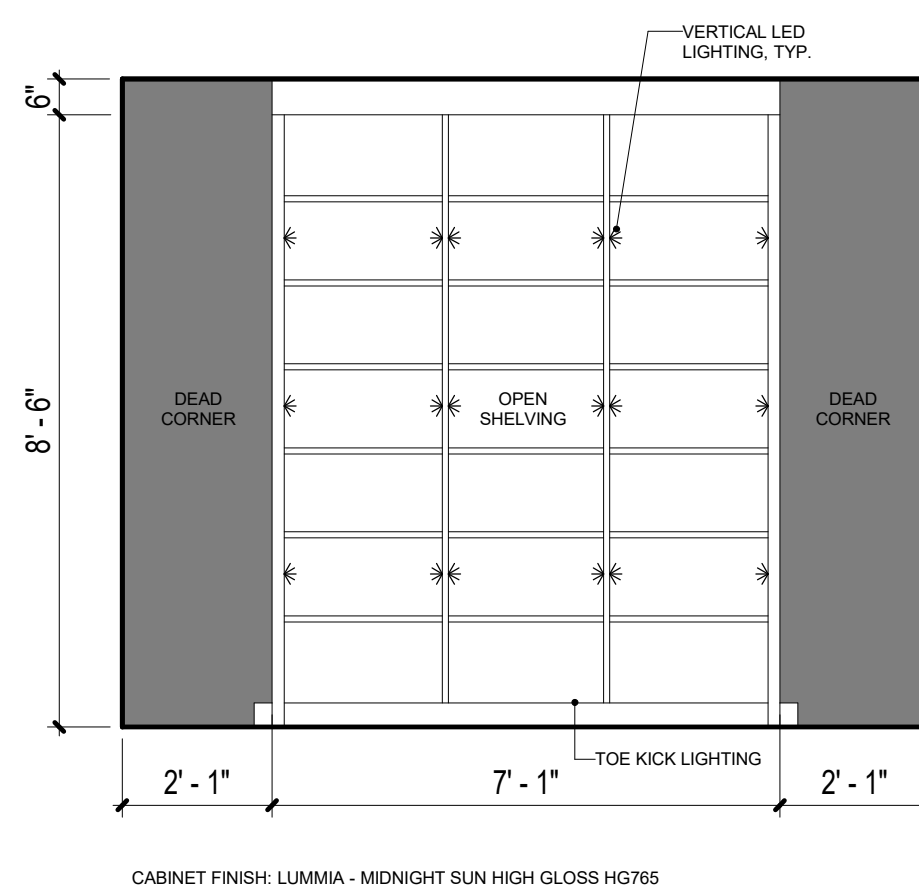
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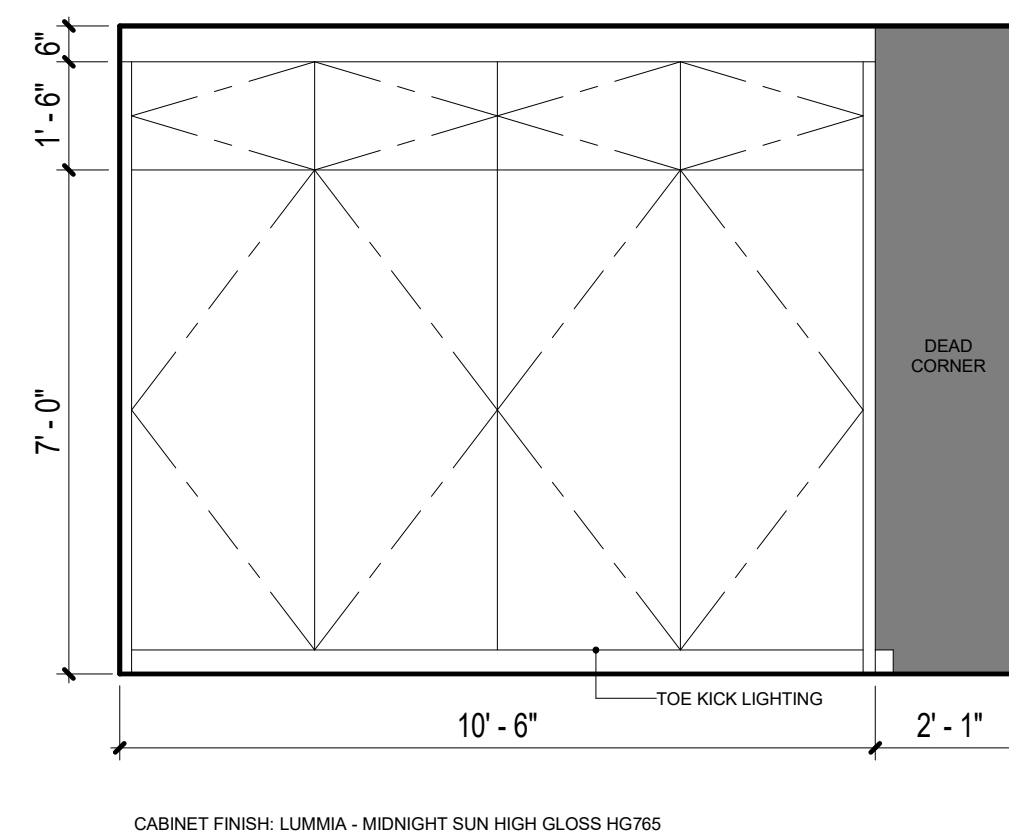
10 206 HER CLOSET - SOUTH



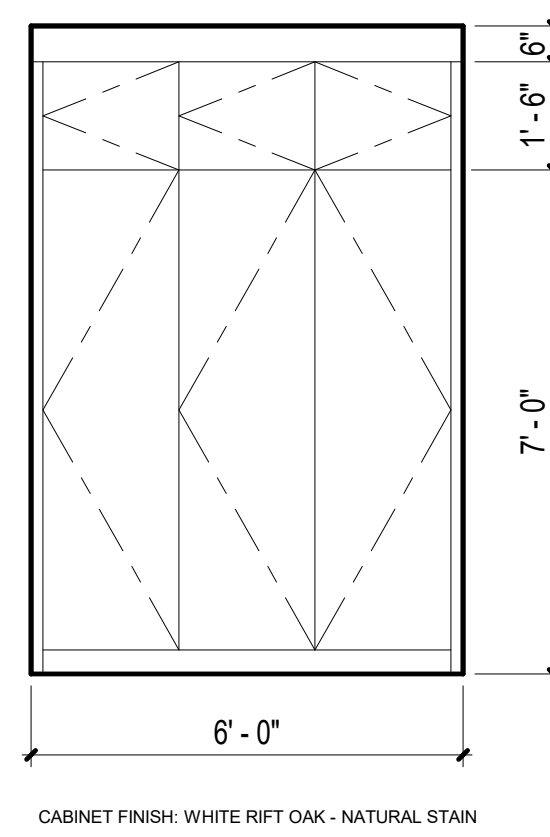
9 204 HIS CLOSET - NORTH



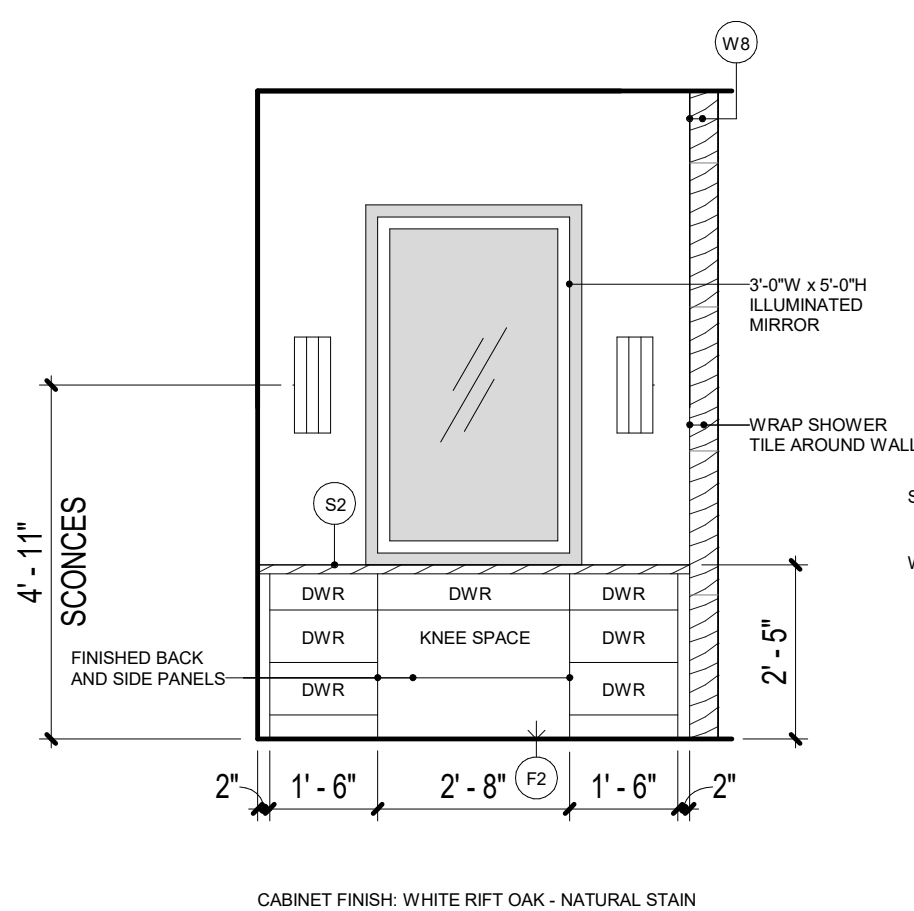
8 204 HIS CLOSET - WEST



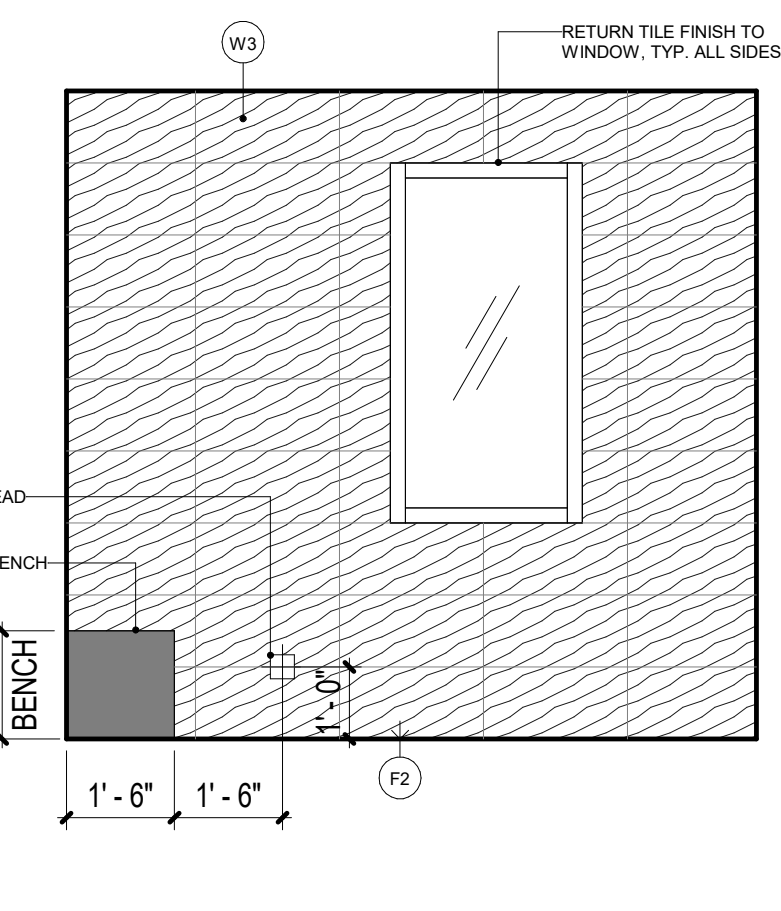
7 204 HIS CLOSET - SOUTH



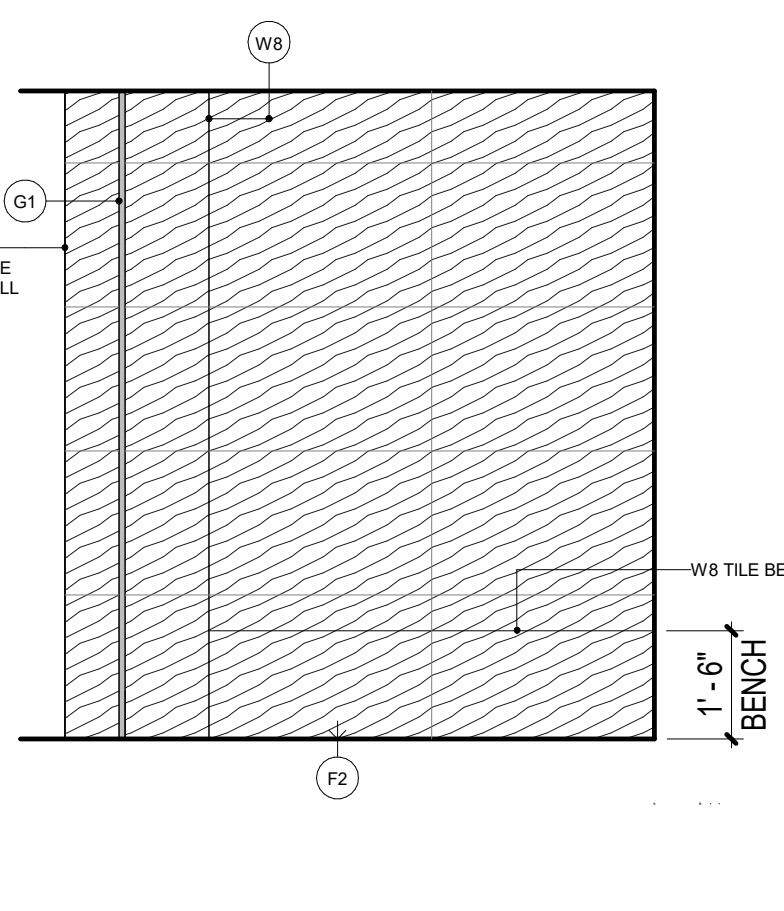
6 202 PRIMARY BATH - LINEN - NORTH



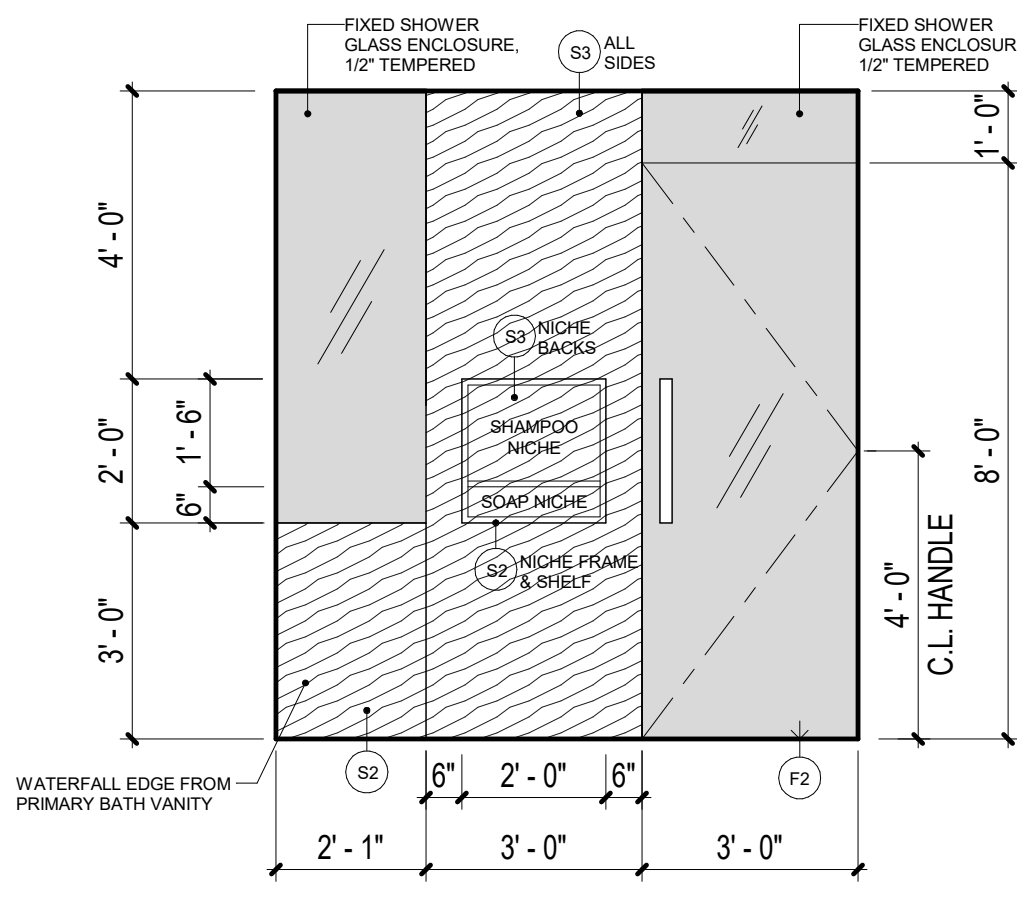
5 202 PRIMARY BATH - MAKEUP - NORTH



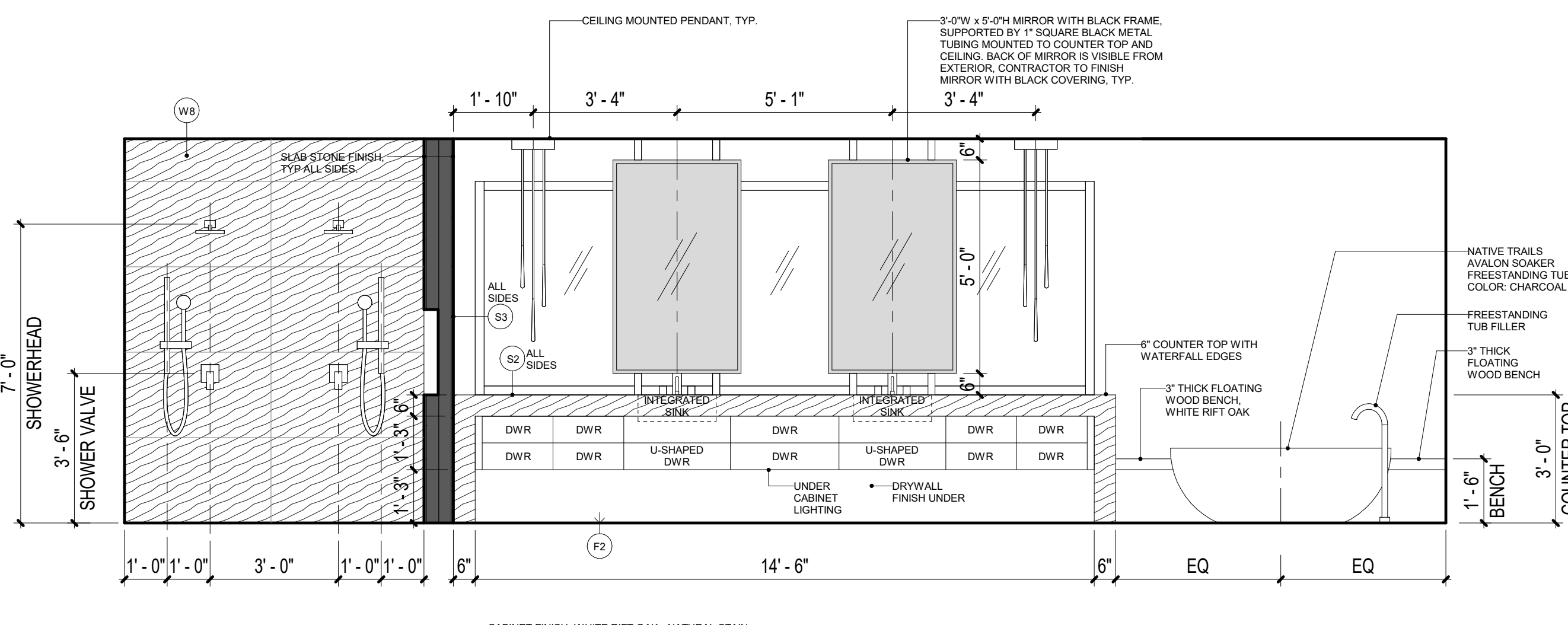
4 202 PRIMARY SHOWER - NORTH



3 202 PRIMARY BATH - SHOWER - WEST



2 202 PRIMARY BATH - SHOWER - SOUTH



1 202 PRIMARY BATH - EAST

WALL FINISHES

W1	EXTERIOR PLASTER OVER PAPER BACKED METAL LATH. PROVIDE PLASTER CORROSION RESISTANT JOIST ROSSIES AT BOTTOM. 4" MIN. ABOVE ADJACENT GRADE. 2" MIN. ABOVE ADJACENT PAVED SURFACE. FINISH COAT: LA HABRA PERMA-FLEX STUCCO GRADE ACRYLIC FINISH, FINE TEXTURE, APPLIED WITH A SMOOTH STEEL TROWEL. SEALER: WYNN LA HABRA STUCCO.COM COLOR: BENJAMIN MOORE, OC-65 CHANTILLY LACE BASE COAT: MERLEX BASE X POLYMER-MODIFIED BASE COAT AND ANTI-FRACTURE MEMBRANE APPLIED OVER BROWN COAT WITH PARASOL 305 STANDARD MESH EMBEDDED IN BASE X.
W2	8" DRYWALL, LEVEL 5 FINISH COLOR: BM OC-59 VANILLA MILKSHAKE
W3	ERGO - STONETALK - WHITE RULLATA COLOR: WHITE SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #56 BLACHED WOOD
W4	ERGO - STONETALK - GREY RULLATA COLOR: GREY SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #165 DELOREAN GRAY
W5	ERGO - STONETALK - SAND RULLATA COLOR: SAND SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY
W6	ERGO - STONETALK - DARK RULLATA COLOR: DARK SIZE: 11'8" x 23'8" x 1/4" PATTERN: STRAIGHT STACK, VERTICAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #19 FEWTER
W7	5" DRYWALL, LEVEL 5 FINISH COLOR: BM CSP-570 NOTRE DAME
W8	ERGO - STONETALK - WHITE MINIMAL COLOR: WHITE SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD

FLOOR FINISHES

F1	CALIFORNIA CLASSICS - LOUVER HARDWOOD COLOR: DELACROIX SIZE: 8'4" x 9'6" x 1/2"
F2	ERGO - STONETALK - WHITE MINIMAL COLOR: WHITE SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD
F3	ERGO - STONETALK - GREY MARTELLATA COLOR: GREY SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #165 DELOREAN GRAY
F4	ERGO - STONETALK - SAND MARTELLATA COLOR: SAND SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY
F5	ERGO - STONETALK - DARK MARTELLATA COLOR: DARK SIZE: 23'8" x 47'25" x 1/4" PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS GROUT: CUSTOM BUILDING PRODUCTS, #19 FEWTER
F6	ANDERSON TUFTEX - ONE MORE HOUR COLOR: ENCHANTED EVE 00408
F7	CONCRETE SLAB - UNFINISHED
F8	CONCRETE WITH EPOXY PAINT FINISH COLOR TO MATCH MOTOR COURT CONCRETE PAVING

SLAB STONE FINISHES

S1	VADARA QUARTZ FINISH: PETRA GREGO SIZE: 9'1" x 10'4" x 3/4"
S2	DABAWASTONE FINISH: 801 FRESH CONCRETE SIZE: 9'6" x 12'0" x 3/4"
S3	NERO MARQUINA MARBLE FINISH: LEATHER SIZE: 6'0" x 12'0" x 3/4"
S4	BOTTICINO CLASSICO MARBLE FINISH: HONED SIZE: 6'0" x 12'0" x 3/4"

GENERAL FINISHES

G1	GLASS ENCLOSURE, 1/2" CLEAR TEMPERED GLASS
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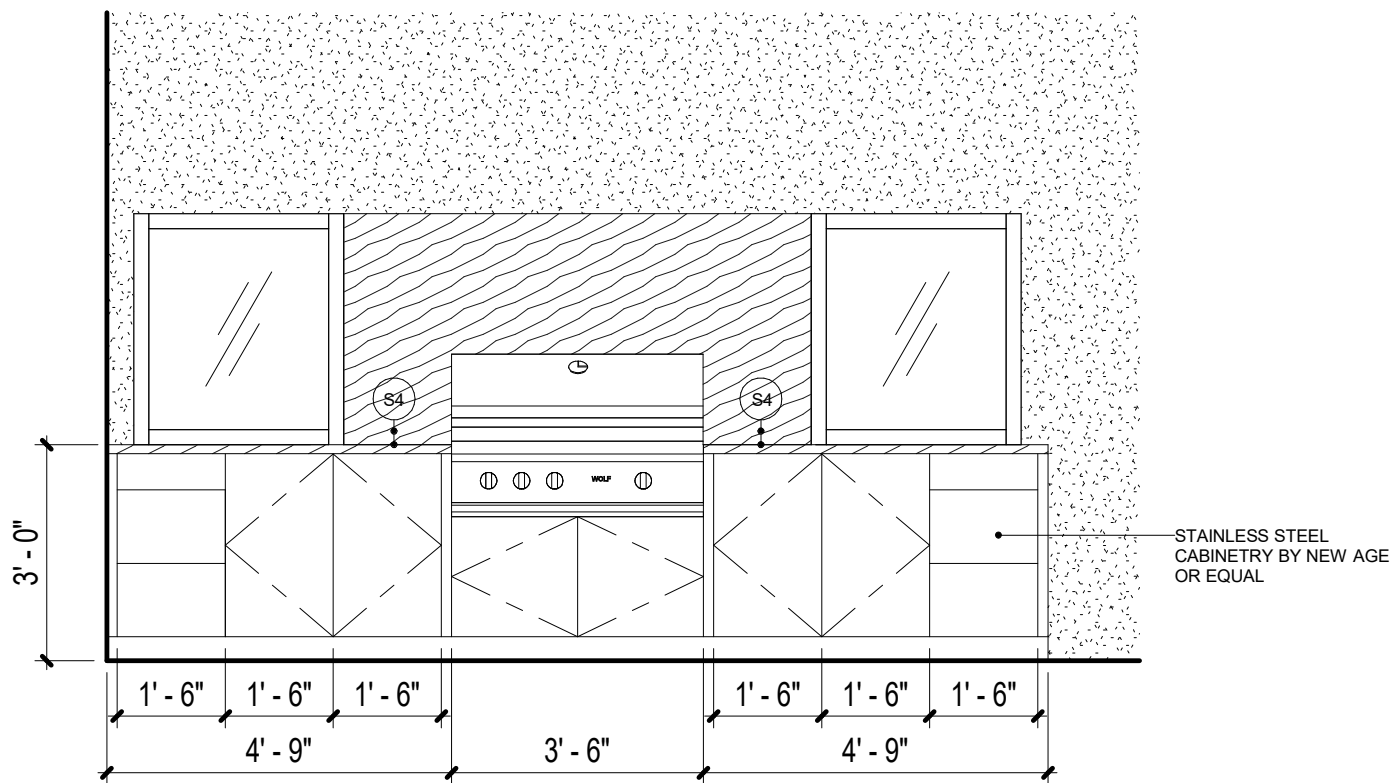
GAINEY RANCH REMODEL
7780 E VAQUERO DR
SCOTTSDALE, AZ 85258

ISSUE / REVISION	DATE	NUMBER
SUBMIT PLAN CHECK	05.13.25	v1
CLIENT UPDATES	06.06.25	v1
ADD UT - PLAN & ELEVATION UPDATES	06.13.25	v1
ADD 10 - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2

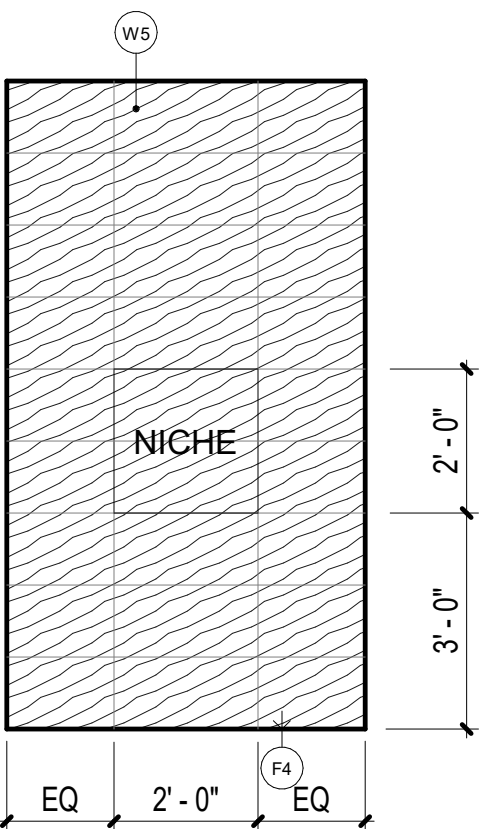
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PROJECT NUMBER: SCT7780
SCALE: 3/8" = 1'-0"
0 1' 2' 3' 4'

INTERIOR ELEVATIONS

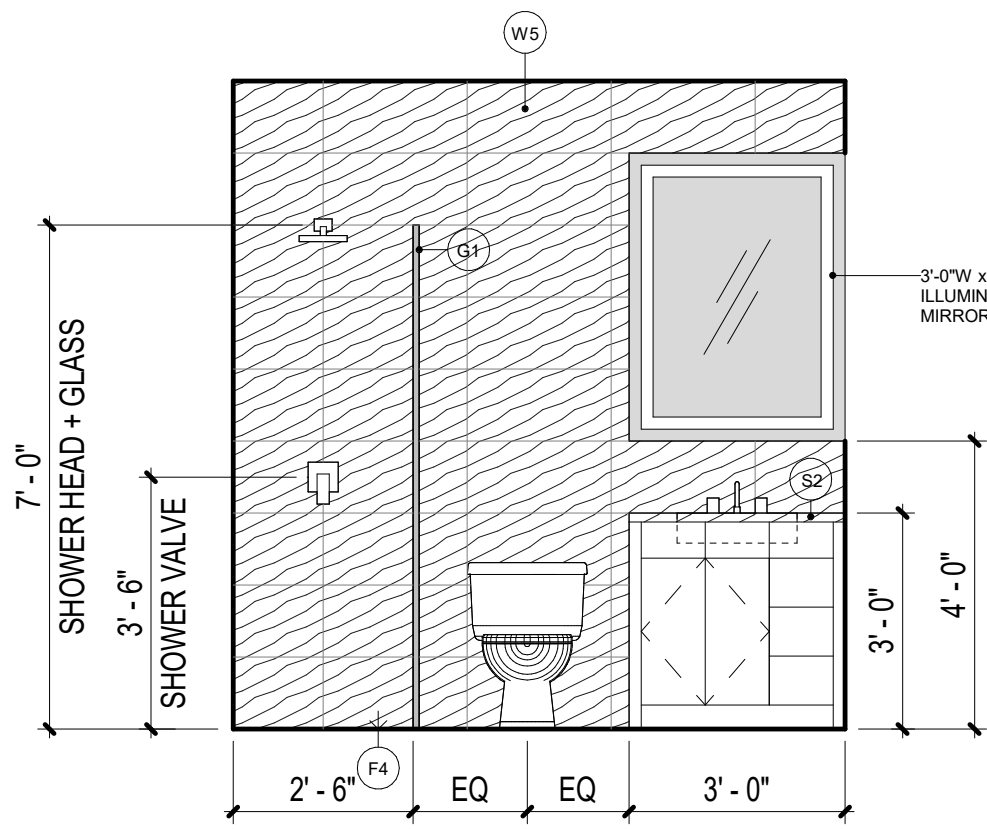
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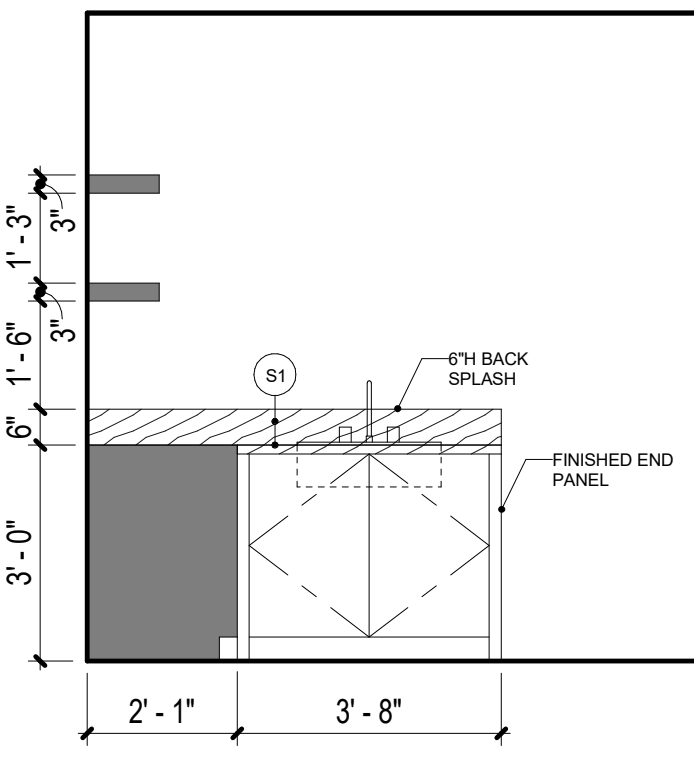
5 GAS BBQ - SOUTH



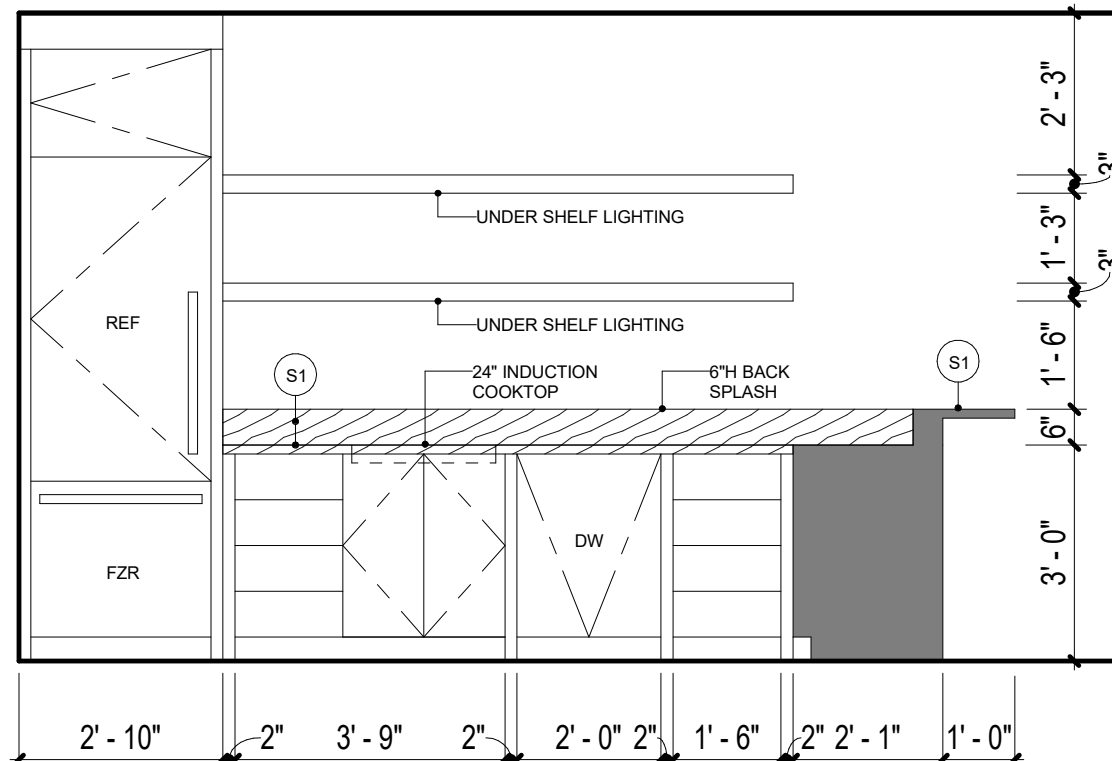
4 213 GUEST BATH 2 - SOUTH



3 213 GUEST BATH 2 - WEST



2 212 GUEST KITCHEN - EAST



1 212 GUEST KITCHEN - NORTH

WALL FINISHES		
W1	EXTERIOR PLASTER OVER PAPER BACKED METAL LATH. PROVIDE PLASTER CORROSION RESISTANT JOIST SCREWS AT BOTTOM. 4" MIN. ABOVE ADJACENT GRADE, 2" MIN. ABOVE ADJACENT PAVED SURFACE.	
	FINISH COAT: LA HABRA PERMA-FLEX CRUCCO GRADE ACRYLIC FINISH, FINE TEXTURE, APPLIED WITH A SMOOTH STEEL TROWEL. SEALER: AS RECOMMENDED BY LA HABRA. COLOR: BENJAMIN MOORE, OC-65 CHANTILLY LACE.	
	BASE COAT: MERLEX BASE X POLYMER-MODIFIED BASE COAT AND ANTI-FRACTURE MEMBRANE APPLIED OVER BROWN COAT WITH PAROSUR 305 STANDARD MESH EMBEDDED IN BASE X.	
W2	8" DRYWALL, LEVEL 5 FINISH. COLOR: BM OC-59 VANILLA MILKSHAKE.	
W3	ERGOON - STONETALK - WHITE RULLATA. COLOR: WHITE. SIZE: 11.81" x 23.82" x 1/4". PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS. GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD.	
W4	ERGOON - STONETALK - GREY RULLATA. COLOR: GREY. SIZE: 11.81" x 23.82" x 1/4". PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS. GROUT: CUSTOM BUILDING PRODUCTS, #165 DELOREAN GRAY.	
W5	ERGOON - STONETALK - SAND RULLATA. COLOR: SAND. SIZE: 11.81" x 23.82" x 1/4". PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS. GROUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY.	
W6	ERGOON - STONETALK - DARK RULLATA. COLOR: DARK. SIZE: 11.81" x 23.82" x 1/4". PATTERN: STRAIGHT STACK, VERTICAL ORIENTATION, MITER EDGES AT CORNERS. GROUT: CUSTOM BUILDING PRODUCTS, #19 FEWTER.	
W7	5/8" DRYWALL, LEVEL 5 FINISH. COLOR: BM CSP-970 NOTRE DAME.	
W8	ERGOON - STONETALK - WHITE MINIMAL. COLOR: WHITE. SIZE: 23.82" x 47.25" x 1/4". PATTERN: STRAIGHT STACK, HORIZONTAL ORIENTATION, MITER EDGES AT CORNERS. GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD.	

FLOOR FINISHES		
F1	CALIFORNIA CLASSICS - LOUVE HARDWOOD. COLOR: DELACROIX. SIZE: 3/4" x 9/8" x 9/8".	
F2	ERGOON - STONETALK - WHITE MINIMAL. COLOR: WHITE. SIZE: 23.82" x 47.25" x 1/4". PATTERN: STRAIGHT STACK. GROUT: CUSTOM BUILDING PRODUCTS, #545 BLEACHED WOOD.	
F3	ERGOON - STONETALK - GREY MARTELLATA. COLOR: GREY. SIZE: 23.82" x 47.25" x 1/4". PATTERN: STRAIGHT STACK. GROUT: CUSTOM BUILDING PRODUCTS, #165 DELOREAN GRAY.	
F4	ERGOON - STONETALK - SAND MARTELLATA. COLOR: SAND. SIZE: 23.82" x 47.25" x 1/4". PATTERN: STRAIGHT STACK. GROUT: CUSTOM BUILDING PRODUCTS, #386 OYSTER GRAY.	
F5	ERGOON - STONETALK - DARK MARTELLATA. COLOR: DARK. SIZE: 23.82" x 47.25" x 1/4". PATTERN: STRAIGHT STACK. GROUT: CUSTOM BUILDING PRODUCTS, #19 FEWTER.	
F6	ANDERSON TUFTEX - ONE MORE HOUR. COLOR: ENCHANTED EVE 00408.	
F7	CONCRETE SLAB - UNFINISHED.	
F8	CONCRETE WITH EPOXY PAINT FINISH. COLOR TO MATCH MOTOR COURT CONCRETE PAVING.	

SLAB STONE FINISHES		
S1	VADARA QUARTZ. FINISH: PETRA GREGO. SIZE: 30" x 120" x 3/4".	
S2	DAESARSTONE. FINISH: 801 FRESH CONCRETE. SIZE: 36" x 120" x 3/4".	
S3	NERO MARQUINA MARBLE. FINISH: LEATHER. SIZE: 60" x 120" x 3/4".	
S4	BOTTICINO CLASSICO MARBLE. FINISH: HONED. SIZE: 60" x 120" x 3/4".	

GENERAL FINISHES		
G1	GLASS ENCLOSURE, 1/2" CLEAR TEMPERED GLASS.	

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GAINEY RANCH REMODEL 7780 E VAQUERO DR SCOTTSDALE, AZ 85258		
ISSUE / REVISION	DATE	NUMBER
SUBMIT PLAN CHECK	05.13.25	v1
CLIENT UPDATES	06.06.25	v1
ADD IT - PLAN & ELEVATION UPDATES	06.13.25	v1
ADD IT - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2
DRAWN BY / CHECKED BY: TDH		
PROJECT NUMBER: SCT7780		
SCALE: 0 1.3 2.7 5.3 3/8" = 1'-0"		

INTERIOR ELEVATIONS

A9.4



LEGEND: FLOOR FINISHES	
	F1 CALIFORNIA CLASSICS - LOUVRE HARDWOOD COLOR: DRUMMOND SIZE: 3/4" x 9 1/2" x 1/2" PATTERN: RANDOM
	F2 ERAGON - STONETALK - WHITE MINIMAL COLOR: WHITE SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F3 ERAGON - STONETALK - GREY MARTELLATA COLOR: GREY SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F4 ERAGON - STONETALK - SAND MARTELLATA COLOR: SAND SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F5 ERAGON - STONETALK - DARK MARTELLATA COLOR: DARK SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F6 ANDERSON TURCK - ONE MORE HOUR COLOR: ENCHANTED EYE 8046
	F7 CONCRETE SLAB - UNFINISHED
	F8 CONCRETE WITH EPOXY PAINT FINISH - COLOR TO MATCH MOTOR COURT CONCRETE PAVING



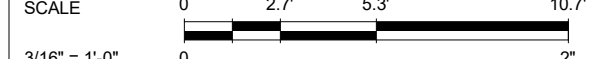
TY HARRISON
ARCHITECTURE

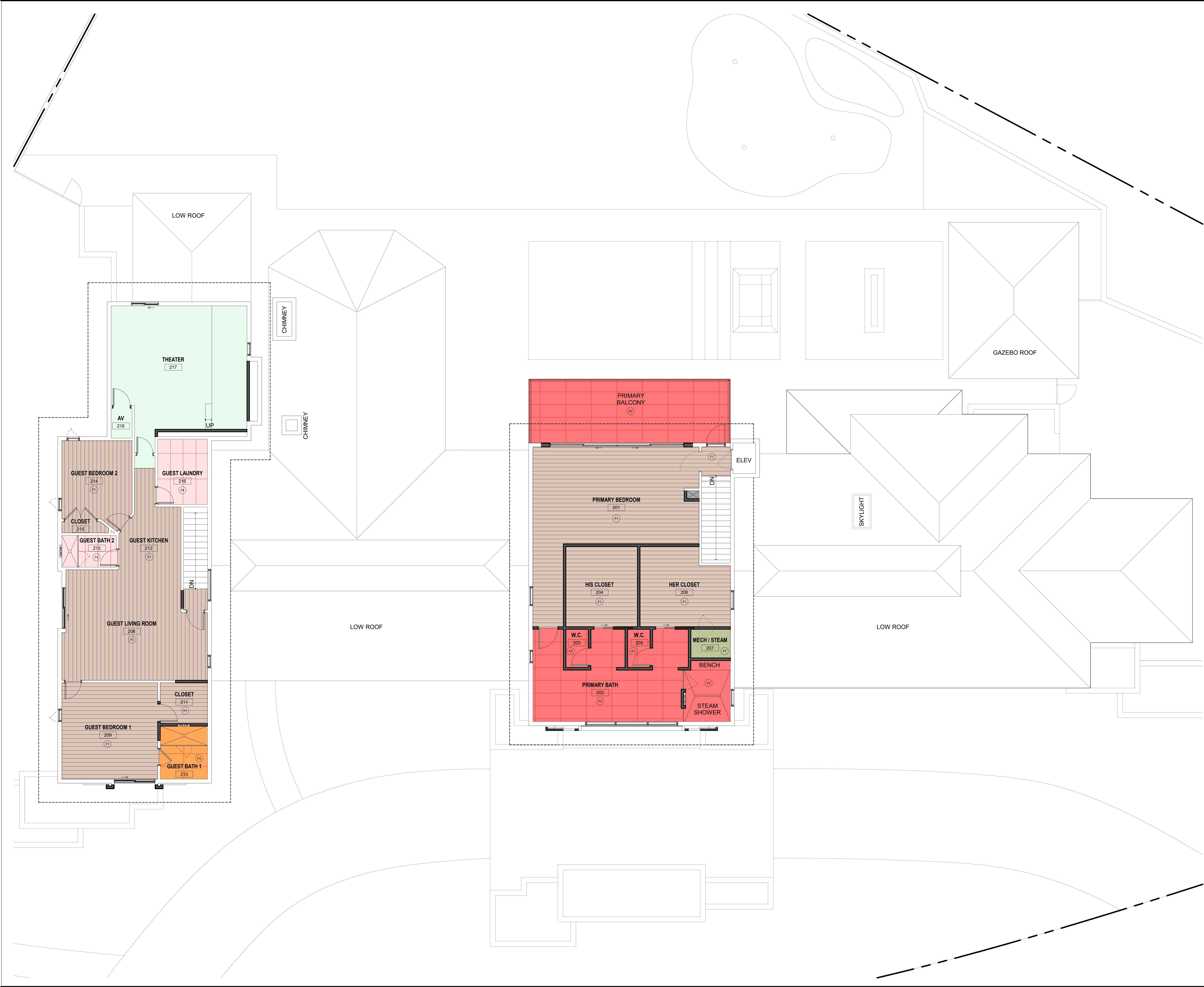
TY HARRISON, ARCHITECT
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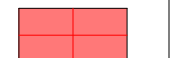
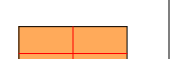
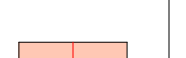
GAINEY RANCH REMODEL
7780 E VAQUERO DR
SCOTTSDALE, AZ 85258

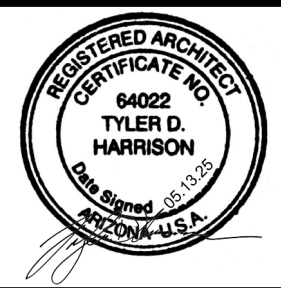
ISSUE / REVISION	DATE	NUMBER
SUBMIT PLAN CHECK	05.13.25	v1
CLIENT UPDATES	06.06.25	v1
ADD IT - PLAN & ELEVATION UPDATES	06.13.25	v1
ADD IT - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2

DRAWN BY / CHECKED BY	TDH
PROJECT NUMBER	SC177780
SCALE	3/16" = 1'-0"





LEGEND: FLOOR FINISHES		
	F1	CALIFORNIA CLASSICS - LOUVRE HARDWOOD COLOR: OILCROWN SIZE: 3/4" x 9 1/2" x 1/2" PATTERN: RANDOM
	F2	ERGON - STONETALK - WHITE MINIMAL COLOR: WHITE SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F3	ERGON - STONETALK - GREY MARTELLATA COLOR: GREY SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F4	ERGON - STONETALK - SAND MARTELLATA COLOR: SAND SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F5	ERGON - STONETALK - DARK MARTELLATA COLOR: DARK SIZE: 23.62" x 47.25" x 1/4" PATTERN: STRAIGHT STACK GROUT:
	F6	ANDERSON TURTEK - ONE MORE HOUR COLOR: ENCHANTED EYE 0048
	F7	CONCRETE SLAB - UNFINISHED
	F8	CONCRETE WITH EPOXY PAINT FINISH - COLOR TO MATCH MOTOR COURT CONCRETE PAVING



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ISSUE / REVISION	DATE	NUMBER
SUBMIT PLAN CHECK	05.13.25	v1
CLIENT UPDATES	06.06.25	v1
ADD IT - PLAN & ELEVATION UPDATES	06.13.25	v1
ADD IT - FINISHES & INTERIOR DESIGN UPDATES	06.19.25	v2

DRAWN BY / CHECKED BY	TDH
PROJECT NUMBER	SC17780
SCALE	0 2' 4' 8' 10' 12'