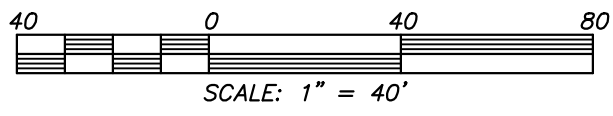


- NOTES:
- 1) Area determined by Coordinate Computation Method.
 - 2) Property subject to any facts that may be disclosed by a full and accurate title search.
 - 3) Property may be subject to any Easements and Right of Ways of record and those not of record if they exist.
 - 4) A portion of Subject Property is located in a Special Flood Hazard Area (Zone AE) as designated by the FEMA FLOOD INSURANCE RATE MAPS. See Map Number 3710462700K - Effective Date 3/18/2008.
 - 5) Subject Property Zoned RR.

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C4	28°51'57"	82.71'	164.17'	S29°03'13"E	81.84'
C5	19°06'27"	98.74'	296.08'	S39°09'40"W	98.28'
C6	30°03'35"	113.44'	216.22'	S14°34'38"W	112.14'



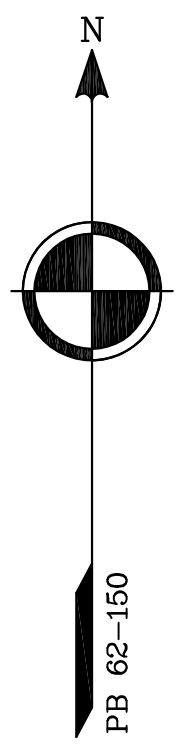
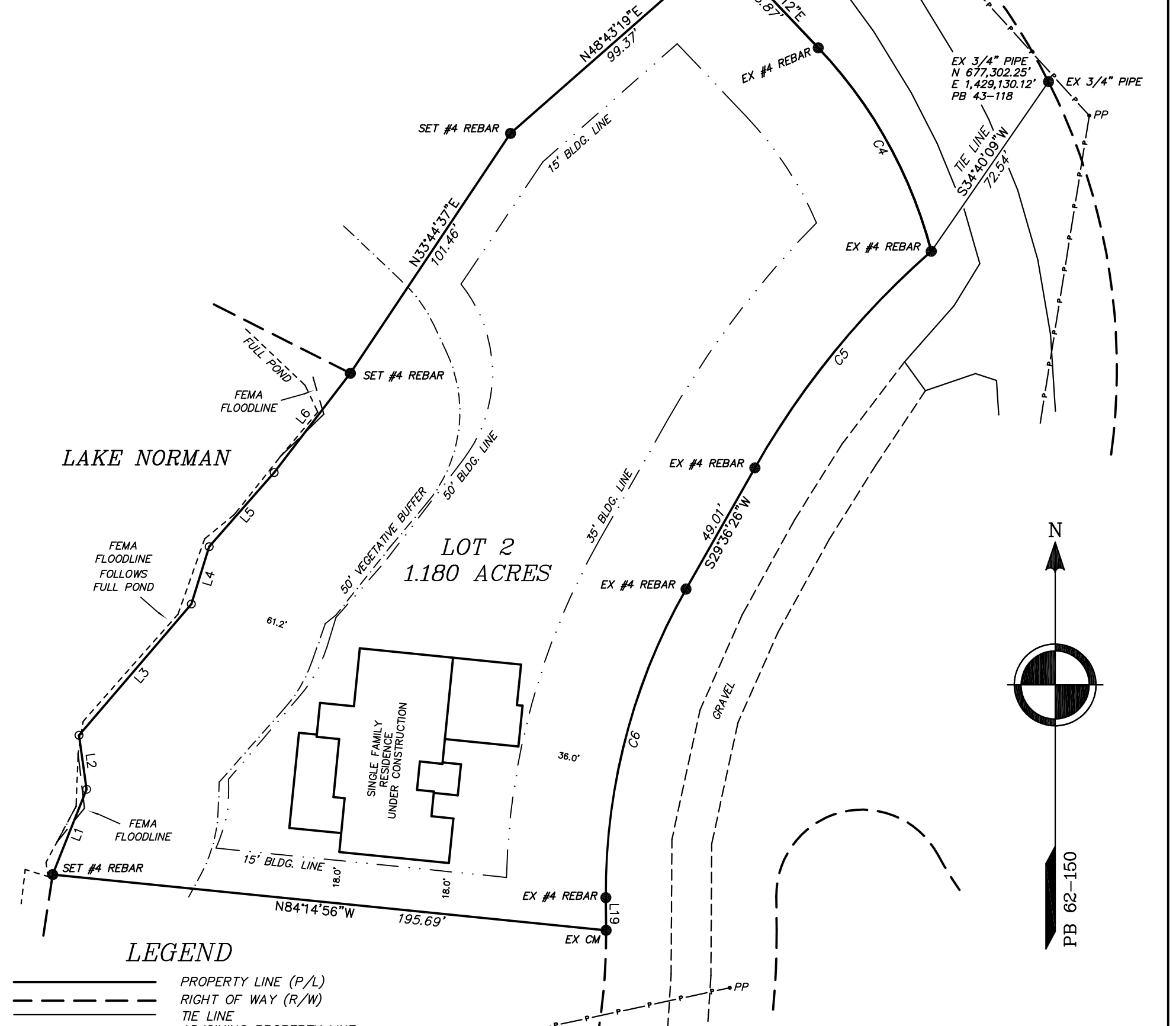
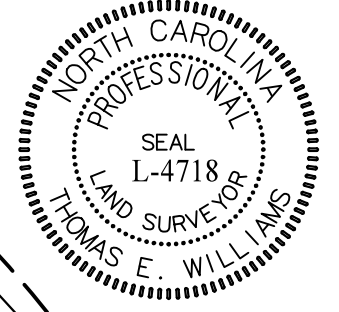
LINE TABLE

NUM	BEARING	DISTANCE
L1	N21°40'53"E	32.30'
L2	N8°02'46"W	19.17'
L3	N40°35'05"E	60.78'
L4	N17°12'55"E	21.12'
L5	N41°14'19"E	34.68'
L6	N37°31'45"E	44.01'
L19	S0°27'09"E	11.49'

I, Thomas E. Williams, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 2474, Page 769, or other reference source AS NOTED); that the boundaries not surveyed are shown as broken lines drawn from information found in adjoining deeds and plats as noted; that the ratio of precision is 1 : 10,000+; and that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina according to North Carolina Administrative Code Title 21, Chapter 56, Section 1600. This survey is of an existing parcel or parcels of land and does not create a new street or change an existing street.

This 21st day of April, 2017.

Thomas E. Williams
Thomas E. Williams, NCPLS 4718



LEGEND

- PROPERTY LINE (P/L)
- - - RIGHT OF WAY (R/W)
- - - TIE LINE
- - - ADJOINING PROPERTY LINE FROM DEED OR PLAT
- - - MINIMUM BUILDING SETBACK
- - - 50' VEGETATIVE BUFFER
- - - FULL POND
- - - 100 YEAR FLOODLINE
- P - P - POWER LINE
- - - GRAVEL
- EX EXISTING
- CM CONCRETE MONUMENT
- PP POWER POLE

Boundary and Physical Survey
106 Norcross Lane
DIVISION OF SECTION 10 LOT 1146
CRESENT LAND AND TIMBER CORP.
LOT 2

Williams Land Surveying, Inc.
License Number C-3638
274 Baymount Drive, Statesville, NC 28625
phone (704) 876-3996 ~ email: runningonfaith@bellsouth.net
file: 17\CLT1146

Davidson Township, Iredell County, NC
PIN 4627-87-9146 ~ DB 2474-769 ~ PB 62-150
Property of: Raymond & Heath May