

TREE TABLE			
NO.	DESCRIPTION	NORTHING	EASTING
296	27" LIVE OAK	10087982.0	3085332.4
297	14" LIVE OAK	10087976.1	3085332.7
298	12" TEXAS RED OAK	10087942.7	3085323.7
299	18" MULTI LUGUS	10087926.4	3085318.0
300	DBL 24" LIVE OAK	10087926.2	3085300.0
301	14" DBL LIVE OAK	10087938.1	3085244.6
302	11" LIVE OAK	10087933.1	3085270.8
303	10" LIVE OAK	10087934.4	3085310.4
304	10" CEDAR	10087939.0	3085310.9
305	10" LIVE OAK	10087935.4	3085317.9
306	13" TEXAS RED OAK	10087934.1	3085369.9
307	10" TEXAS RED OAK	10087941.6	3085399.3
308	15" CEDAR ELM	10087983.2	3085333.8
309	DBL 15" CEDAR ELM	10087998.8	3085372.9
310	14" TEXAS RED OAK	10088004.6	3085394.8
311	21" TEXAS RED OAK	10088034.8	3085396.8
312	15" HACKBERRY	10088044.8	3085402.2
313	14" CEDAR ELM	10088040.5	3085420.5
314	8" HACKBERRY	10087996.6	3085439.9
315	12" TEXAS RED OAK	10087996.9	3085439.9
316	20" LIVE OAK	10087993.6	3085419.9
317	35" LIVE OAK	10087872.9	3085412.2
318	DBL 14" TEXAS RED OAK	10087867.9	3085367.9
319	19" LIVE OAK	10087839.4	3085375.7
320	11" HACKBERRY	10087823.4	3085375.0
321	11" HACKBERRY	10087822.8	3085402.5
322	16" HACKBERRY DBL	10087820.9	3085410.3
323	DBL 14" TEXAS RED OAK	10087821.4	3085431.9
324	11" TEXAS RED OAK DBL	10087822.1	3085427.9
325	DBL 18" TEXAS RED OAK	10087804.8	3085404.3
326	10" CEDAR	10087827.4	3085445.3
327	10" CEDAR	10087823.3	3085444.0
328	13" CEDAR	10087819.4	3085453.9
329	8" HACKBERRY	10087813.7	3085477.4
330	7" LIVE OAK	10087828.7	3085492.0
331	7" LIVE OAK	10087854.8	3085488.9
332	7" LIVE OAK	10087858.9	3085484.4
333	11" HACKBERRY	10087866.0	3085492.7
334	9" HACKBERRY	10087870.6	3085486.2
335	10" HACKBERRY	10087873.5	3085502.6

TREE TABLE			
NO.	DESCRIPTION	NORTHING	EASTING
411	16" CEDAR	10087883.8	3085507.7
412	15" DBL LIVE OAK	10087882.0	3085512.0
413	13" CEDAR	10087883.4	3085541.9
414	8" CEDAR	10087889.8	3085528.4
415	13" CEDAR	10087874.2	3085540.0
416	MULTI CEDAR 20"	10087875.6	3085560.2
417	9" LIVE OAK	10087913.0	3085561.5
418	11" CEDAR	10087924.6	3085550.9
419	11" CEDAR	10087911.7	3085543.2
420	7" CEDAR	10087915.2	3085533.0
421	12" CEDAR	10087939.6	3085536.1
422	11" CEDAR	10087945.9	3085535.7
423	7" LIVE OAK	10087943.4	3085529.1
424	10" CEDAR	10087934.0	3085518.2
425	6" CEDAR	10087933.9	3085513.2
426	15" LIVE OAK	10087932.7	3085506.7
427	13" LIVE OAK	10087945.8	3085506.7
428	7" LIVE OAK	10087954.7	3085510.7
429	12" CEDAR	10087976.2	3085501.7
430	10" LIVE OAK	10087975.8	3085495.4
431	9" HACKBERRY	10087983.9	3085473.2
432	12" HACKBERRY	10088004.4	3085470.9
433	9" LIVE OAK	10087974.7	3085459.6
434	10" LIVE OAK	10087979.3	3085474.0

TREES TAGGED AND NUMBERED TO THE BEST OF OUR KNOWLEDGE BY SURVEY PERSONNEL. ARBORIST SHOULD BE CONTACTED FOR VERIFICATION. 8" AND ABOVE HARDWOODS LOCATED.

TO BE REMOVED

TO BE REMOVED

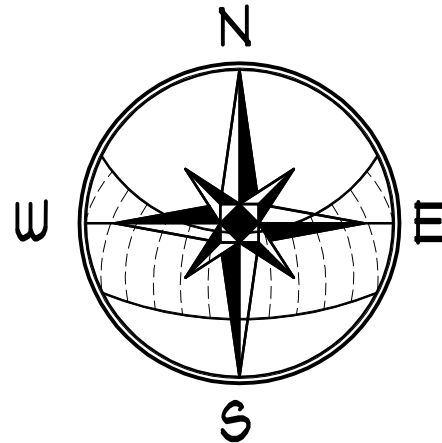
- LEGEND
- IRON PIPE FOUND
 - IRON ROD FOUND
 - IRON ROD SET
 - CAPPED "RPLS 5687"
 - "X" IN CONCRETE
 - PK FOUND
 - CALCULATED POINT
 - CONCRETE MONUMENT
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - CLEANOUT
 - GAS VALVE
 - POWER POLE
 - OVERHEAD ELECTRIC LINE
 - DOW GUY
 - ELECTRIC METER
 - LIGHT POLE
 - WOOD FENCE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - METAL FENCE
 - GAS METER
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - ELECTRIC GROUND
 - CONTROL POINT
 - UNDERGROUND UTILITY MARKER SIGN
 - UNDERGROUND UTILITY TEST STATION
 - SIGN POST
 - ELECTRIC TRANSFORMER
 - TRAFFIC SIGNAL BOX
 - P.U.E. PUBLIC UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - B.L. BUILDING LINE
 - RECORD CALL
 - CONTIGUOUS OWNERSHIP
 - SEPTIC LID
 - TREE

GENERAL SITE NOTES:

- BUILDER TO RESCULPTURE TOPO/FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.
- EXPPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE SIDE PROPERTY LINES.
- UTILITY LINE LOCATIONS ARE APPROXIMATES- GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

IMPERVIOUS COVER CALCS	
RESIDENCE	10,628'
DETACHED CASITA	1,402'
DRIVEWAYS	4,412'
IMPERVIOUS:	16,449' / 36.17%
PERVIOUS:	29,024' / 63.82%
TOTAL	45,473' / 100%

LEGAL DESCRIPTION:
39 PASCAL LANE
LOT 16, BLOCK G
ROB ROY PHASE 2
AUSTIN, TX 78746
TRAVIS COUNTY



SITE PLAN

SCALE: 1:20

REVISIONS	

DATE	02.19.2025
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DRAWN	WW
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CHECKED	XX
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WILL WASHER: ARCHITECT

801 SINGLE OAK COVE, AUSTIN, TX 78746
512.680.9576

A Custom Spec Residence for
DON & ROBIN MCINTYRE

39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.:	39 PASCAL
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NAME:	SITE PLAN
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SCALE:	1:20
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SHEET

A1

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GENERAL PROJECT NOTES

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512)458-1363.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAWN BY A REGISTERED ARCHITECT.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- WHEN THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS, MATERIALS OR SYSTEMS, CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS, MATERIALS, AND SYSTEMS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, SYSTEMS AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. IF CONFLICTS ARISE BETWEEN ARCHITECTURAL PLANS OR SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS CONTRACTOR IS TO CONTACT ARCHITECT PRIOR TO PURCHASE AND OR INSTALLATION OF MATERIALS FOR DIRECTION.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP

- PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
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- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.

- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
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- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
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WILL WASHER: ARCHITECT

801 SINGLE OAK COVE, AUSTIN, TX 78746

(512)680-9576

A Custom Spec Residence for
DON & ROBIN MCINTYRE

39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.: 39 PASCAL LN.

NAME: MAIN FLR. NOTES PLAN

SCALE: 3/16"=1'-0"

SHEET

A2

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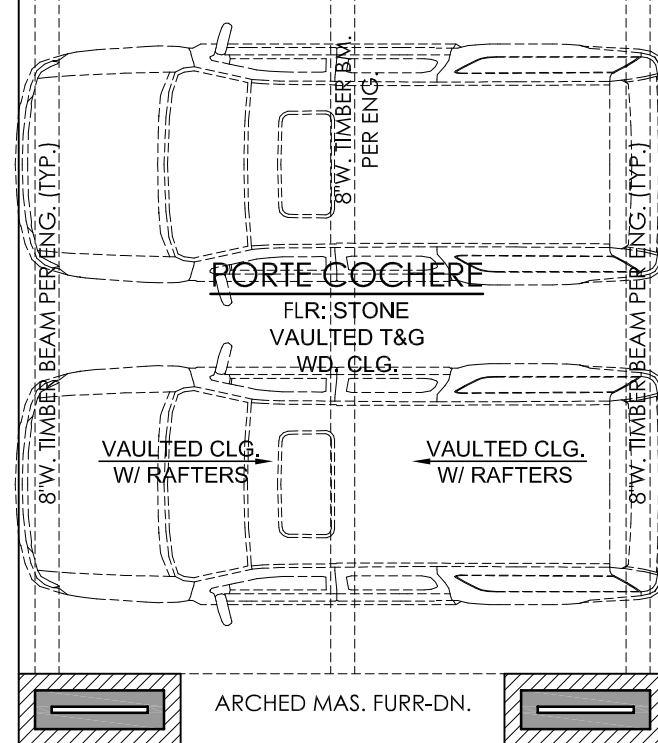
JAMES WASHER

LOWER HEATED	6,292'
UPPER HEATED	2,212'
TOTAL HEATED	8,504'
GARAGE	1,395'
COV'D ENTRY	134'
PORT COCHERE	377'
COV'D TERRACE	523'
COV'D VERANDA	251'
COV'D VERANDA STAIRCASE	166'
COV'D OUTDR. LIVING/DINING/KITCHEN	1,039'
UPPER MASONRY	133'
LOWER MASONRY	84'
TOTAL UNHEATED AREA	4,102'
TOTAL COVERED AREA	12,606'
TOTAL IMPERVIOUS	10,101'

MAIN FLOOR NOTES PLAN

SCALE 3/16" = 1'-0"

NOTE: ALL 1ST FLR. WALLS TO BE
FRAMED WITH 6" STUDS U.N.O.



DATE	07.10.2024
DRAWN	WW
CHECKED	XX

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(512)680-9576

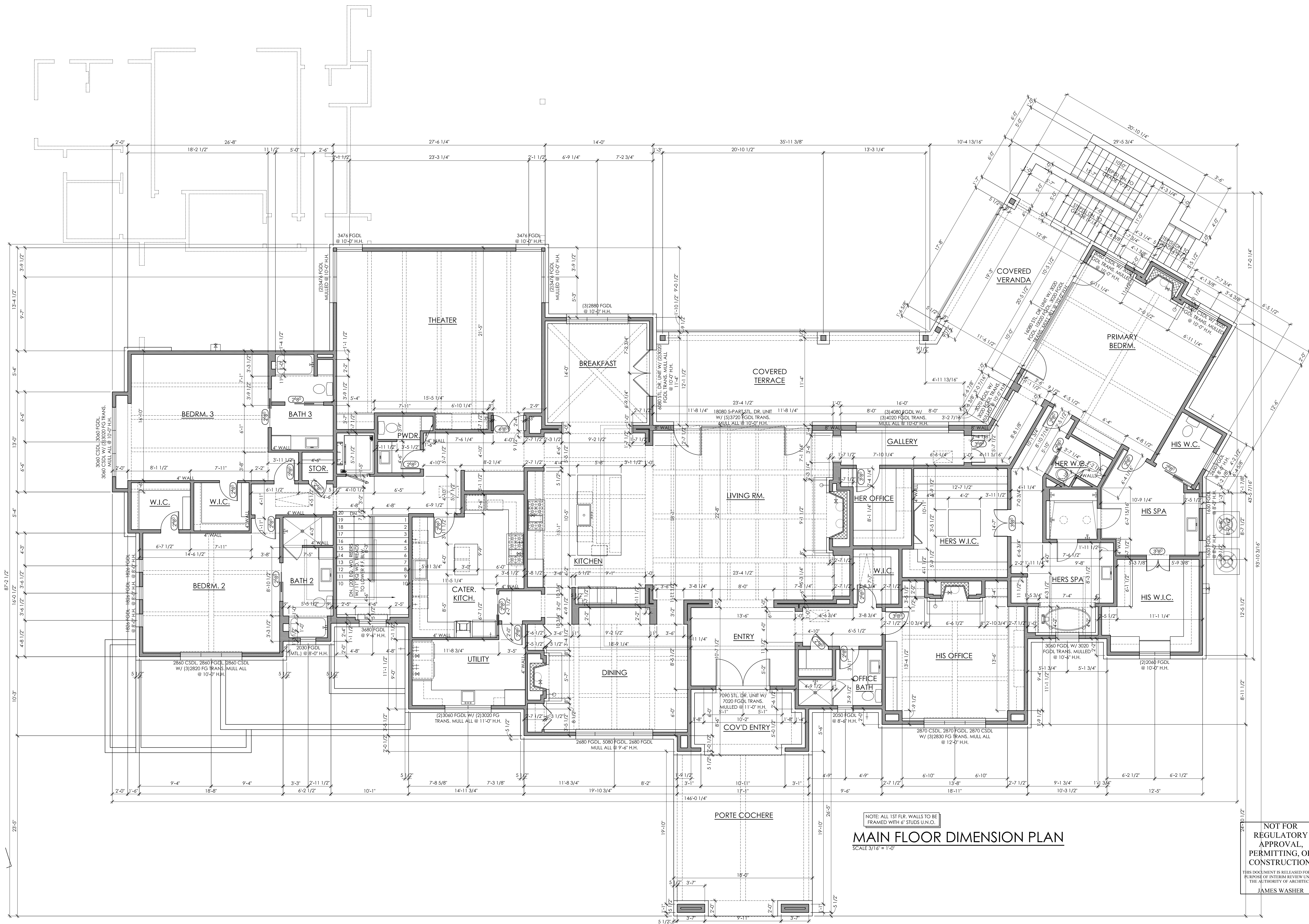
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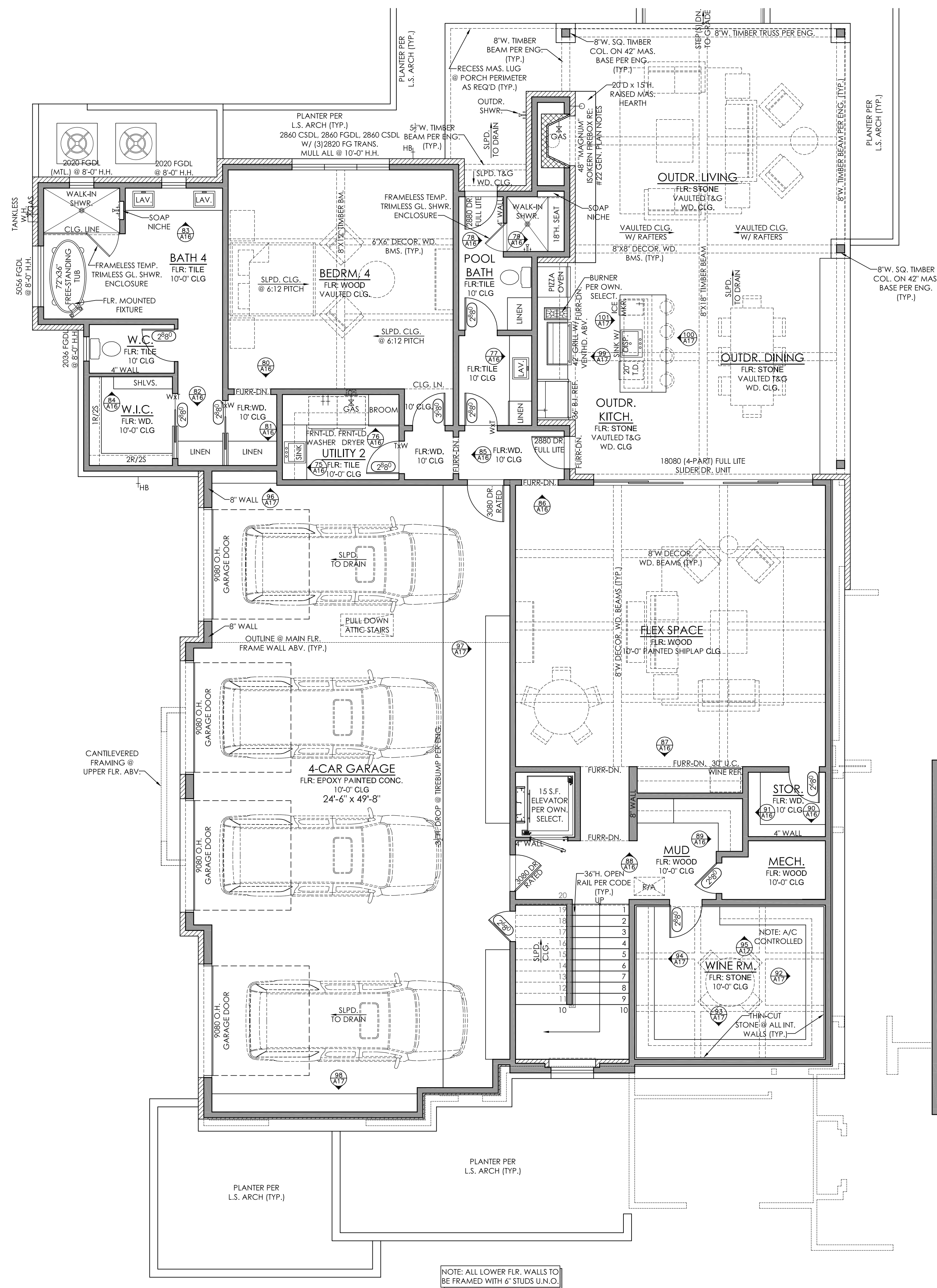
39 PASCAL LANE
AUSTIN, TX 78746

SCALE: 3/16"=1'-0"

A3

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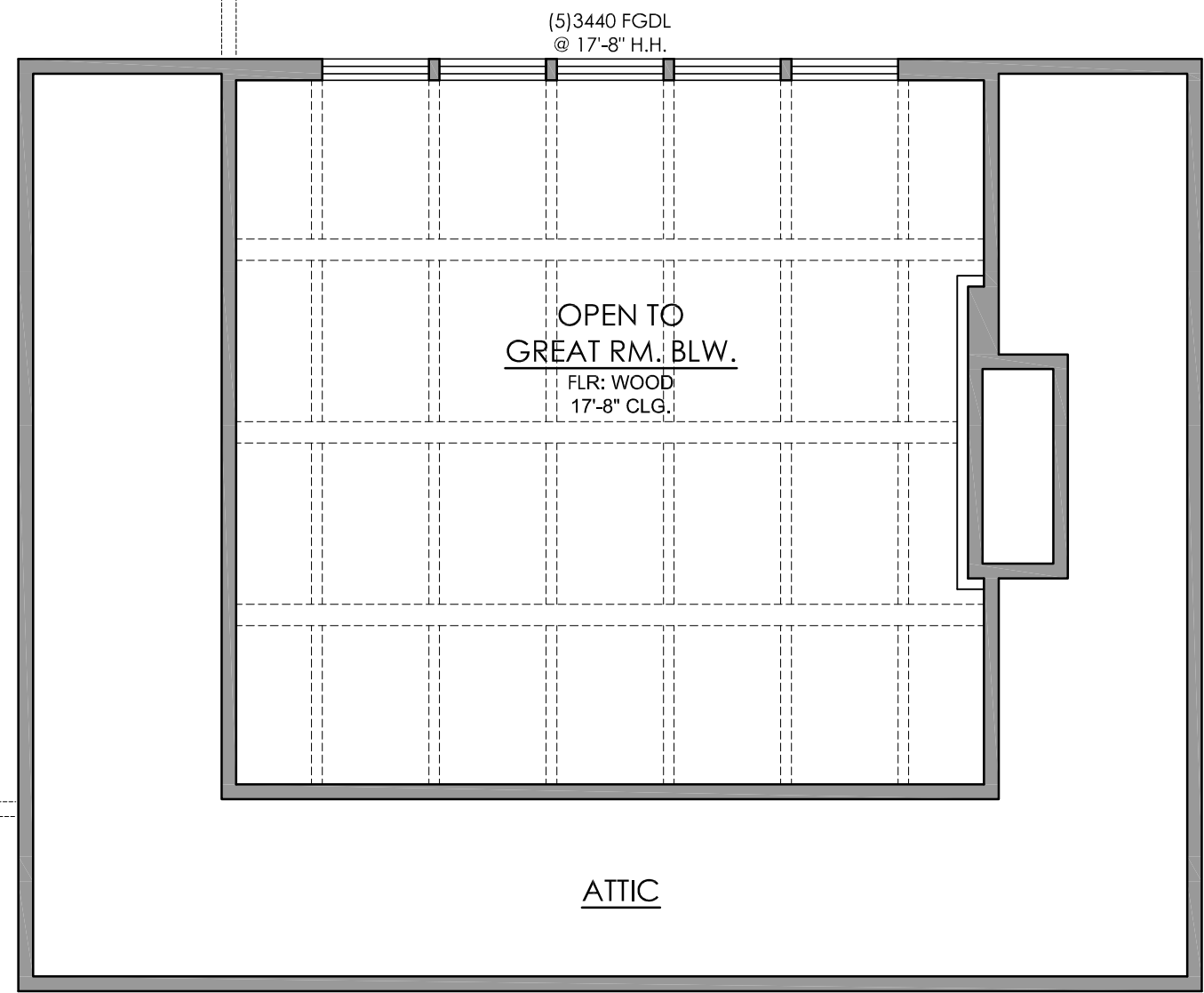




NOTE: ALL LOWER FLR. WALLS TO BE FRAMED WITH 6" STUDS U.N.O.

LOWER FLOOR NOTES PLAN

SCALE 3/16" = 1'-0"



UPPER GREAT RM. NOTES PLAN

SCALE 3/16" = 1'-0"

REVISIONS	

DATE 07.10.2024

DRAWN WW

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WILL WASHER: ARCHITECT

801 SINGLE OAK COVE: AUSTIN, TX 78746
(512) 680-9576

A Custom Spec Residence for
DON & ROBIN MCINTYRE

39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.: 39 PASCAL LN.

NAME: LOWER FLR. NOTES PLAN

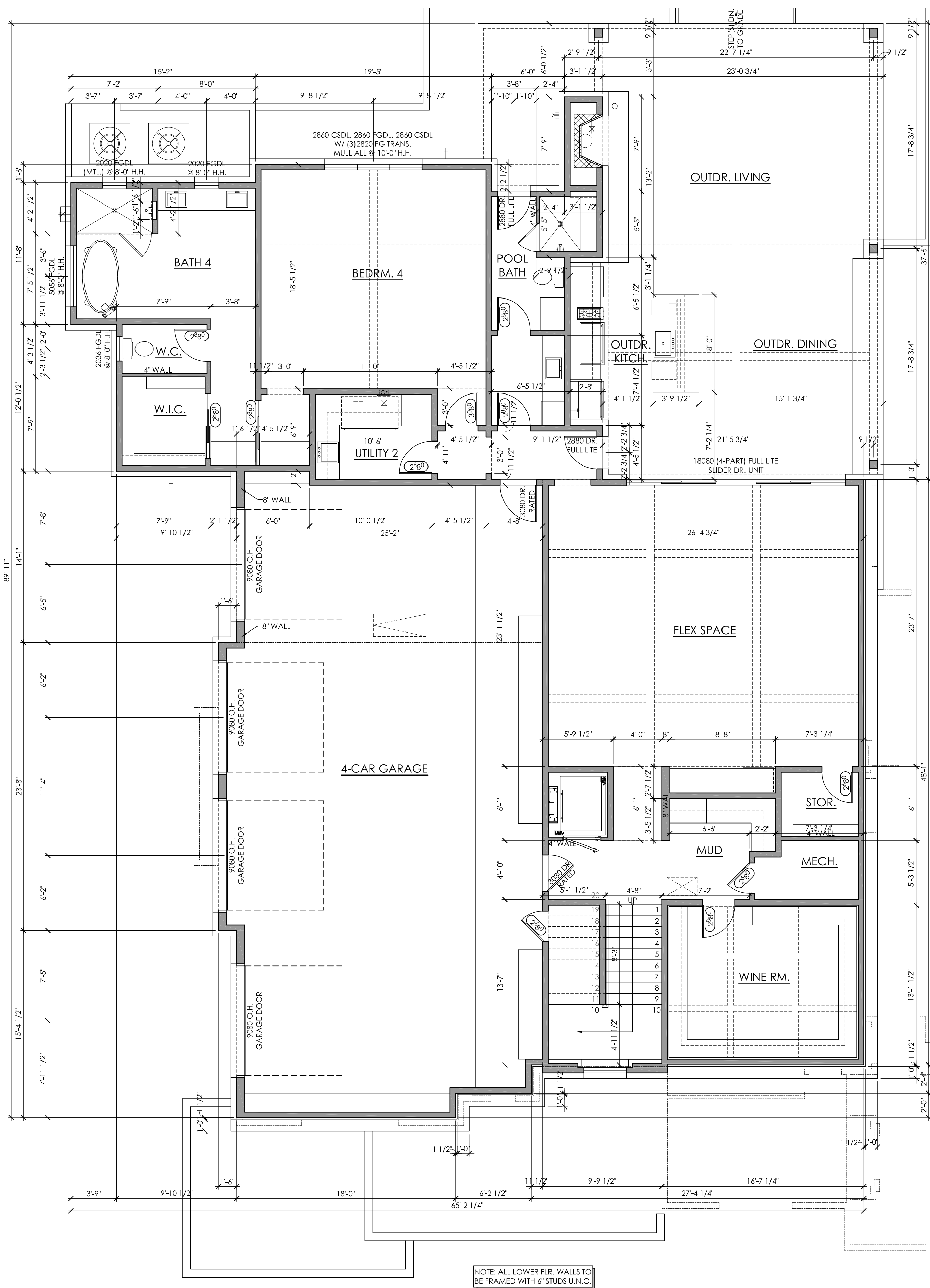
SCALE: 3/16" = 1'-0"

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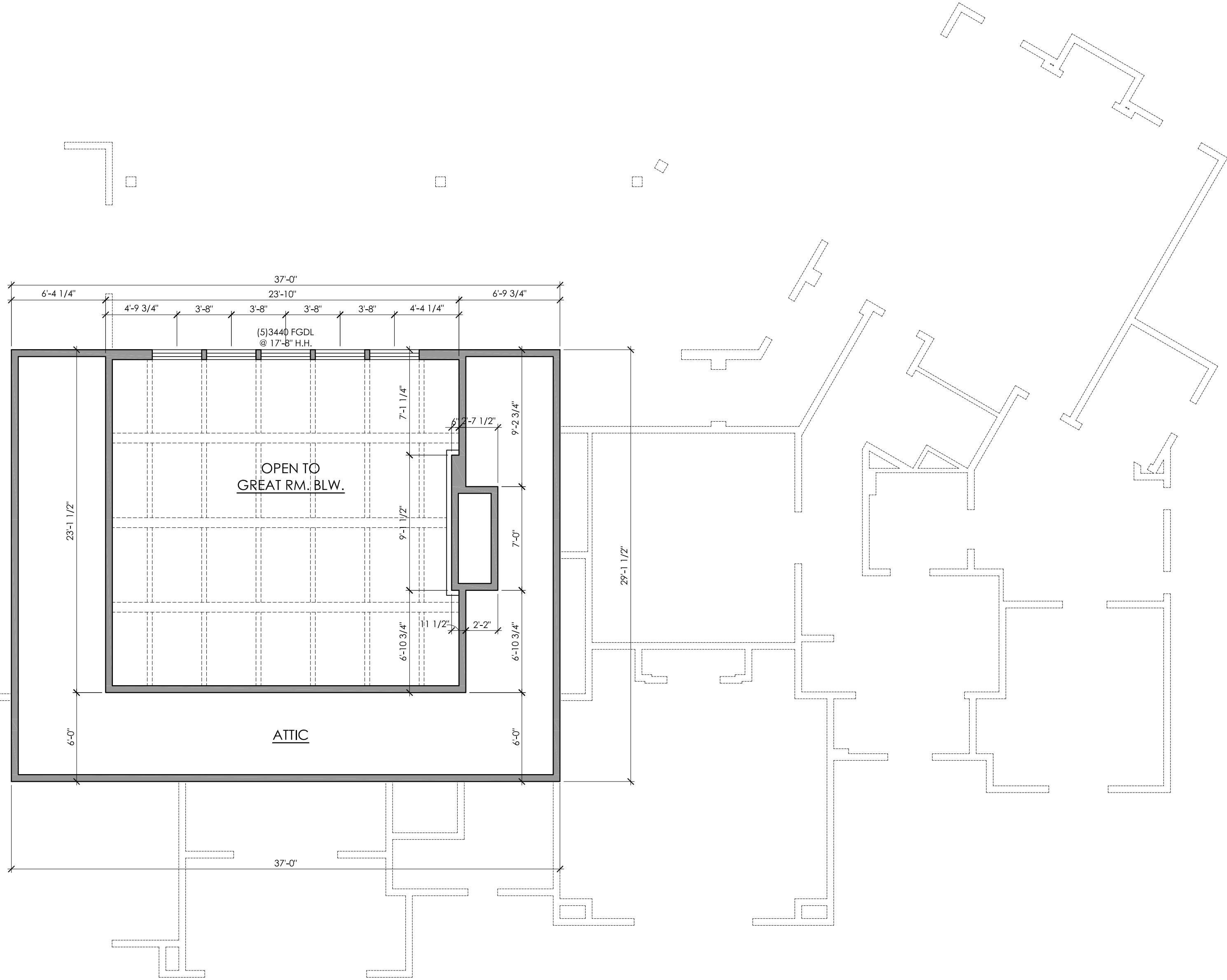
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NOTE: ALL LOWER FLR. WALLS TO BE FRAMED WITH 6" STUDS U.N.O.

LOWER FLOOR DIMENSION PLAN

SCALE 3/16" = 1'-0"



UPPER GREAT RM. DIMENSION PLAN

SCALE 3/16" = 1'-0"

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DATE	07.10.2024
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WILL WASHER: ARCHITECT

801 SINGLE OAK COVE: AUSTIN, TX 78746
(512) 680-9576

A Custom Spec Residence for
DON & ROBIN MCINTYRE

39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.:	39 PASCAL LN.
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NAME:	2ND FLR. DIM. PLAN
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SCALE:	3/16"=1'-0"
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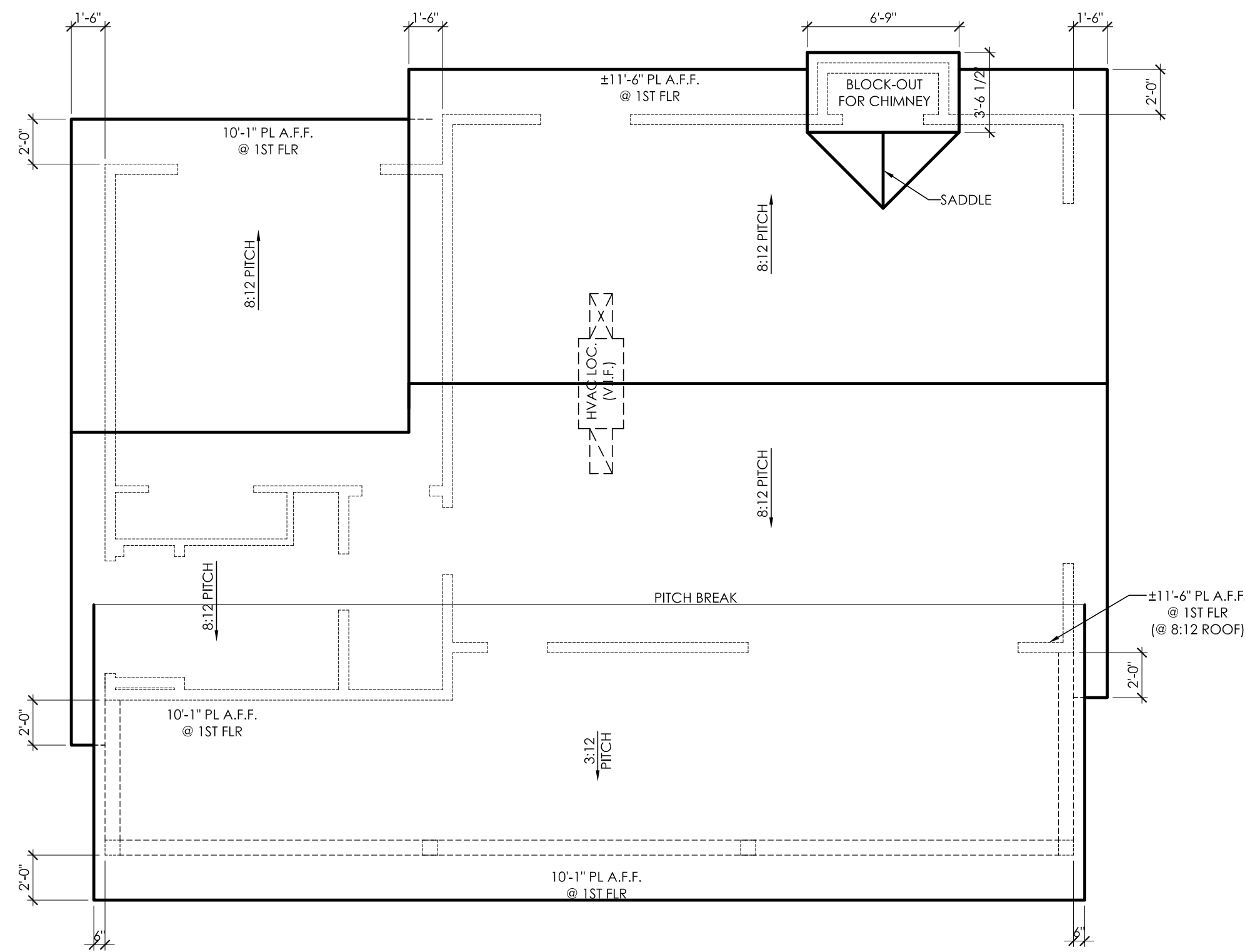
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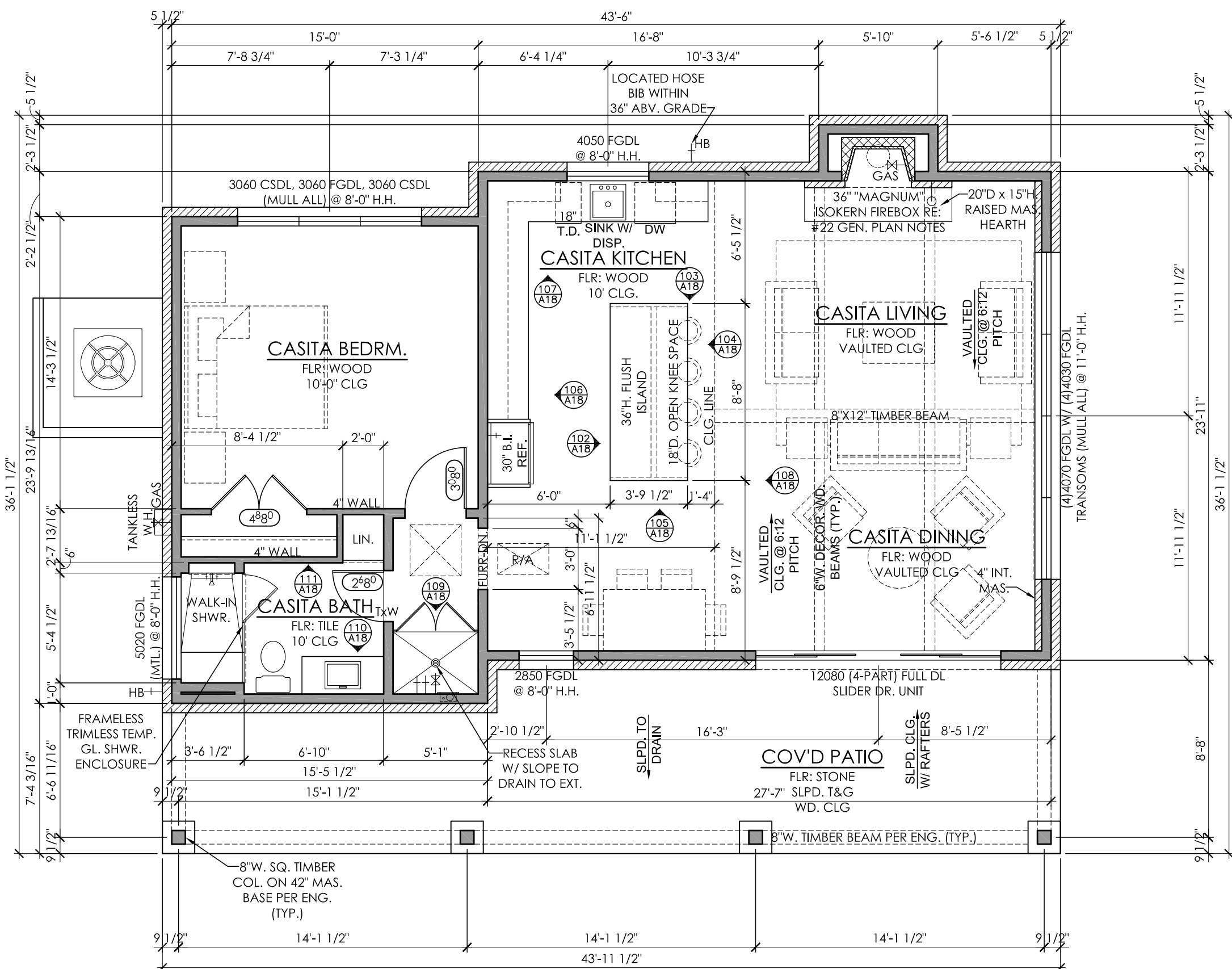
JAMES WASHER



CASITA ROOF PLAN

SCALE 3/16" = 1'-0"

NOTE: BLDG. TO PROVIDE ICE & WATER SHIELD @ ALL ROOFS 4:12 PITCH OR LESS



CASITA NOTES PLAN

SCALE 3/16" = 1'-0"

DETACHED CASITA HEATED	1,042'
DETACHED CASITA COV'D PATIO	310'
MASONRY	50'
TOTAL UNHEATED AREA	312'
TOTAL COVERED AREA	1,402'
TOTAL IMPERVIOUS	1,402'

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39 PASCAL LANE
AUSTIN, TX 78746

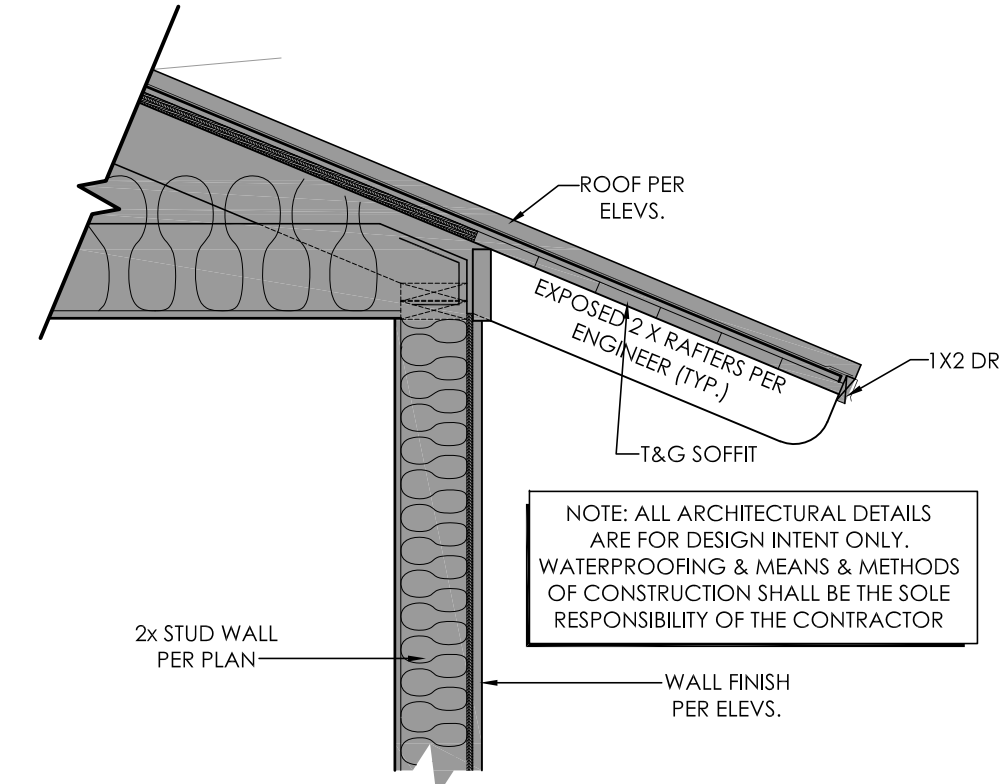
JOB NO.:	39 PASCAL LN.
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NAME:	CASITA PLANS
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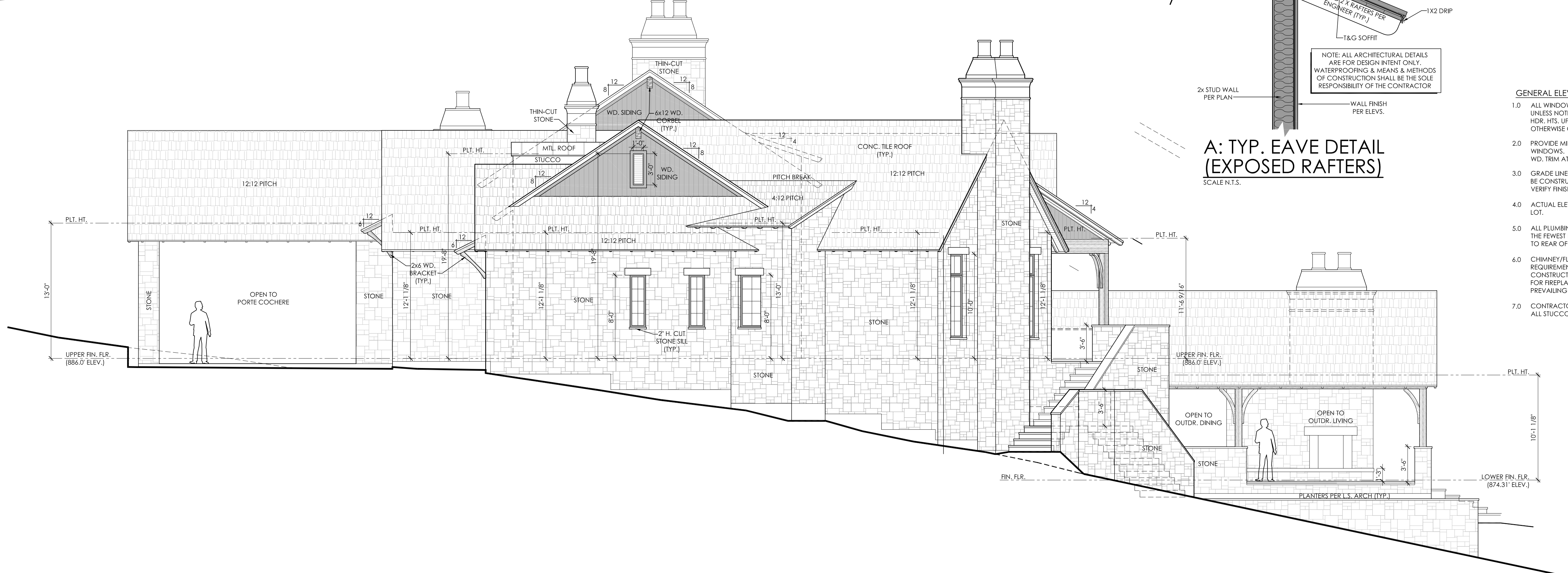
SCALE:	3/16"=1'-0"
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SHEET

A6



A: TYP. EAVE DETAIL (EXPOSED RAFTERS)
SCALE N.T.S.



RIGHT ELEVATION
SCALE 3/16" = 1'-0"

FRONT ELEVATION
SCALE 3/16" = 1'-0"

GENERAL ELEVATION NOTES

- 1.0 ALL WINDOW HDR. HTS. LOWER FLOOR TO BE 8'-0" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS. ALL WINDOW HDR. HTS. UPPER FLOOR TO BE 7'-0" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- 2.0 PROVIDE MIN. 4" W. TRIM AT ALL SIDES OF ALUMINUM WINDOWS. STUCCO TRIM AT STUCCO WALL VENEER AND 1X4 WD. TRIM AT SIDING/WOOD VENEERS.
- 3.0 GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
- 4.0 ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
- 5.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- 6.0 CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAIN FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- 7.0 CONTRACTOR TO PROVIDE RAINSCREEN AND FLASHING BEHIND ALL STUCCO / SIDING VENEERS TO ASSURE ADEQUATE DRAINAGE.

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AUSTIN, TX 78746

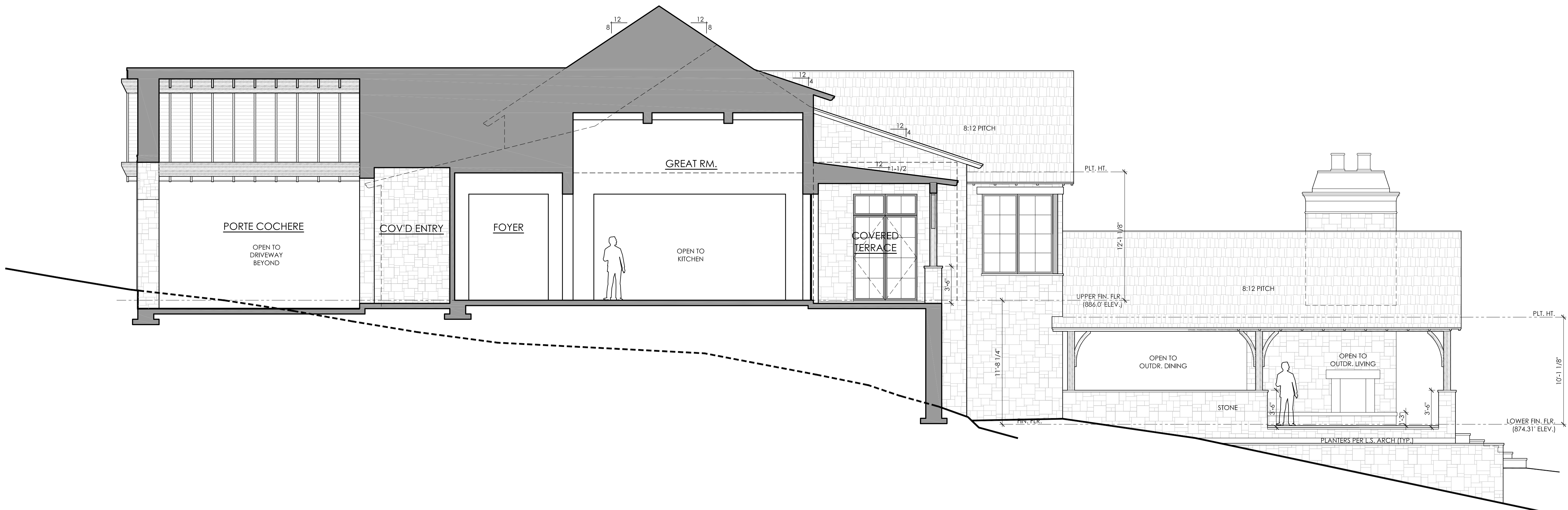
JOB NO.:	39 PASCAL LN.
NAME:	EXTERIOR ELEVATIONS
SCALE:	3/16"=1'-0"

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SHEET
A8



SECTION
SCALE 3/16" = 1'-0"



SECTION
SCALE 3/16" = 1'-0"

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39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.:	39 PASCAL LN.
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NAME:	SECTION
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SCALE:	3/16"=1'-0"
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SHEET
A8A

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REAR ELEVATION
SCALE 3/16" = 1'-0"



LEFT ELEVATION
SCALE 3/16" = 1'-0"

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JOB NO.: 39 PASCAL LN.

NAME: EXTERIOR ELEVATIONS

SCALE: 3/16"=1'-0"

SHEET

A9

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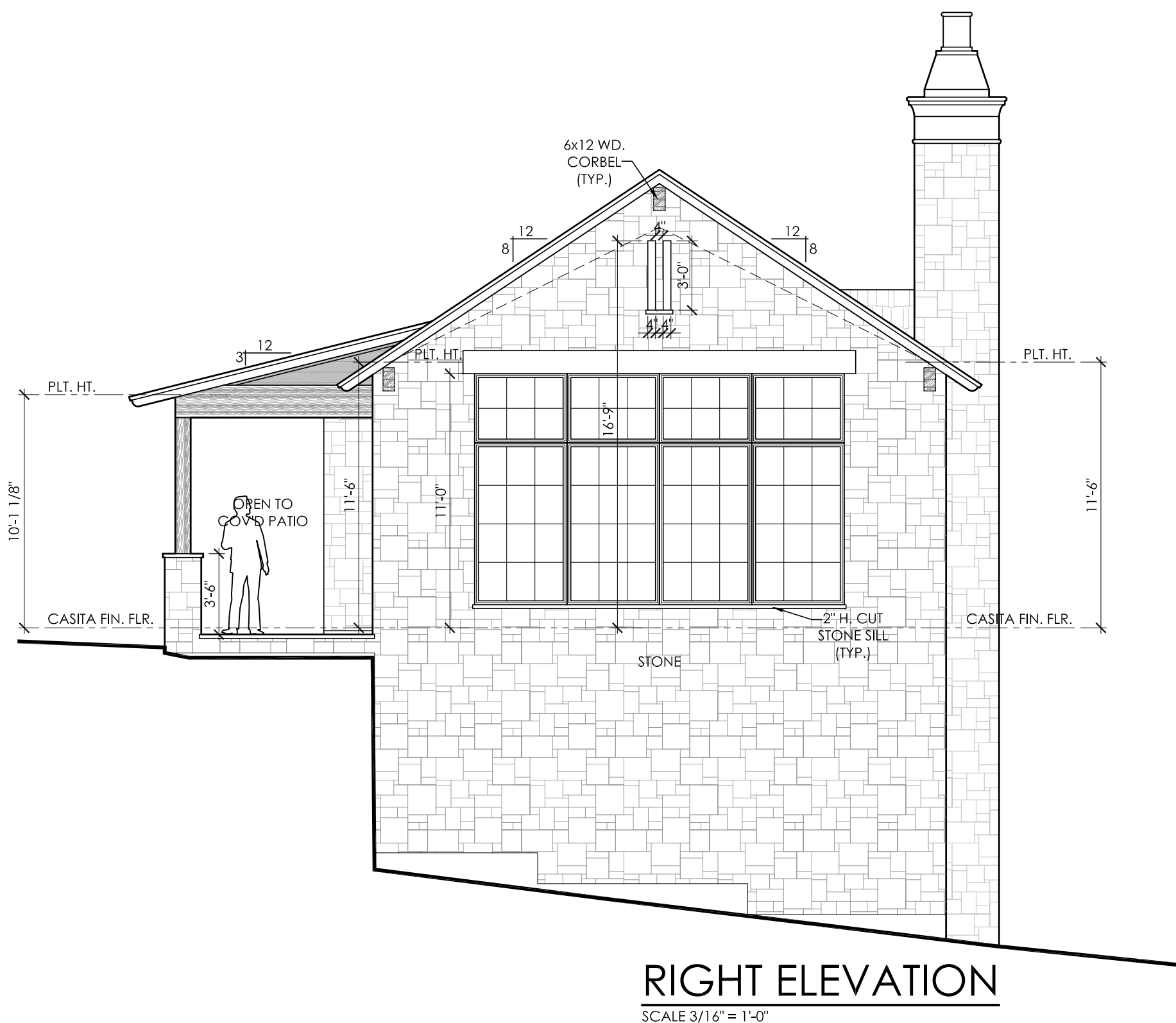
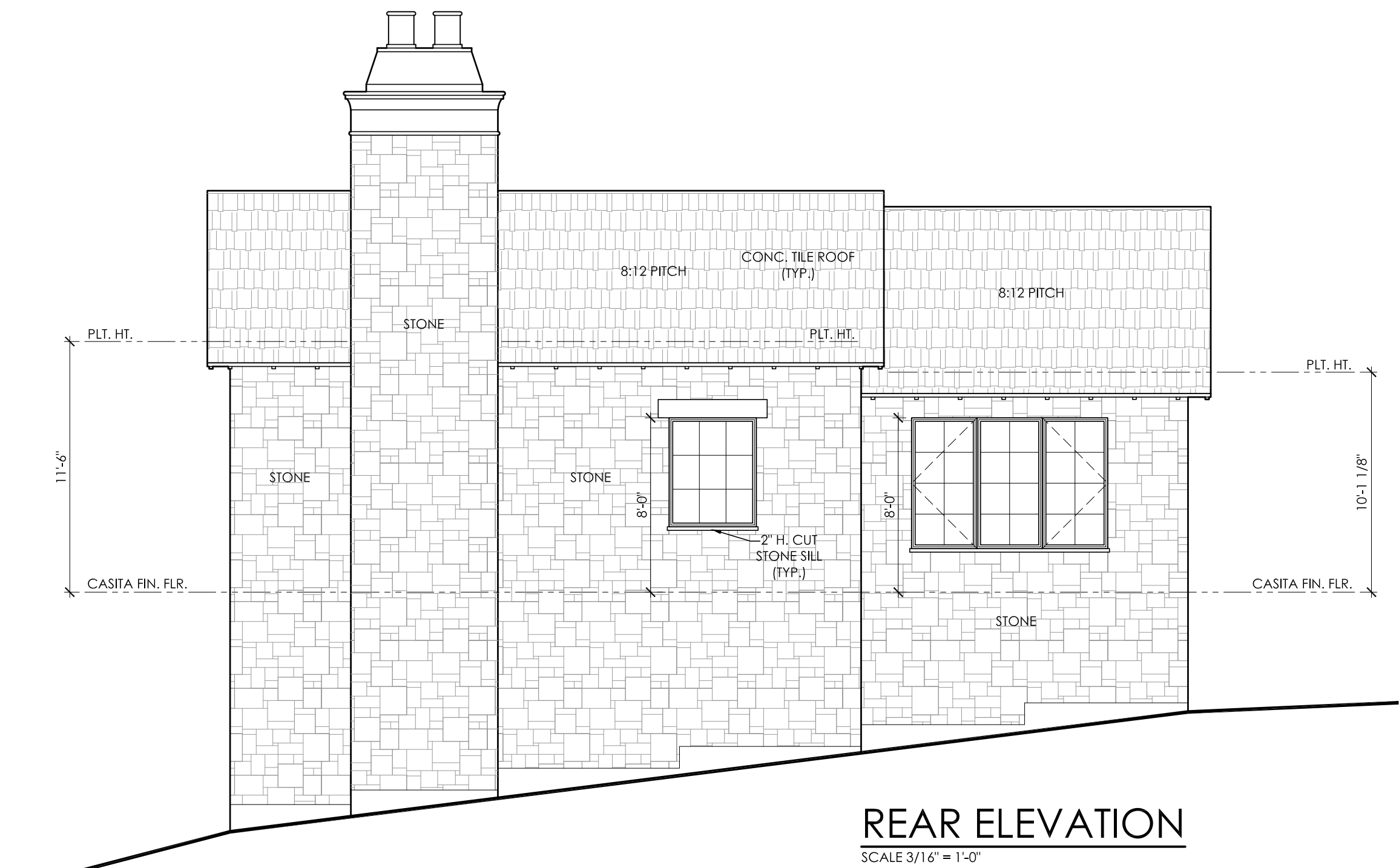
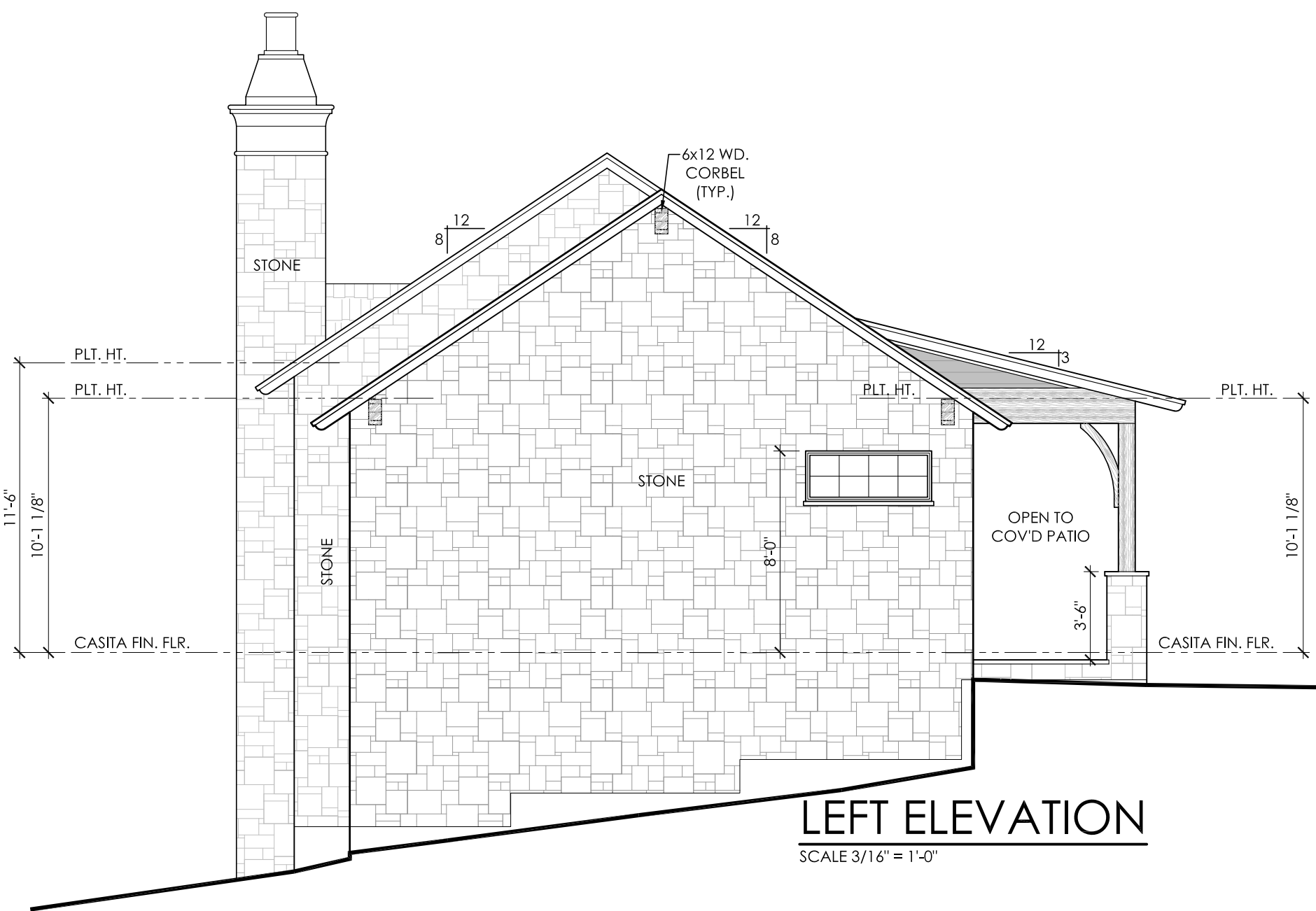
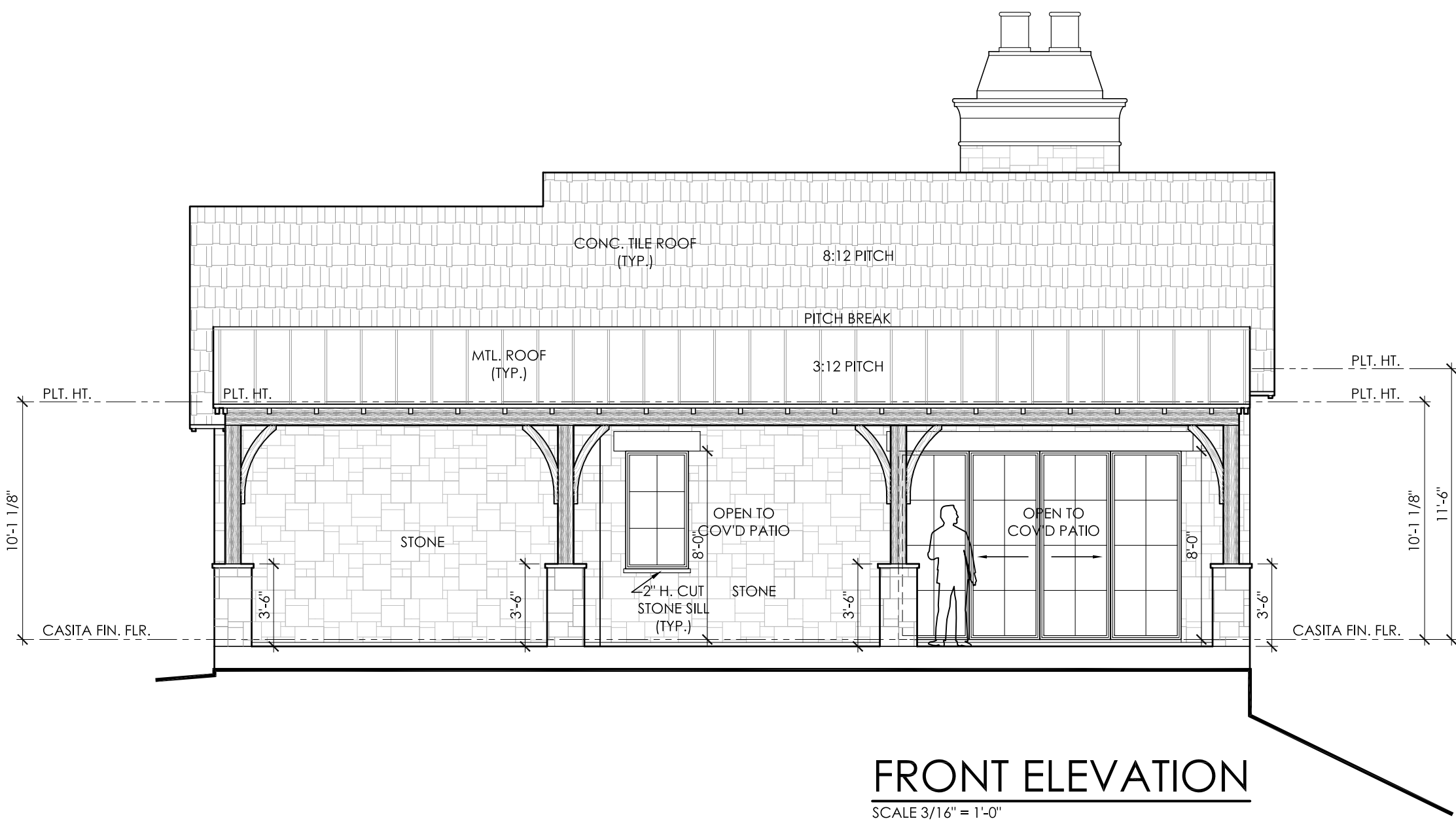
JOB NO.:	39 PASCAL LN.
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NAME:	SECTIONS
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SCALE:	3/16"=1'-0"
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SHEET
A9A



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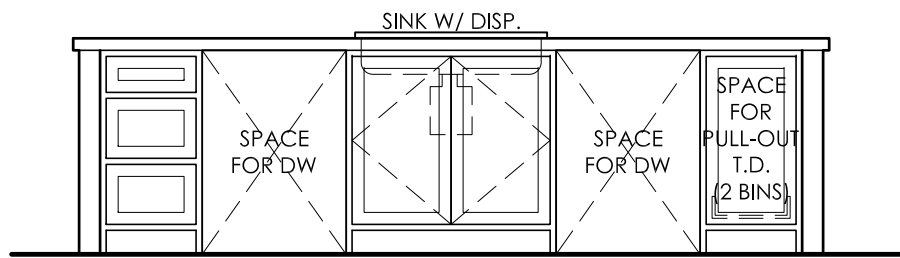
39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.:	39 PASCAL LN.
NAME:	CASITA EXT. ELEV.
SCALE:	3/16"=1'-0"

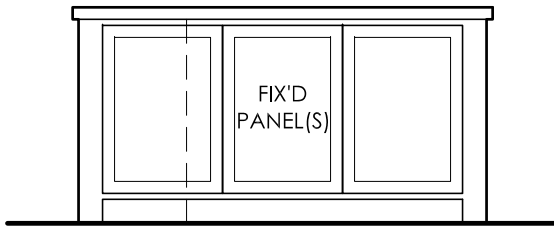
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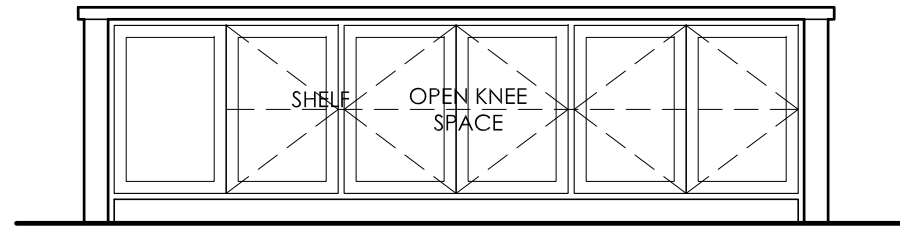
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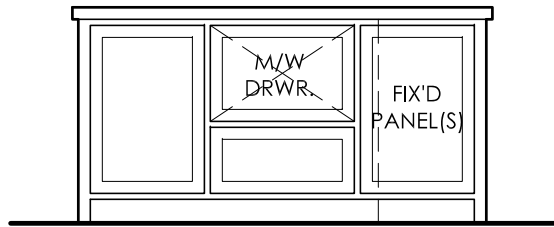
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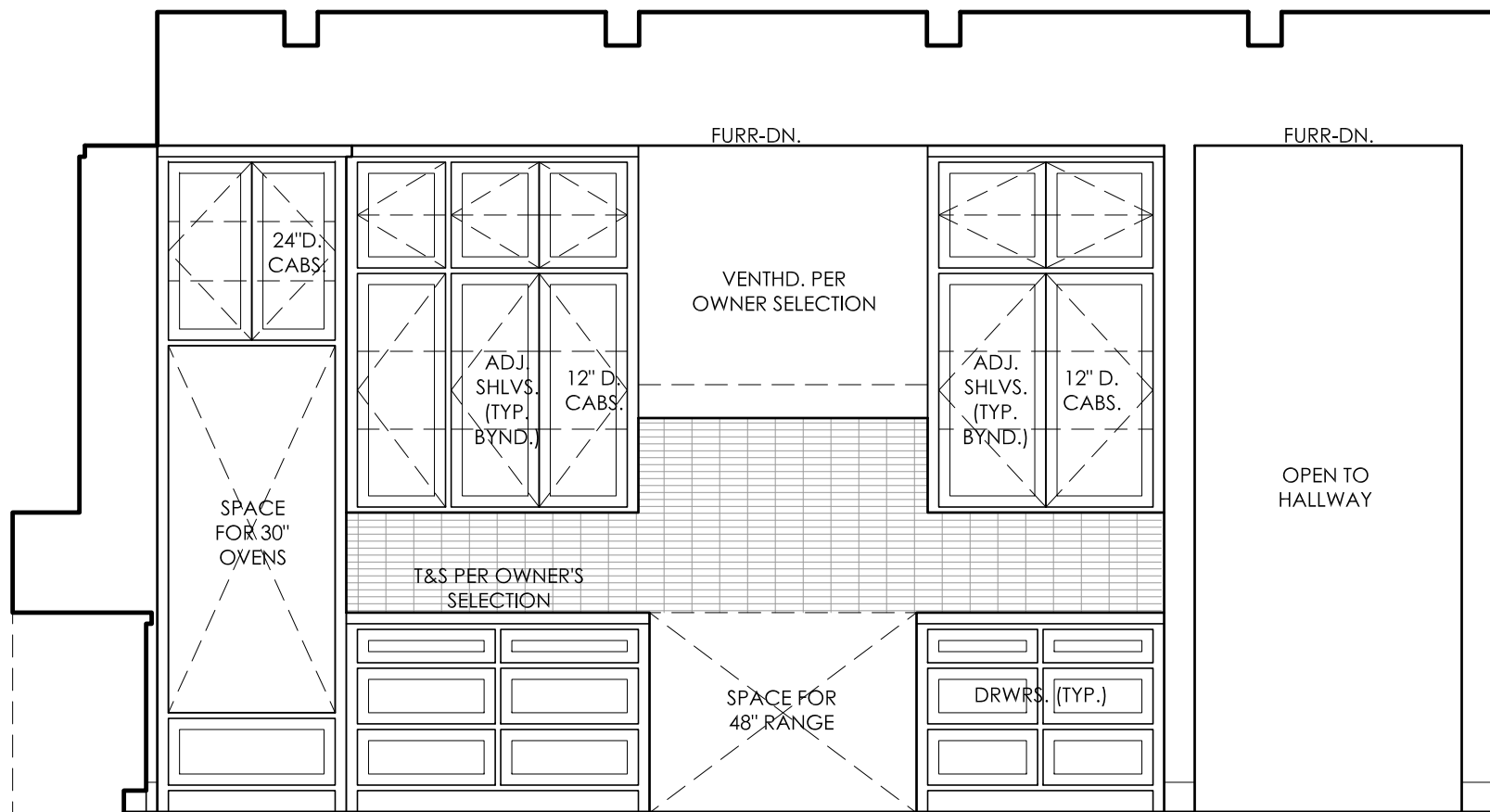
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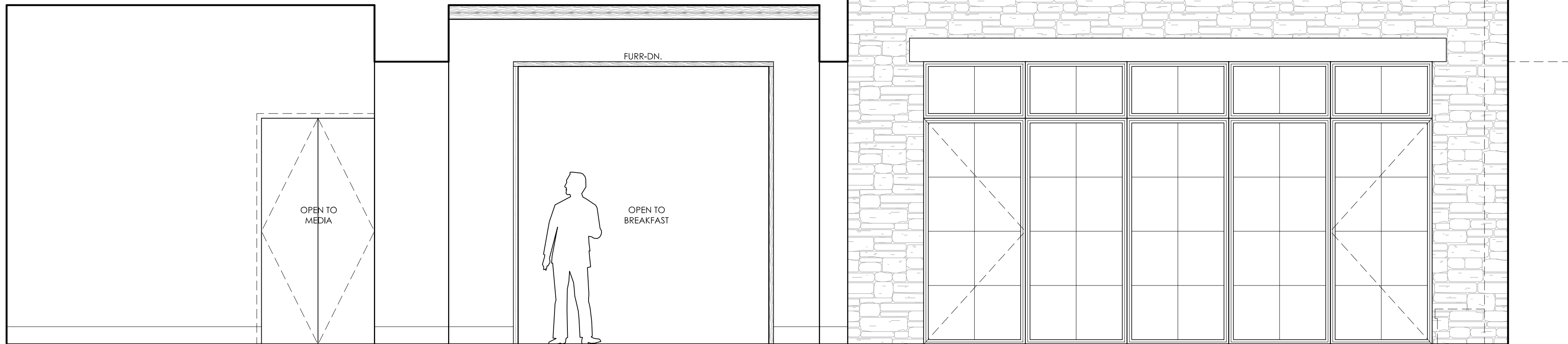
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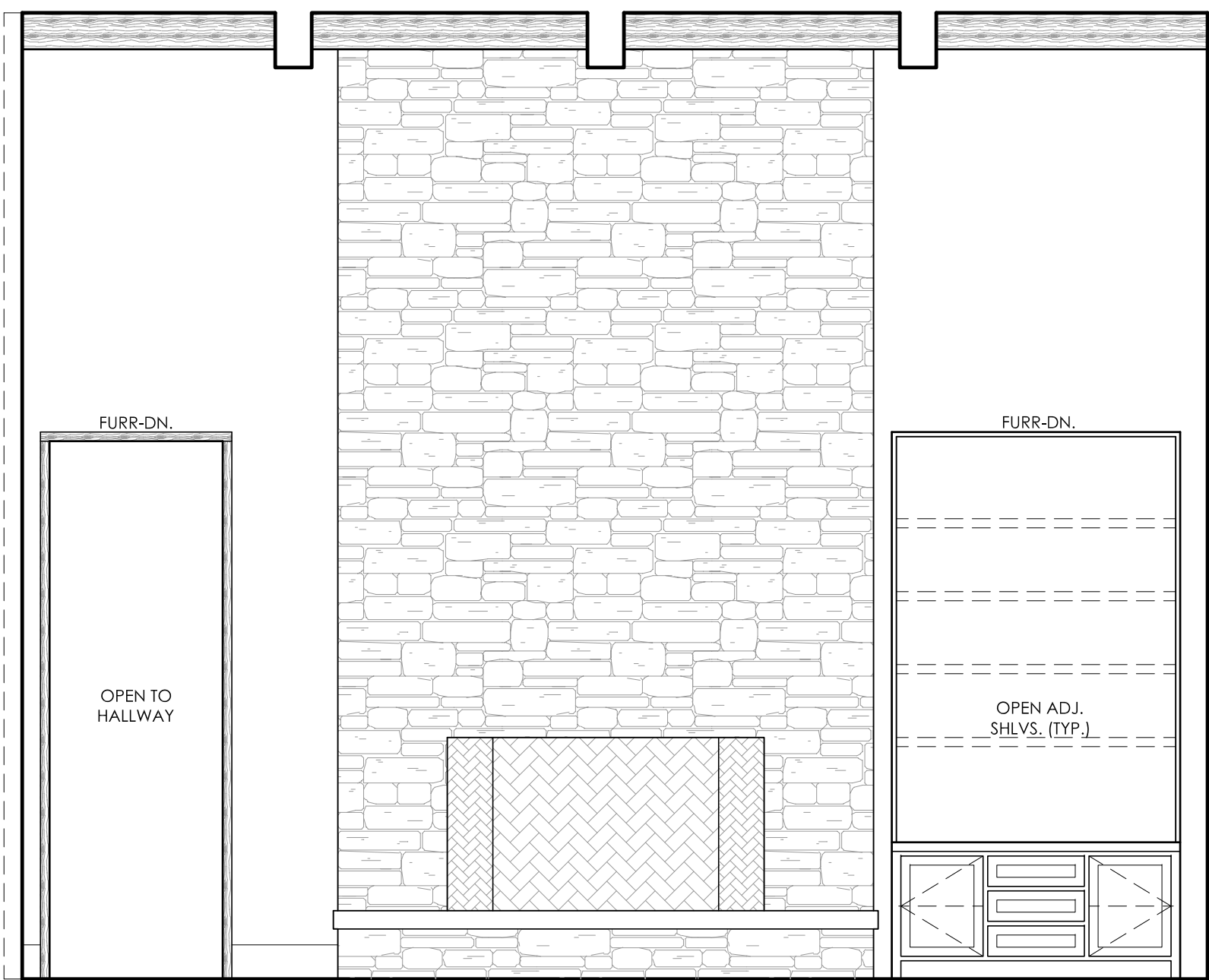
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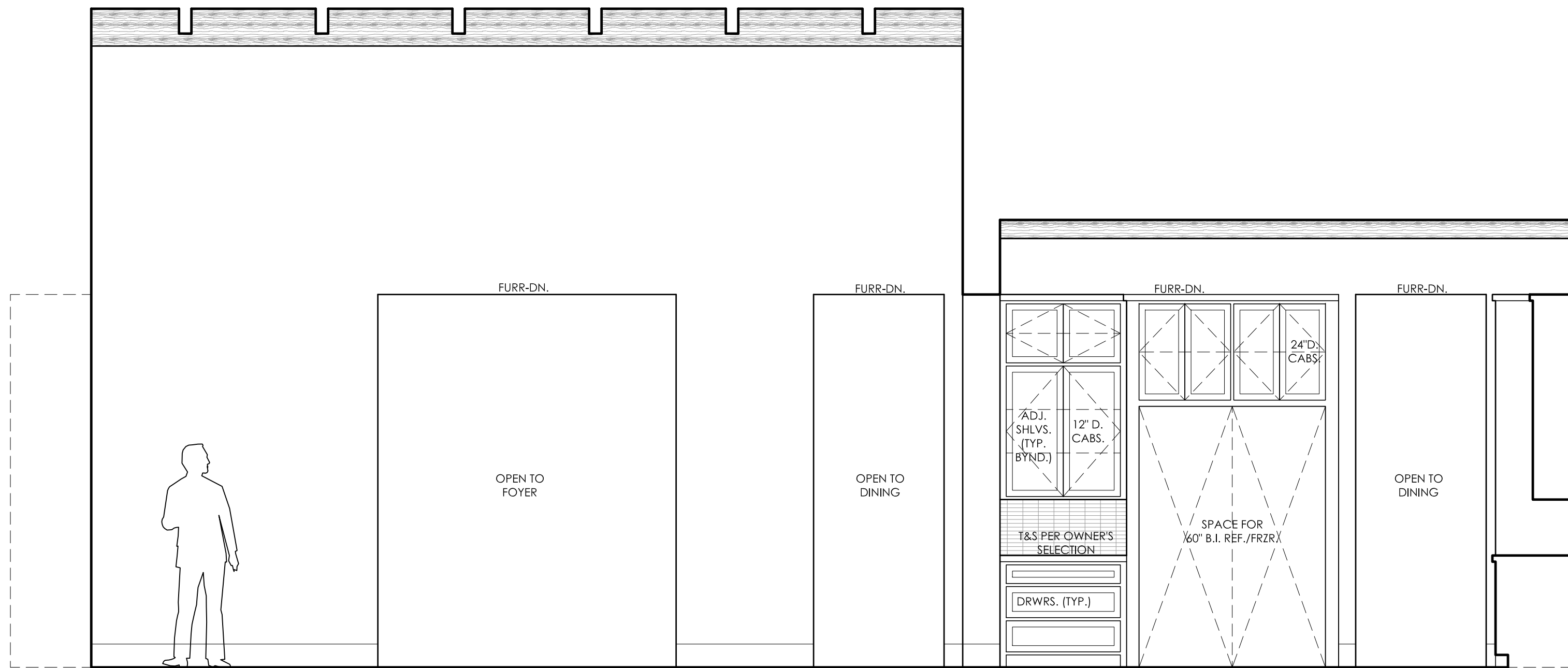
⑤ KITCHEN



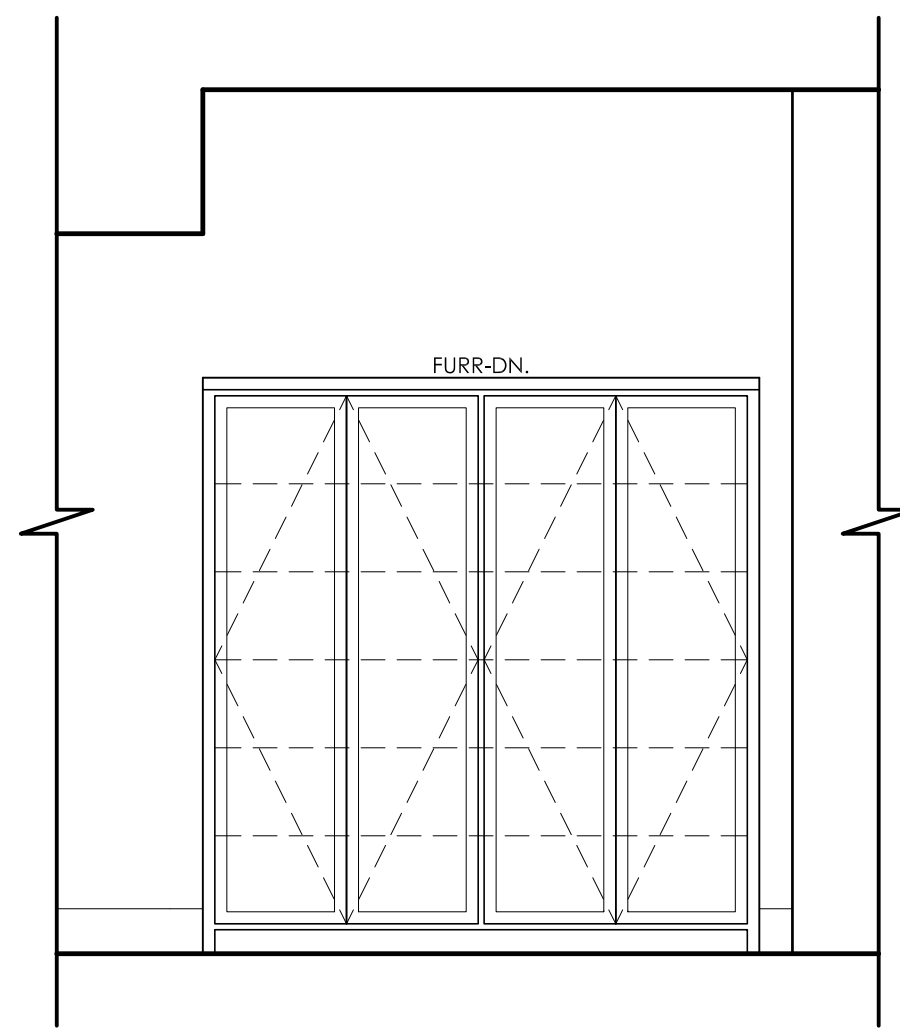
⑥ KITCHEN/LIVING RM.



⑦ LIVING RM.



⑧ LIVING RM./ KITCHEN



⑨ A/V STORAGE

GENERAL INT. ELEV. NOTES

- 1.0 WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
- 2.0 STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
- 3.0 VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER. STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
- 4.0 SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.

- 5.0 LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- 6.0 APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
- 7.0 PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- 8.0 PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW.
- 9.0 PROVIDE GROMMETS AS REQ'D. FOR CABLES AT ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.

- 10.0 CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
- 11.0 TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- 12.0 CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
- 13.0 SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.

INTERIOR ELEVATIONS

SCALE 3/8"=1'-0"

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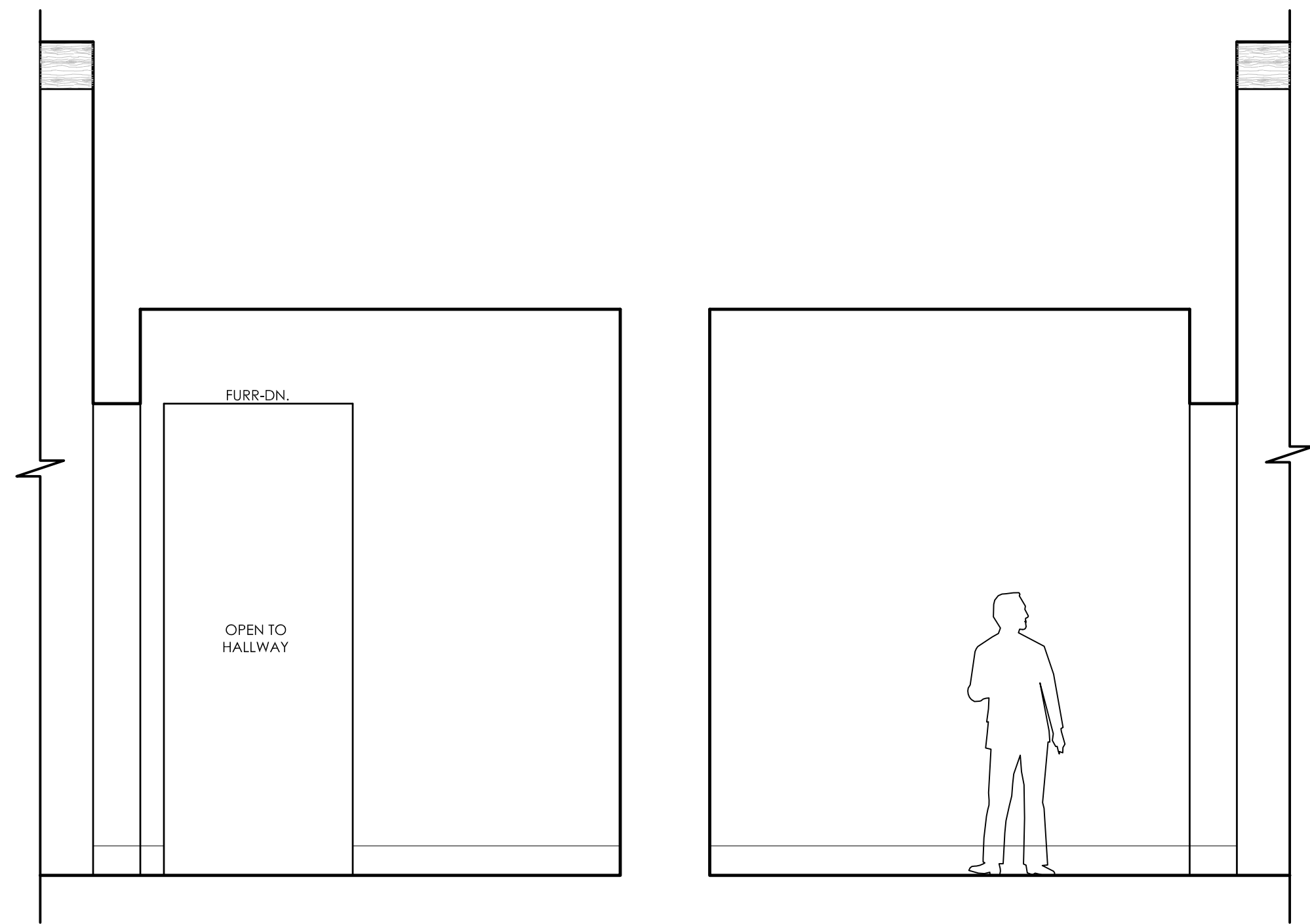
JOB NO.: 39 PASCAL LN.

NAME: INTERIORS

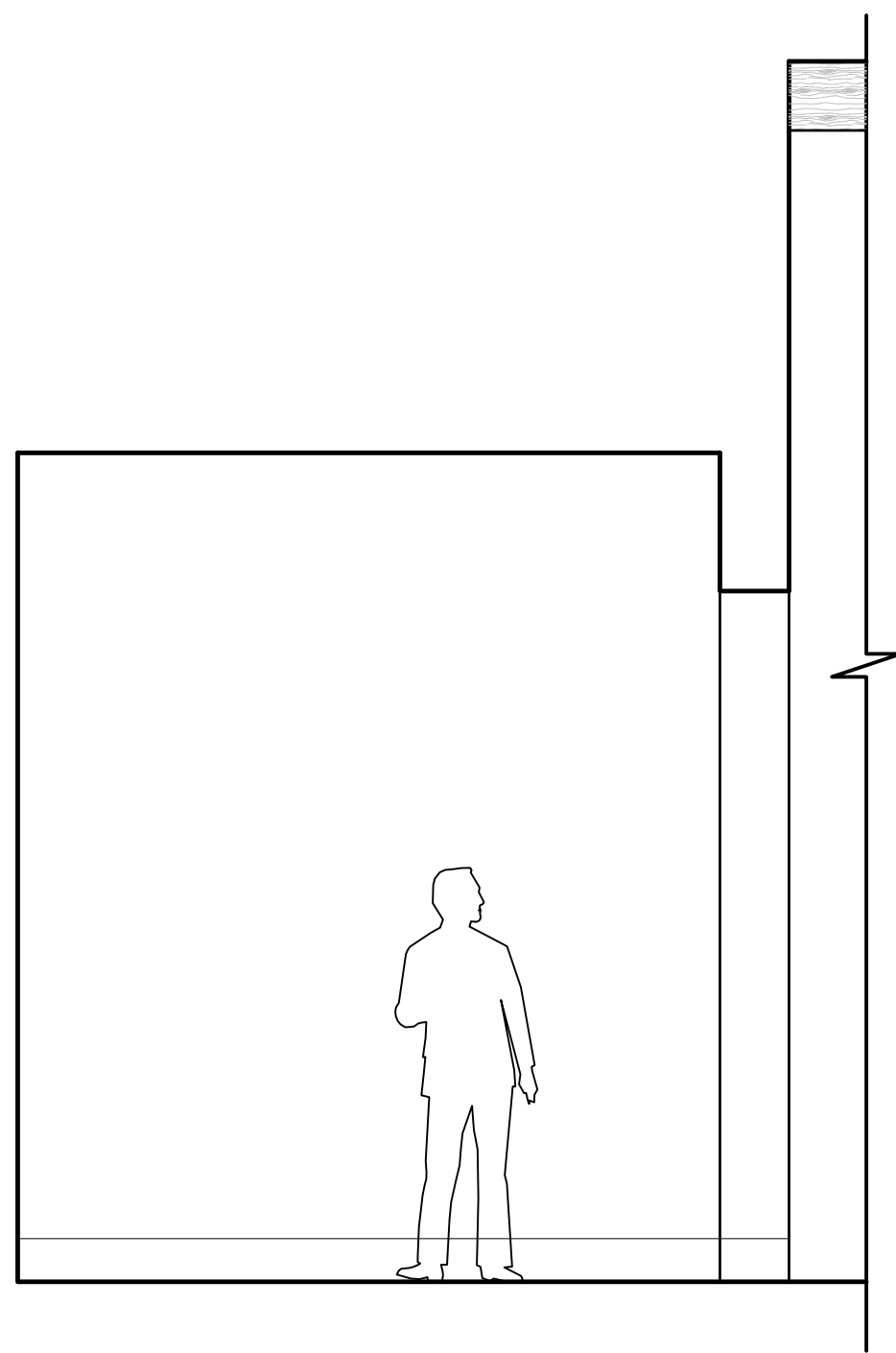
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SHEET

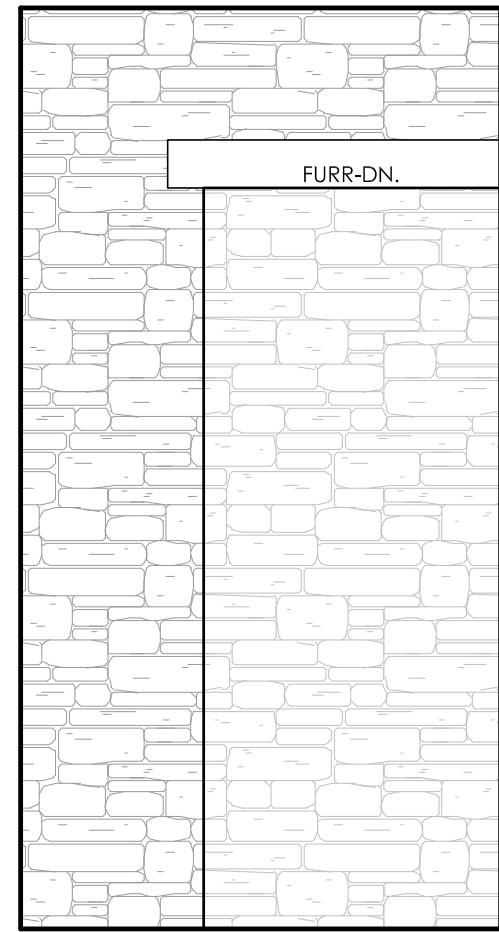
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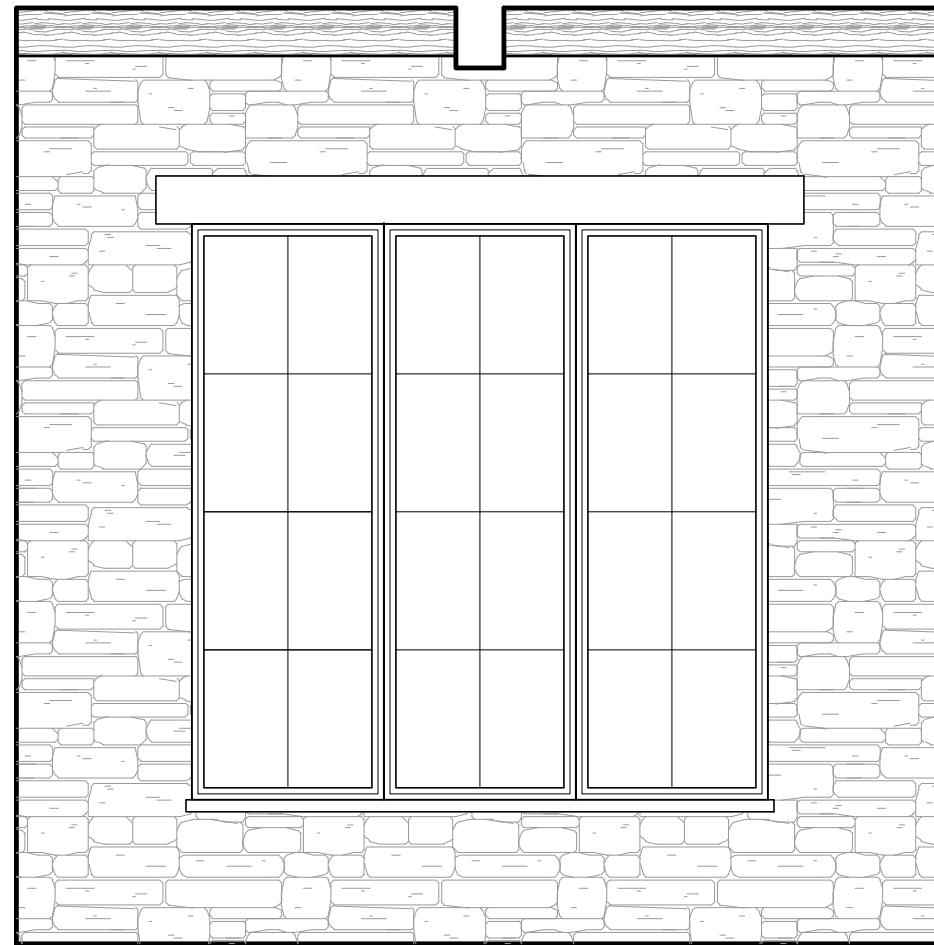
10 ENTRY



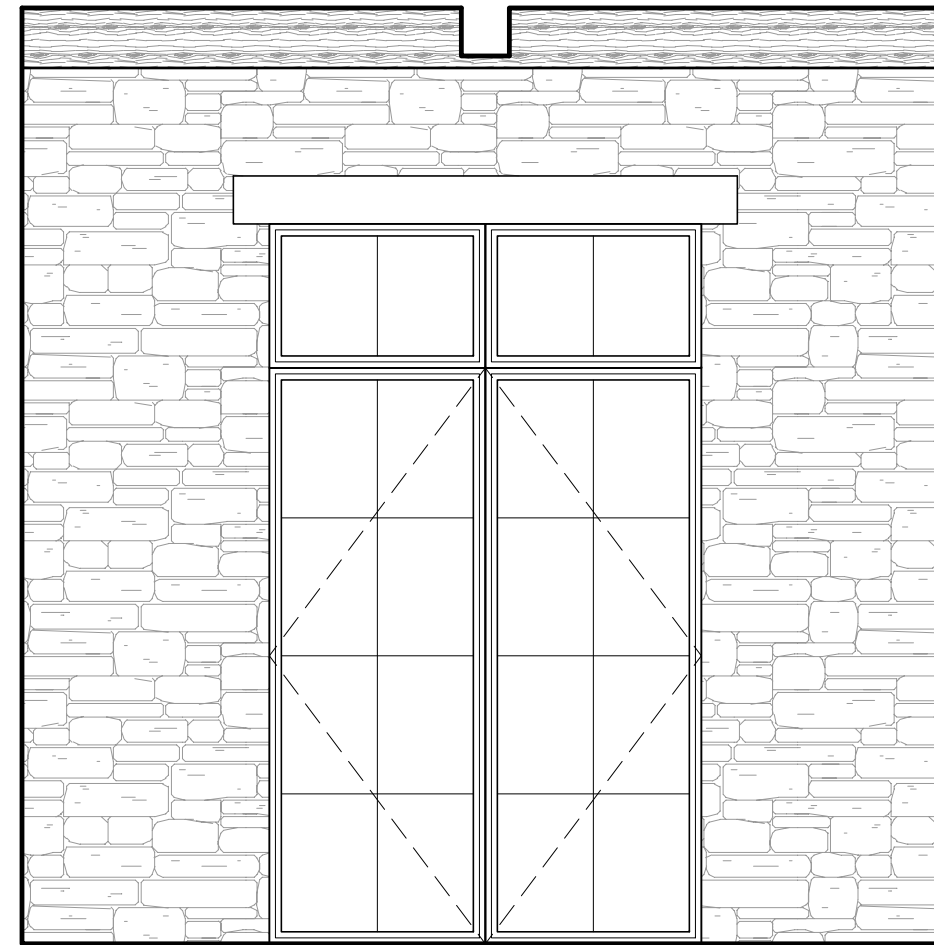
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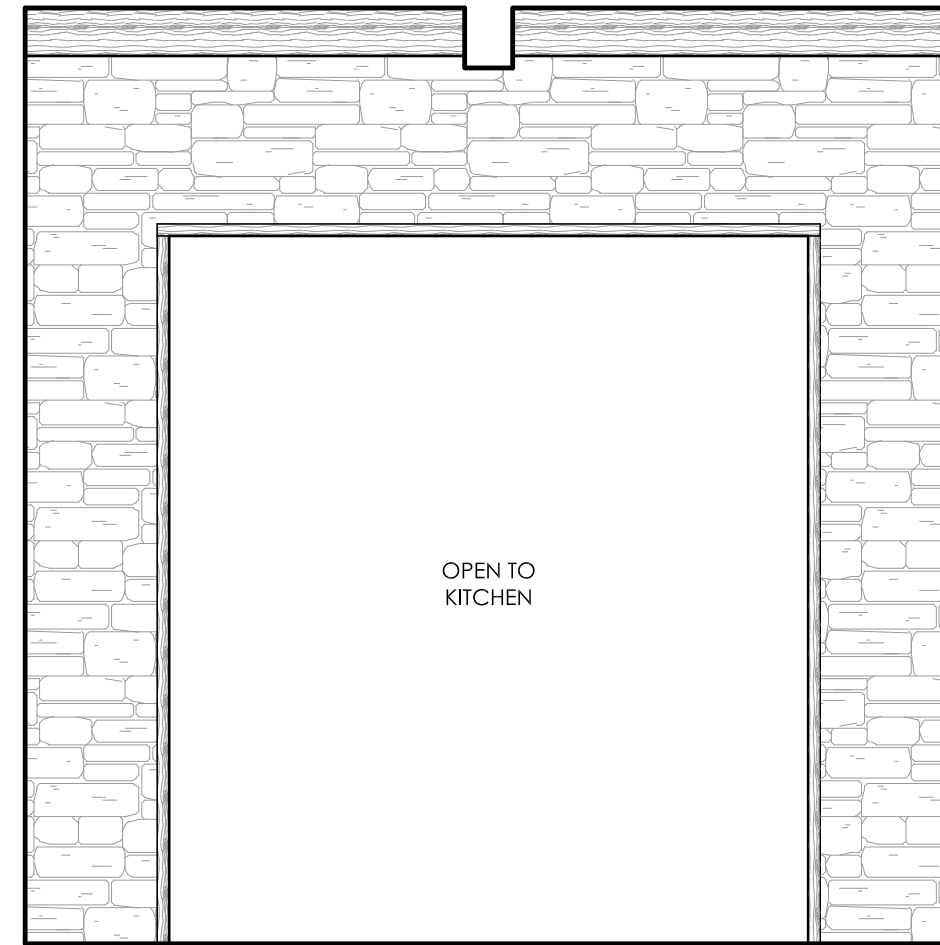
12 COV'D ENTRY



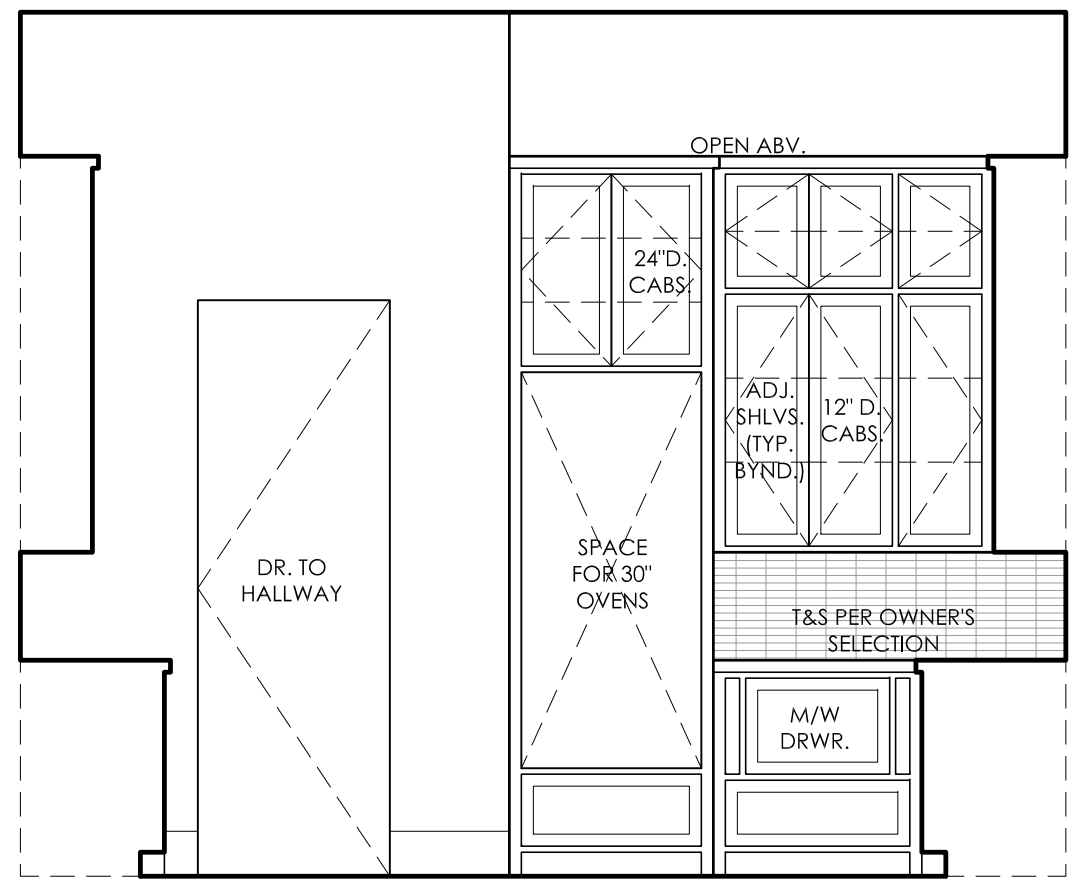
13 BREAKFAST



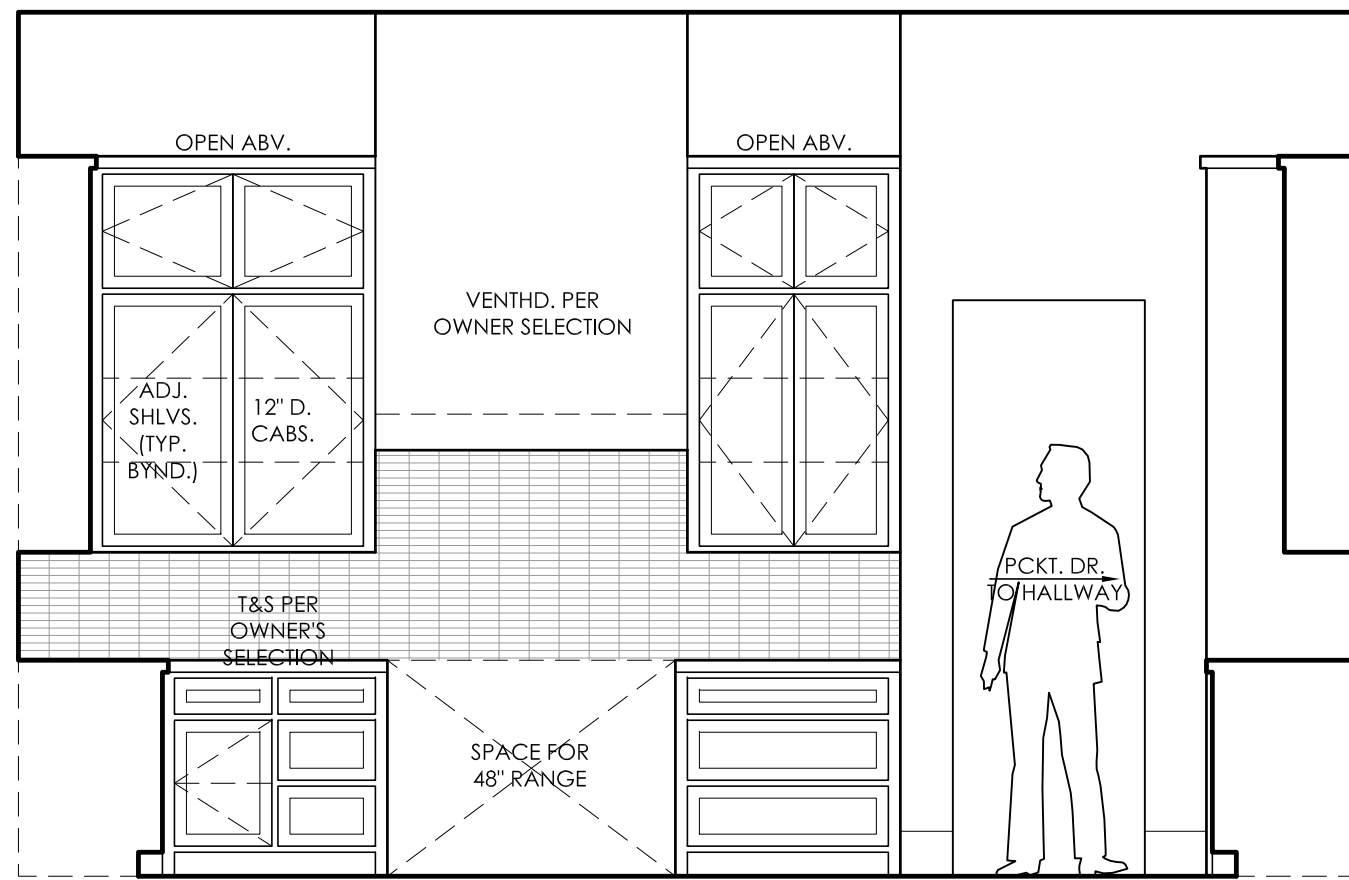
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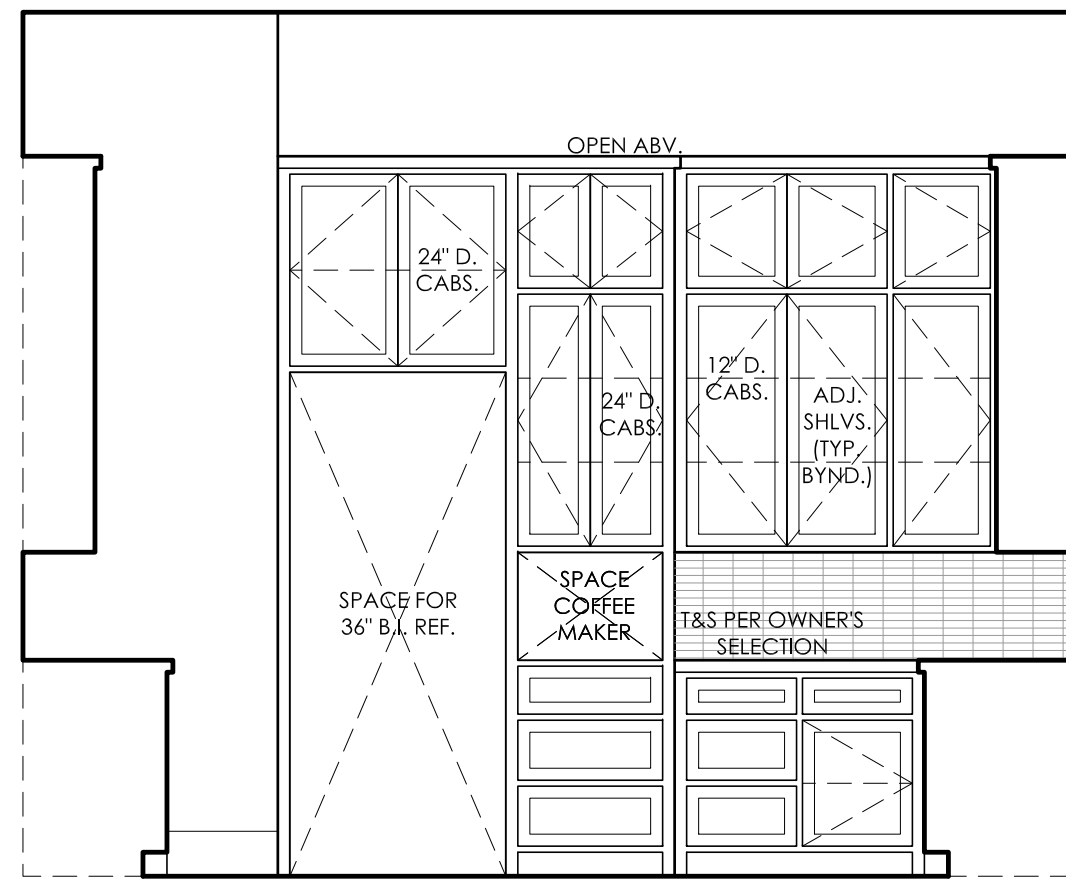
15 BREAKFAST



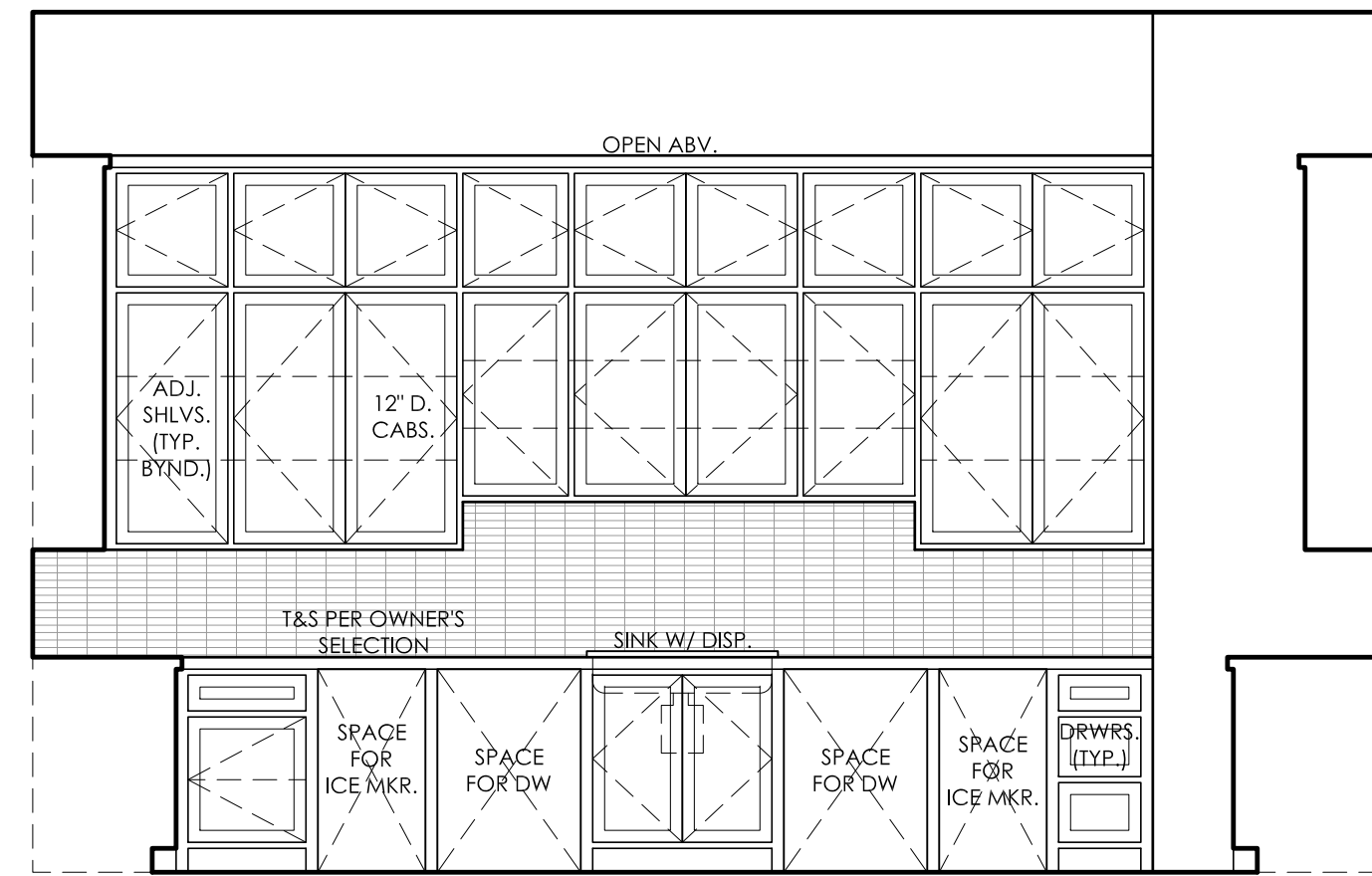
16 CATERING KITCHEN



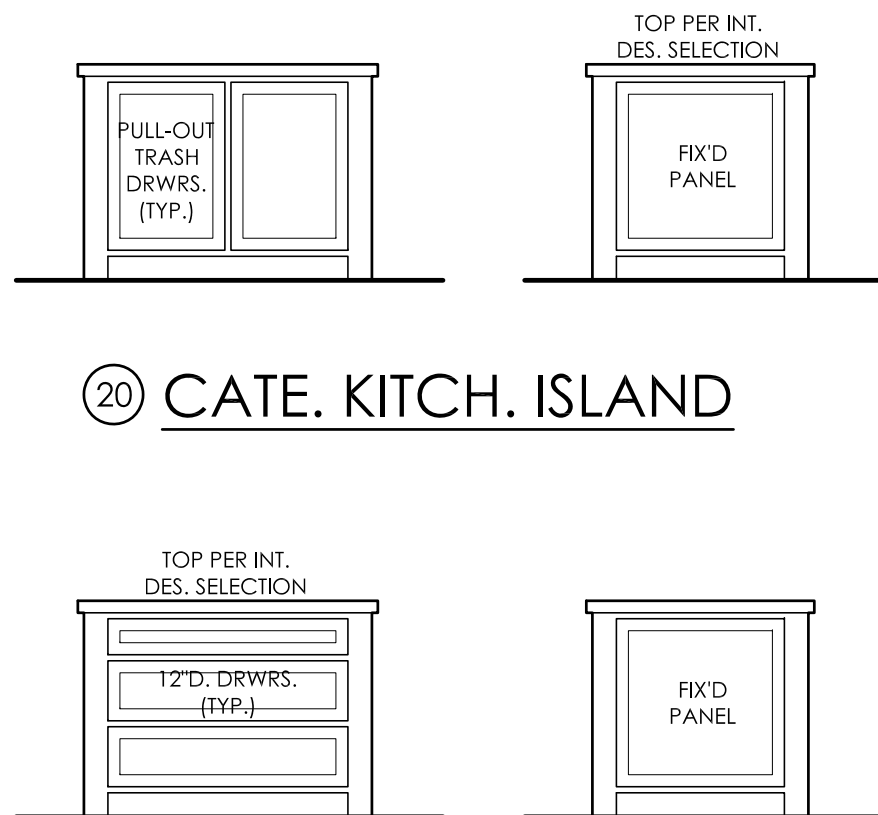
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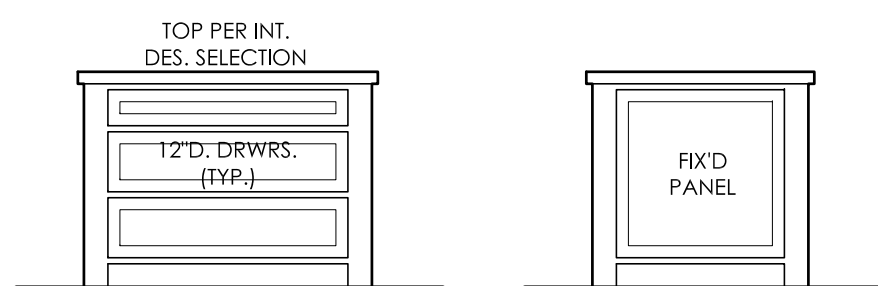
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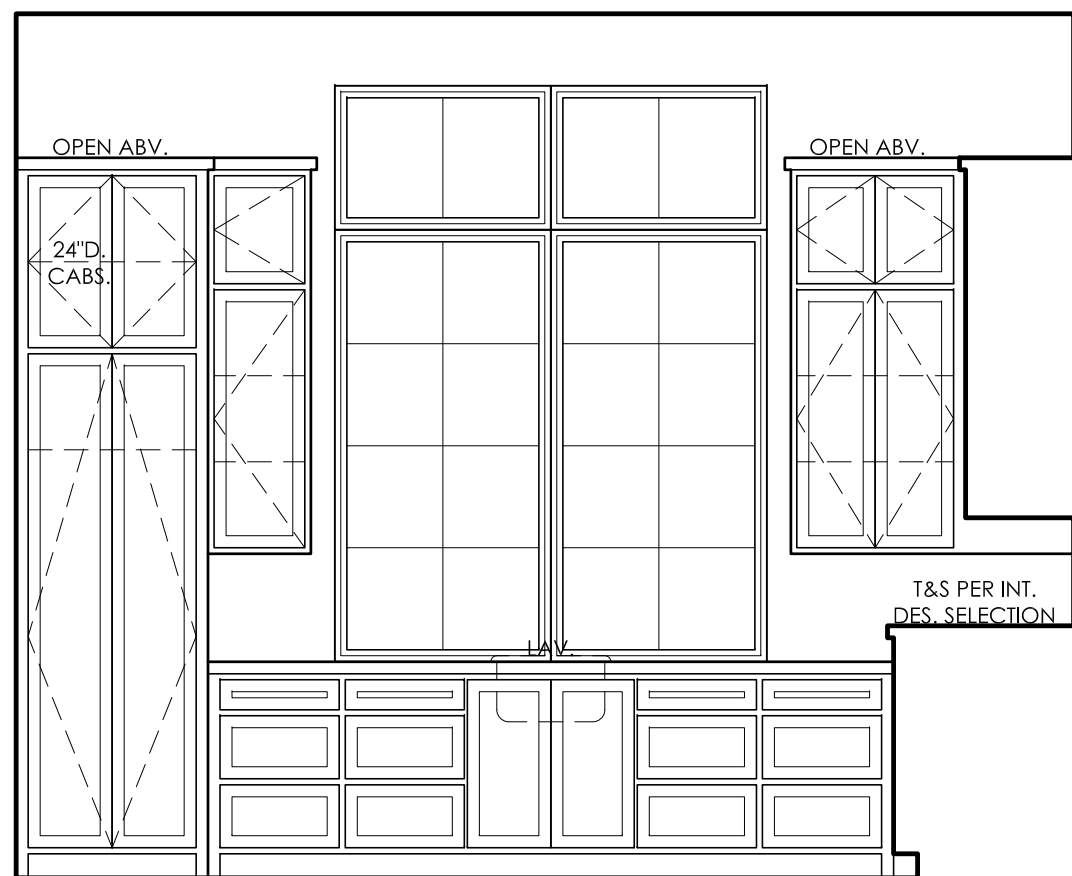
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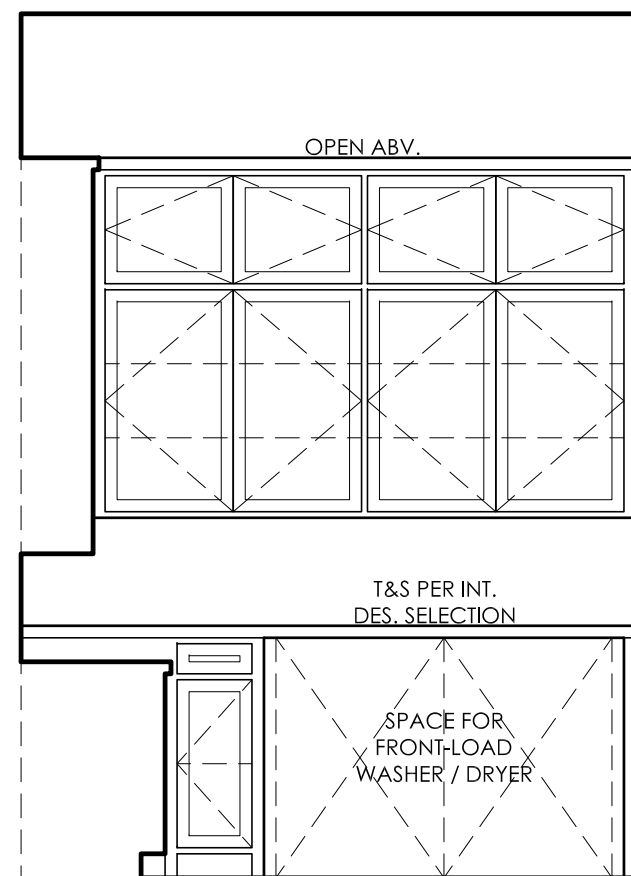
20 CATE. KITCH. ISLAND



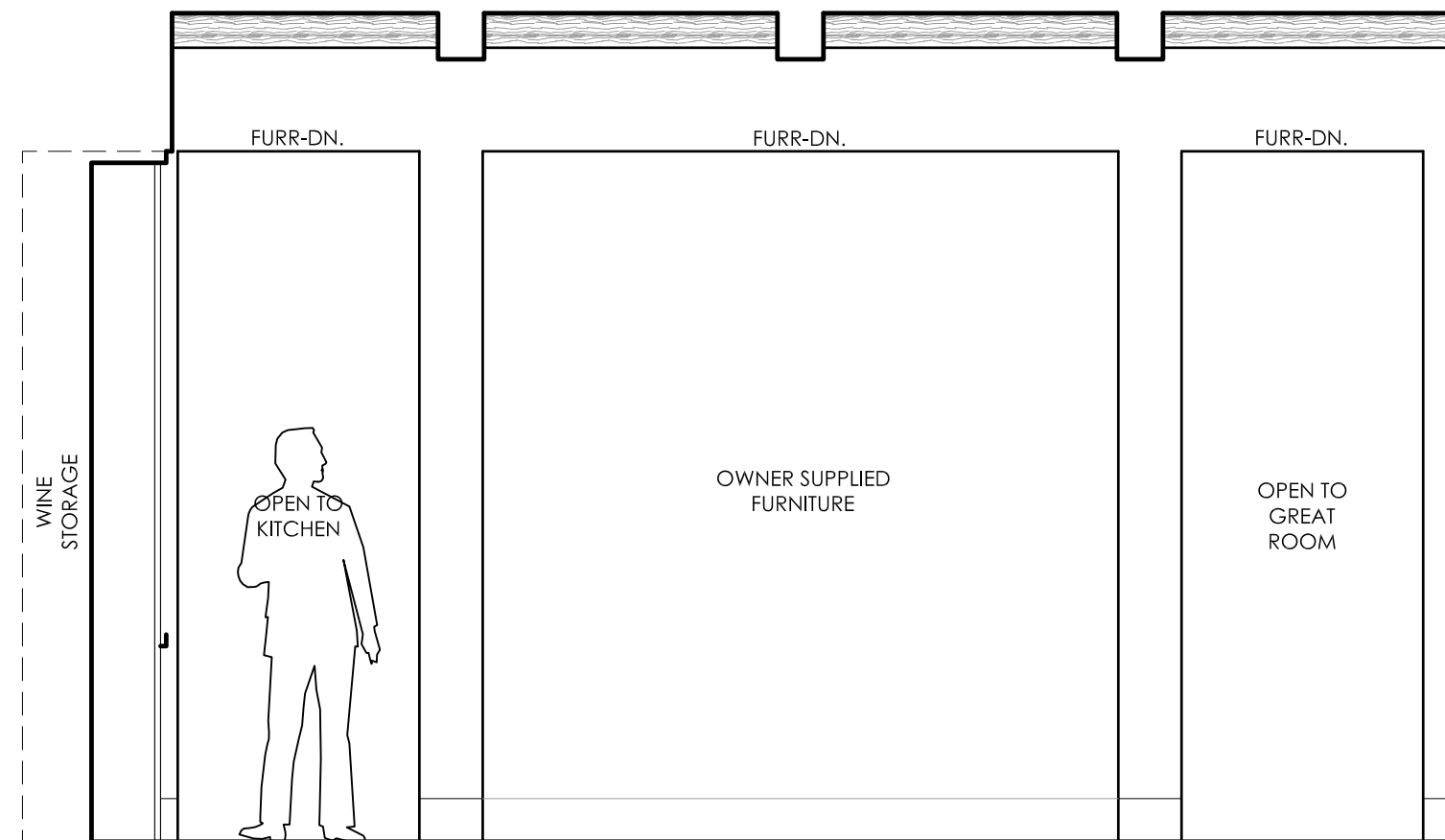
21 CATER. KITCH. ISLAND



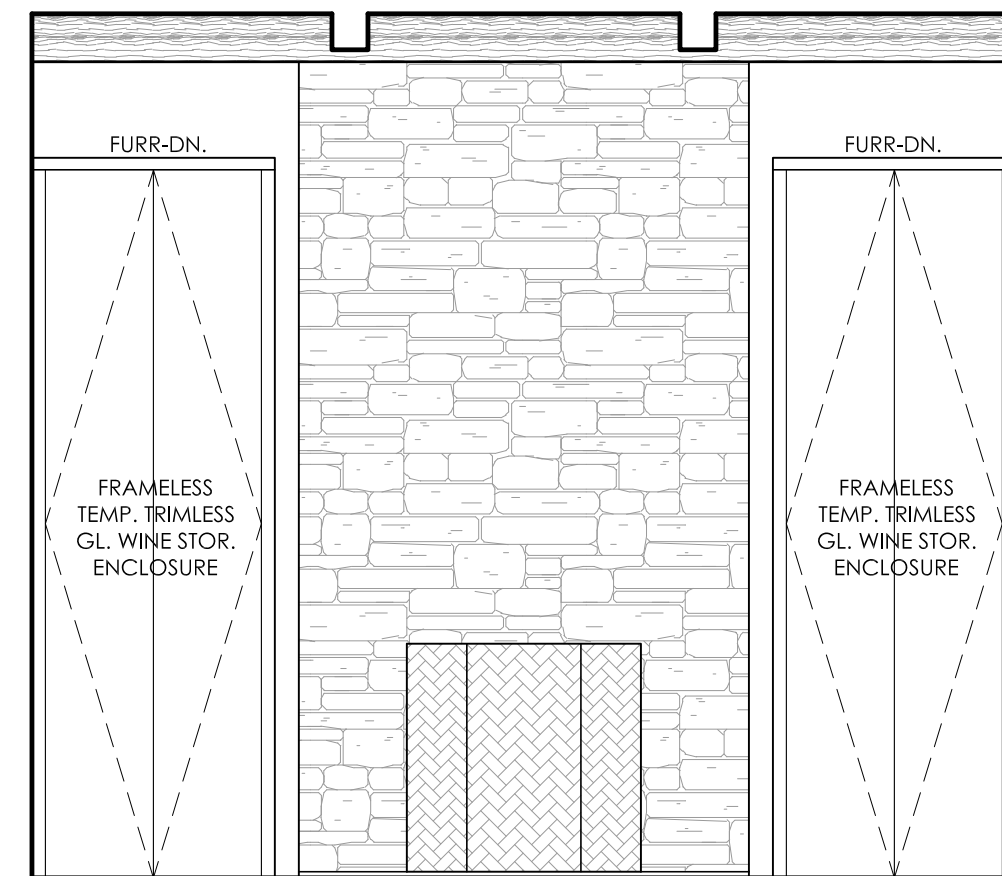
22 UTILITY



23 UTILITY



24 DINING



25 DINING

INTERIOR ELEVATIONS

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DON & ROBIN MCINTYRE
39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.: 39 PASCAL LN.

NAME: INTERIORS

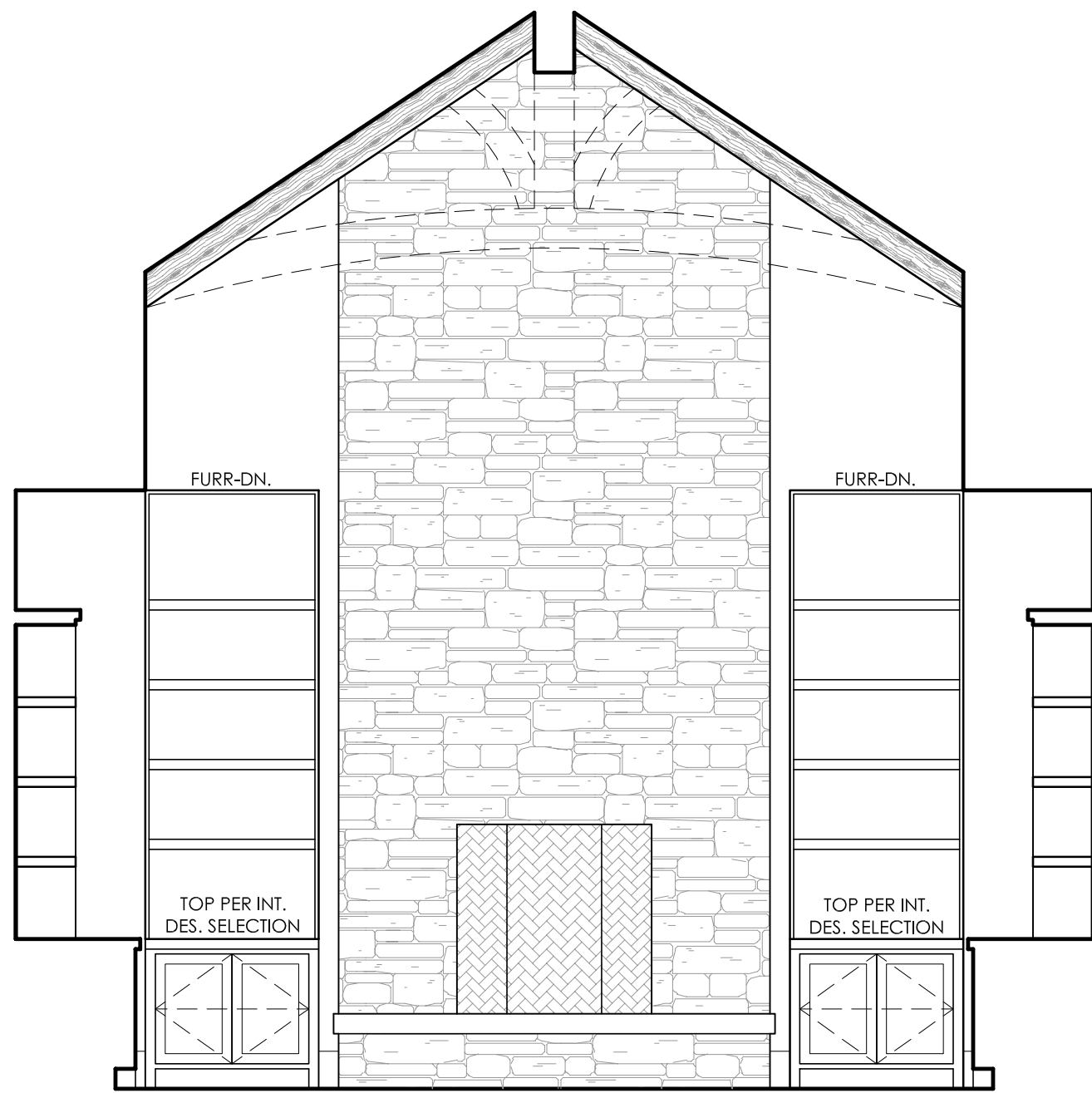
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SHEET

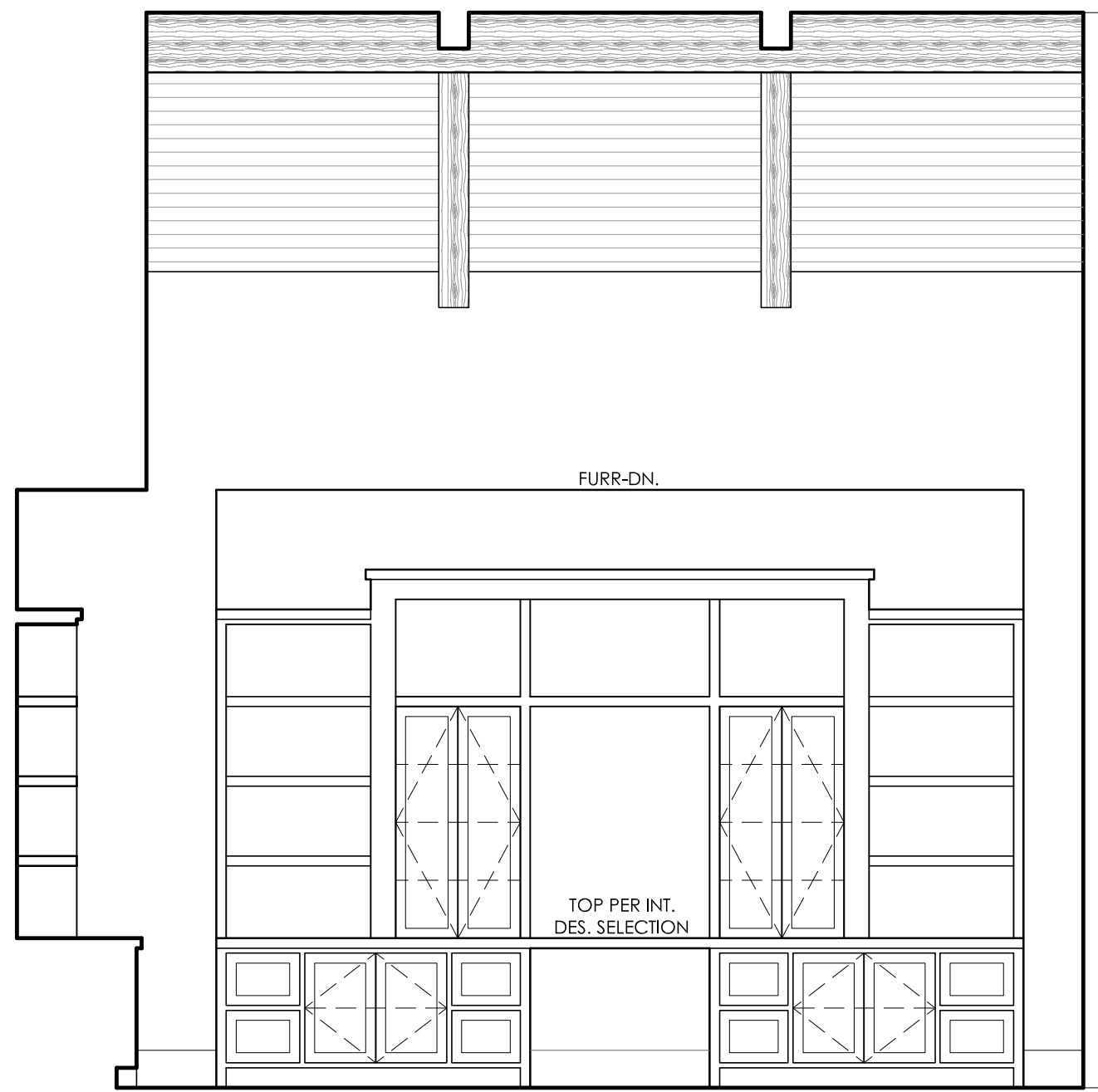
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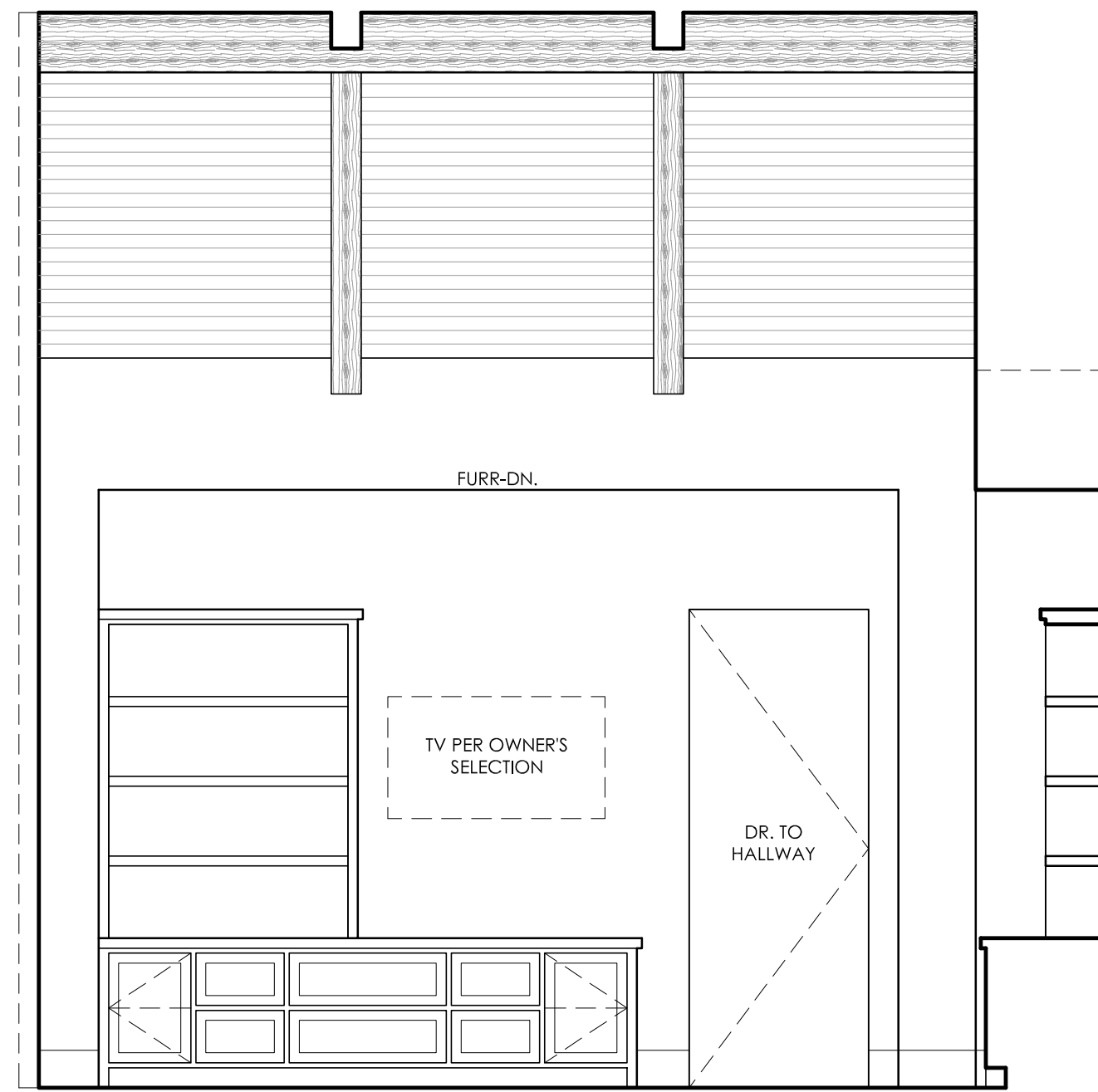
25B DINING



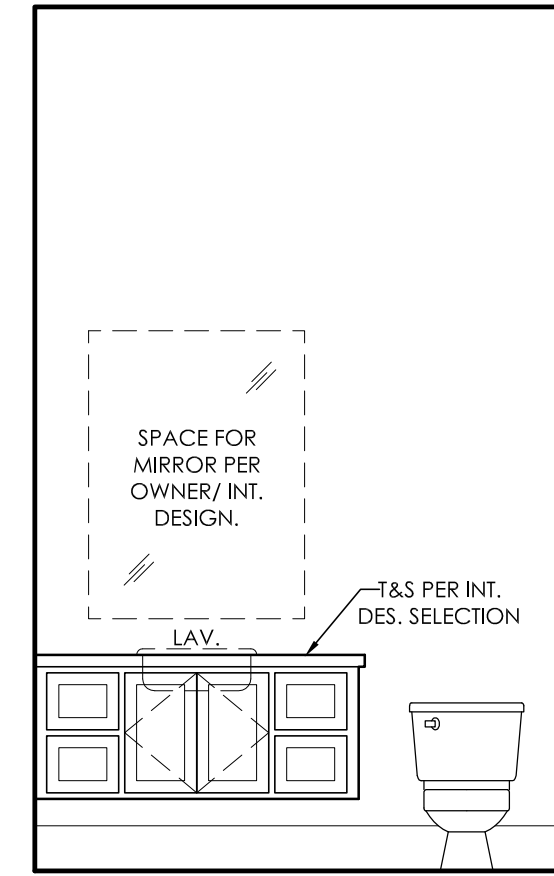
26 HIS OFFICE



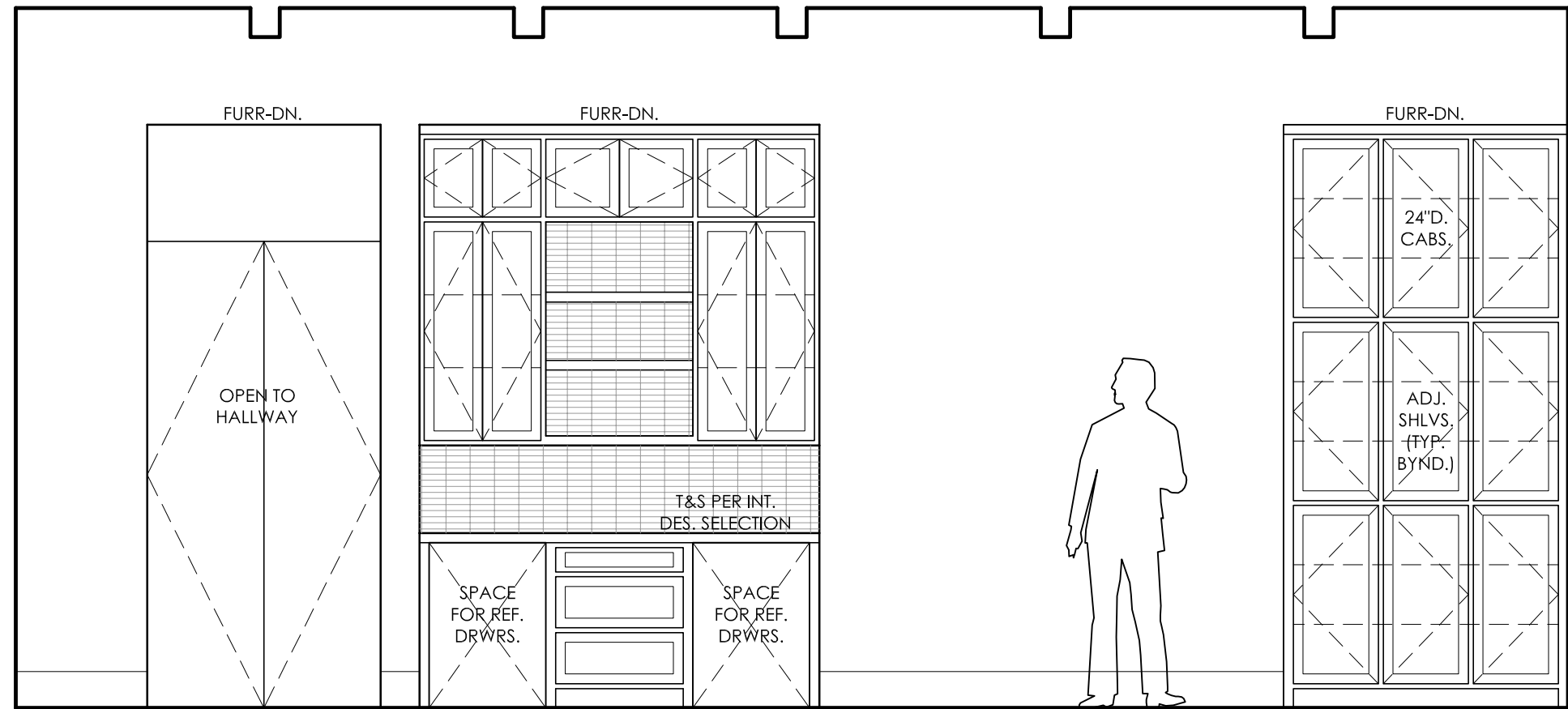
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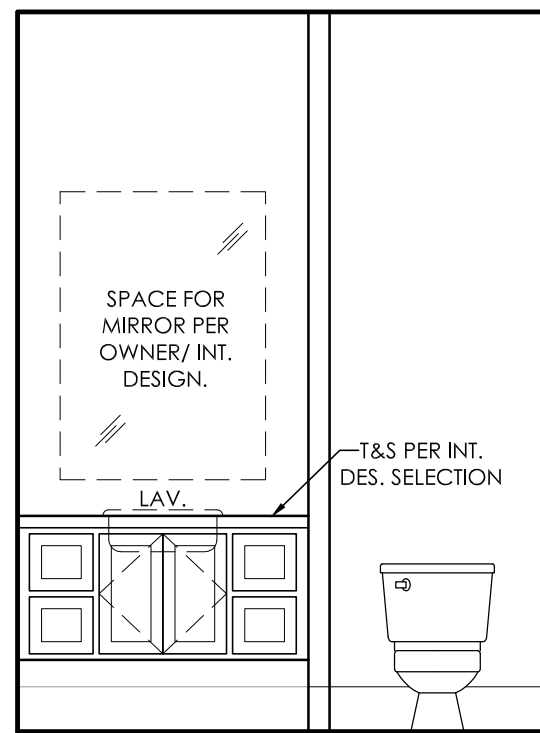
28 HIS OFFICE



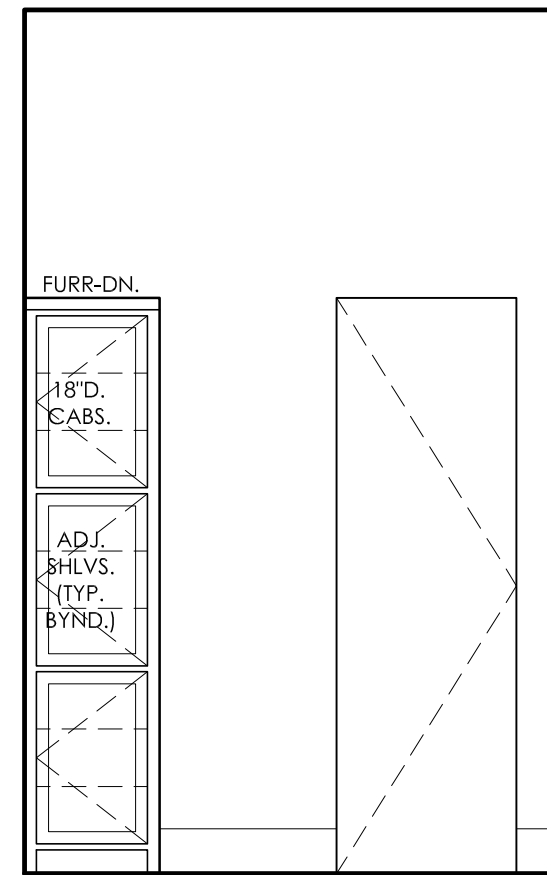
29 OFFICE BATH



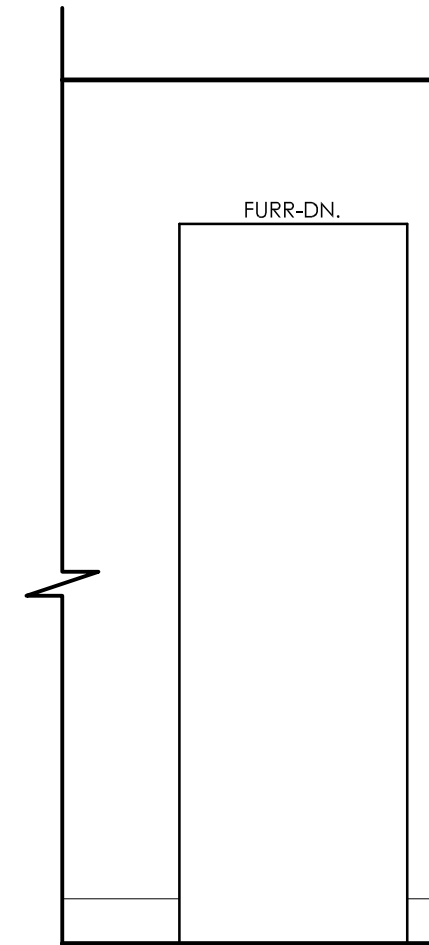
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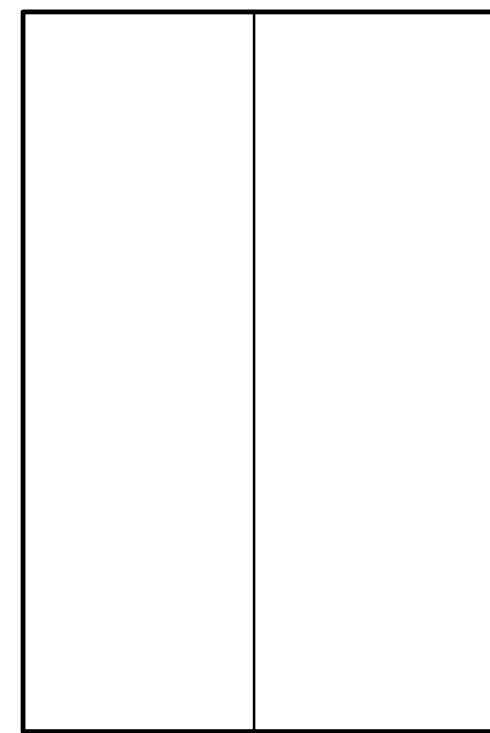
31 POWDER



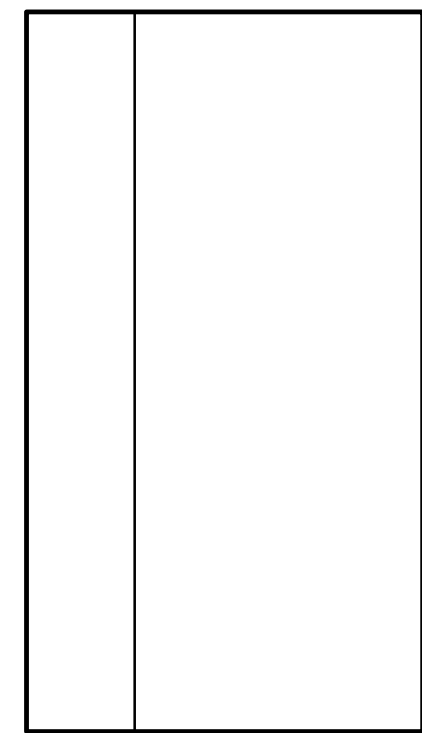
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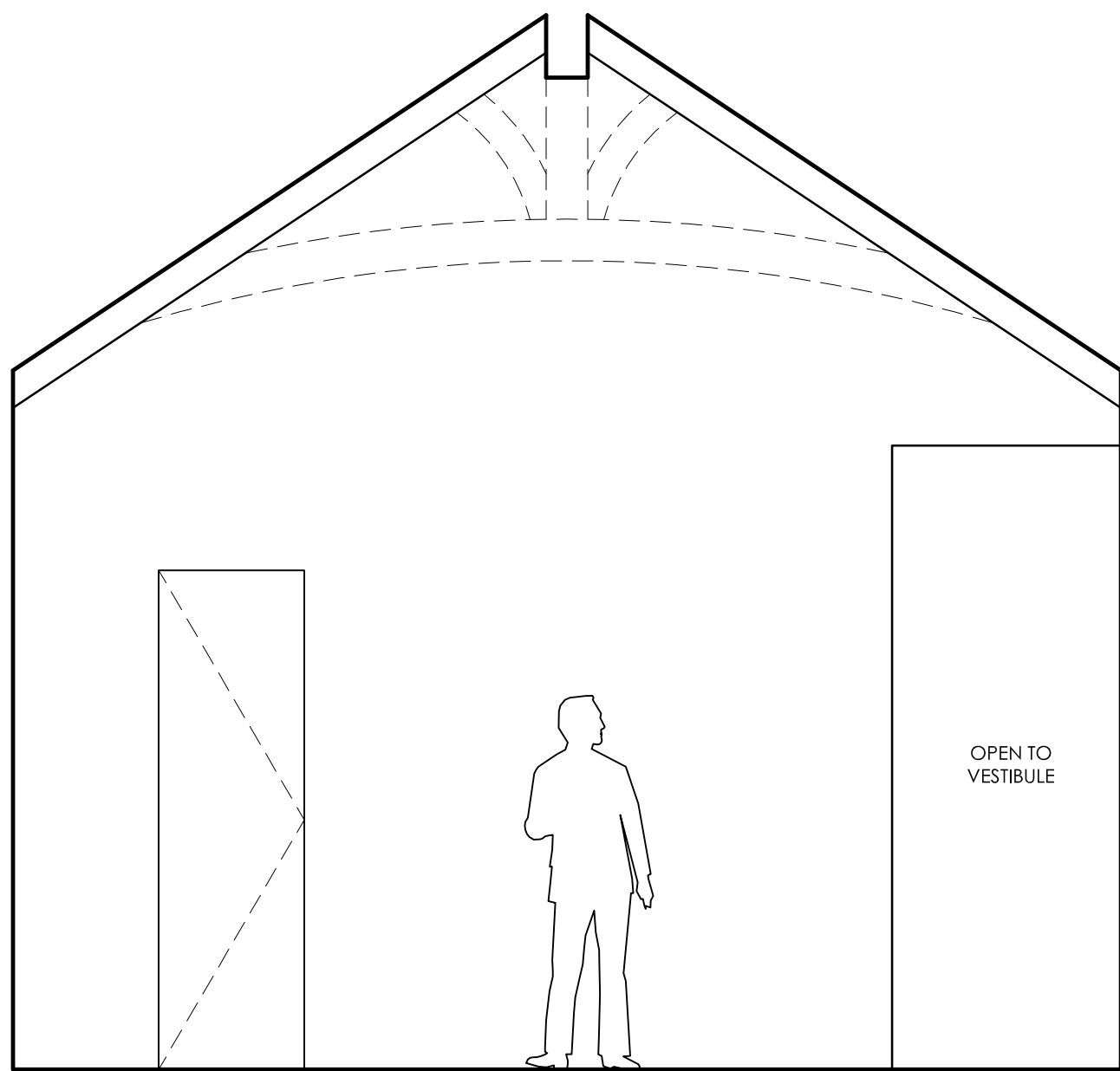
33 STAIRCASE



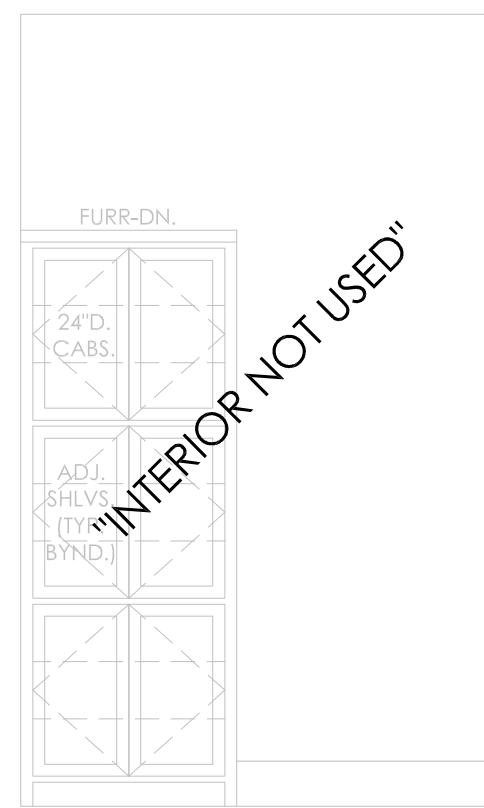
34a STORAGE



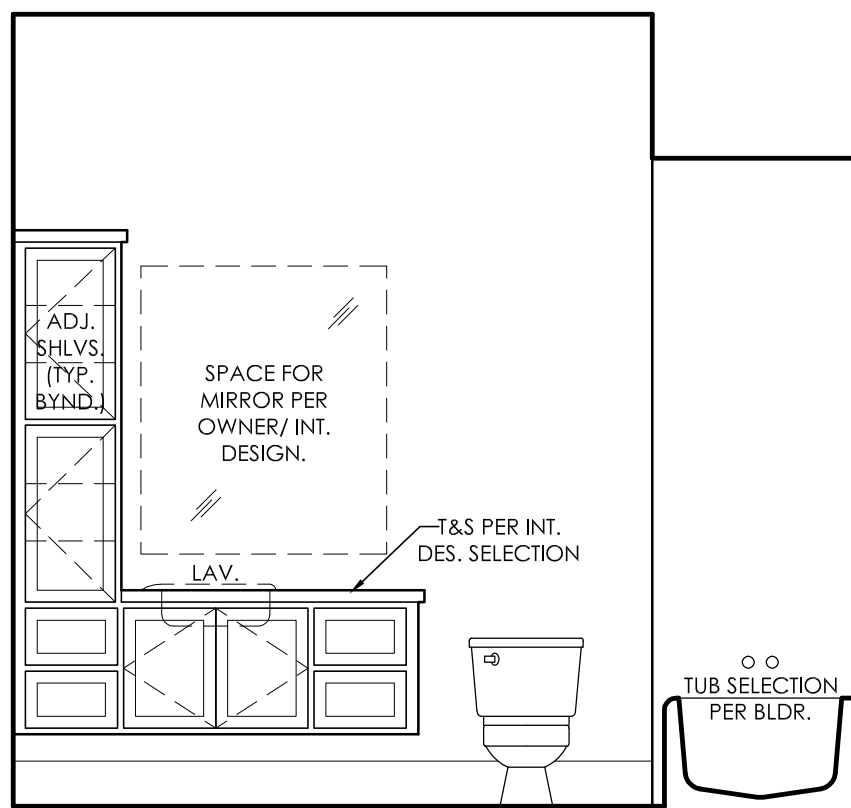
34b STORAGE



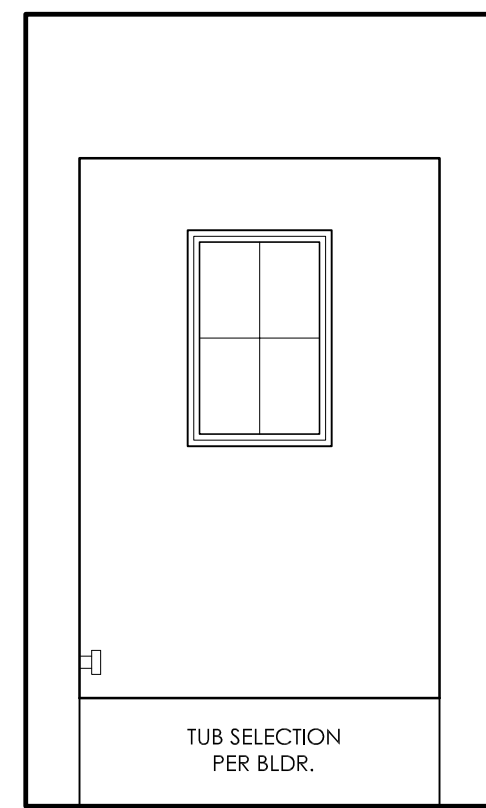
35 BEDRM. 2



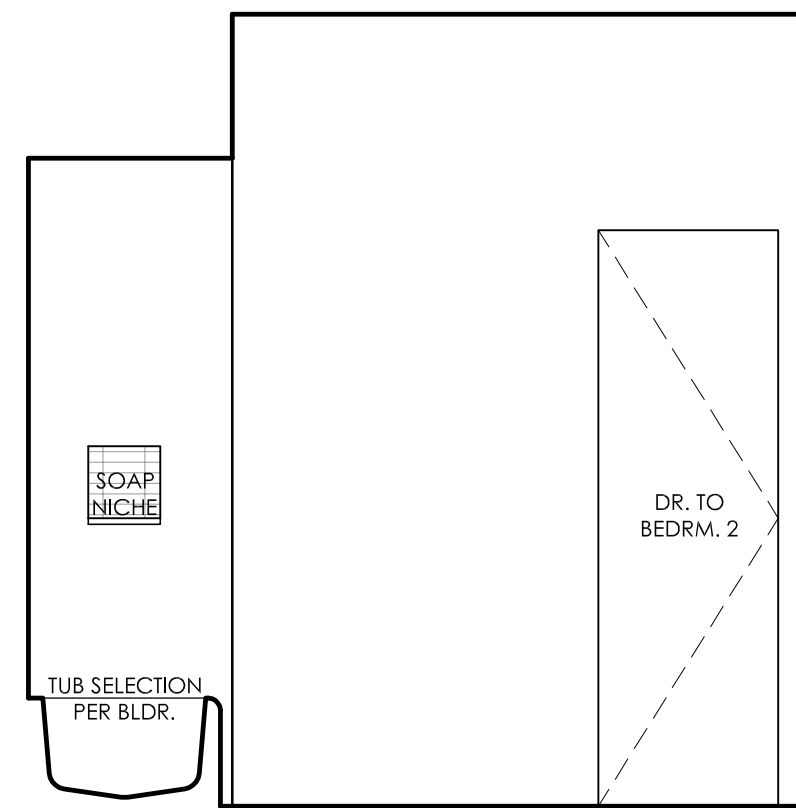
36 BATH 2



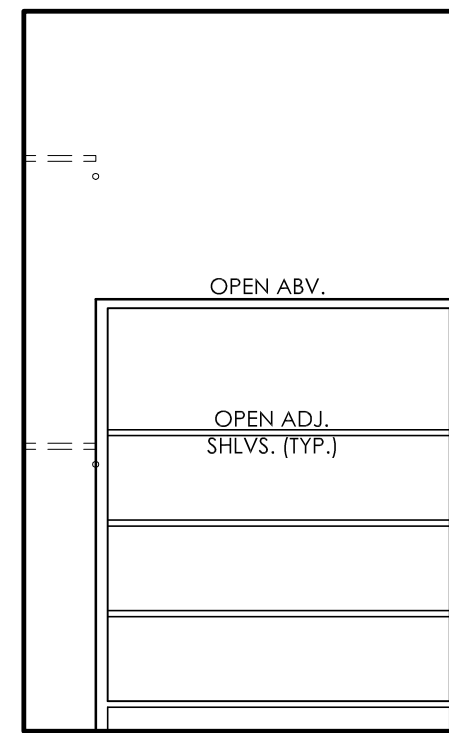
37 BATH 2



38 BATH 2



39 BATH 2



40 W.I.C.

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A Custom Spec Residence for
DON & ROBIN MCINTYRE
39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.: 39 PASCAL LN.

NAME: INTERIORS

SCALE: 3/8"=1'-0"

SHEET

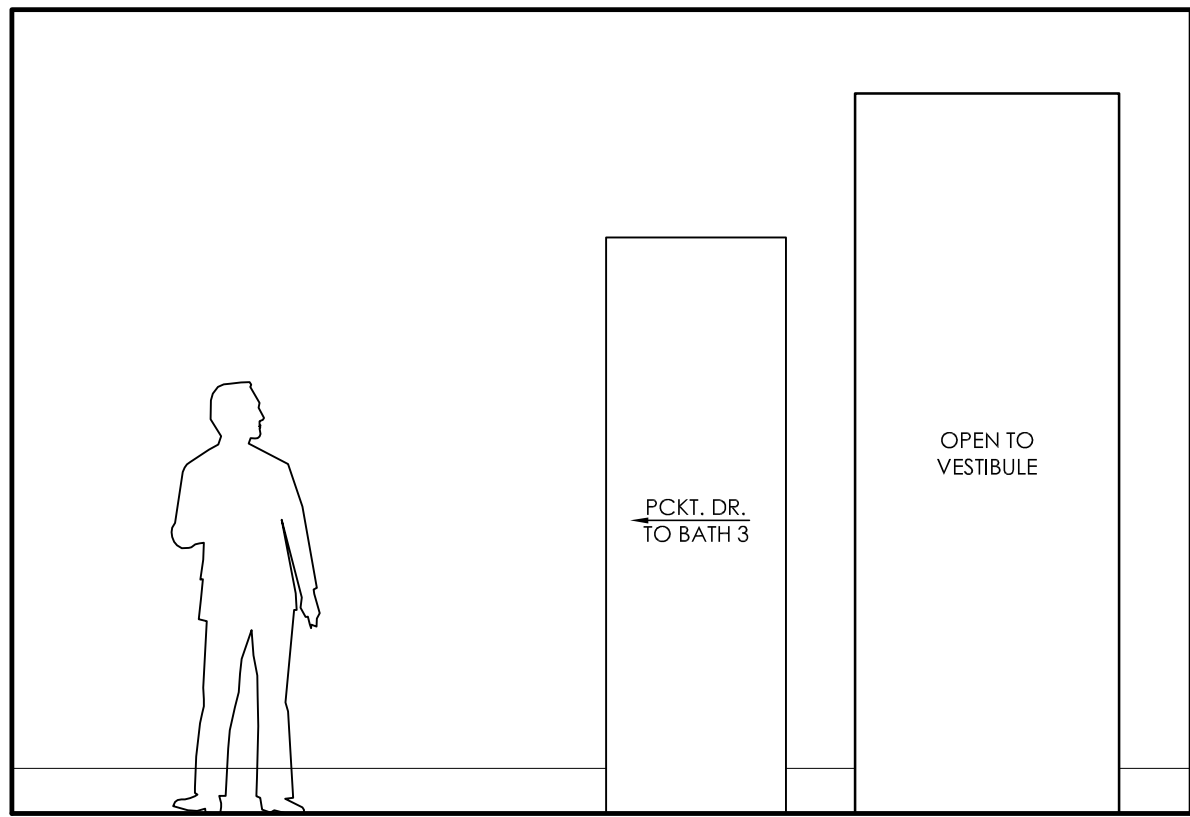
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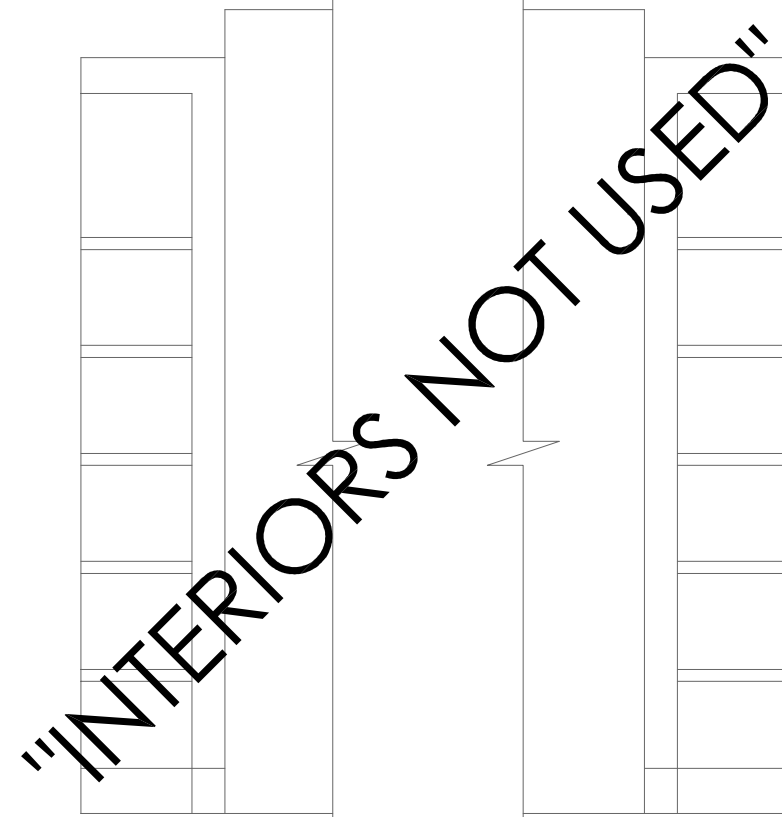
INTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"

INTERIOR NOT USED

41 SUITE 3

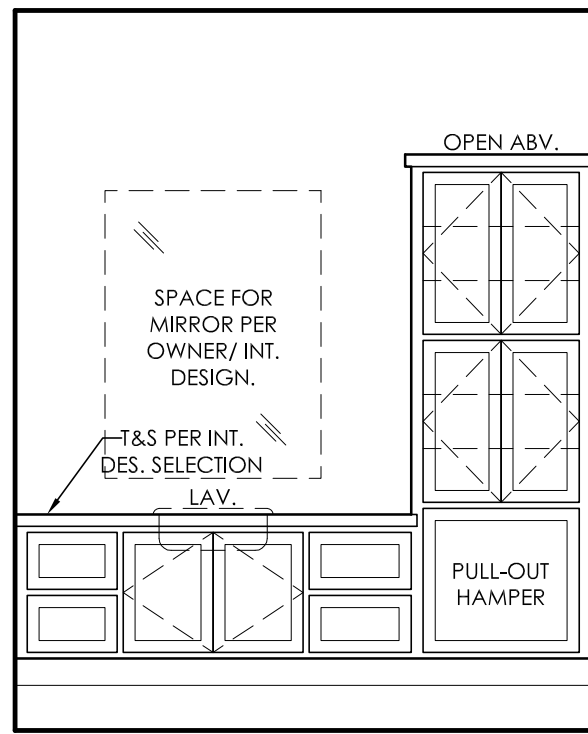


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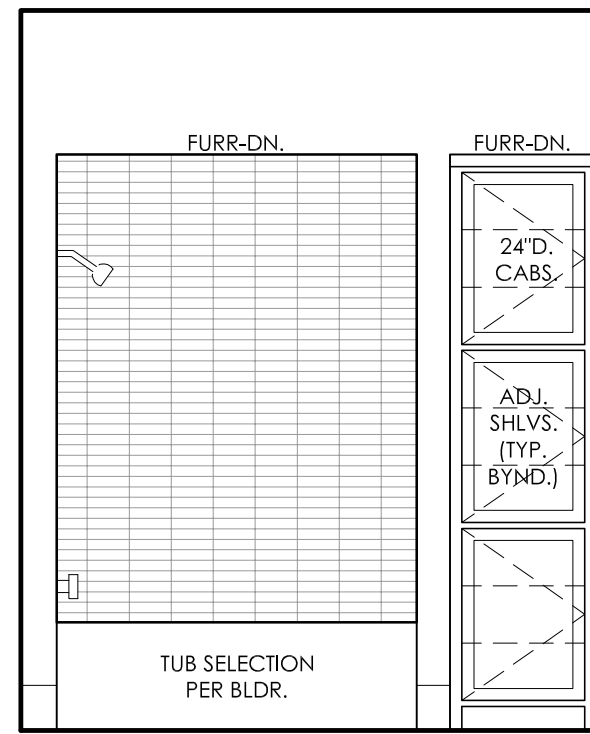


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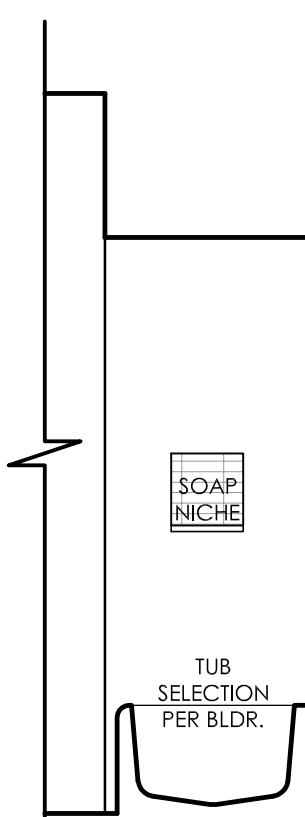
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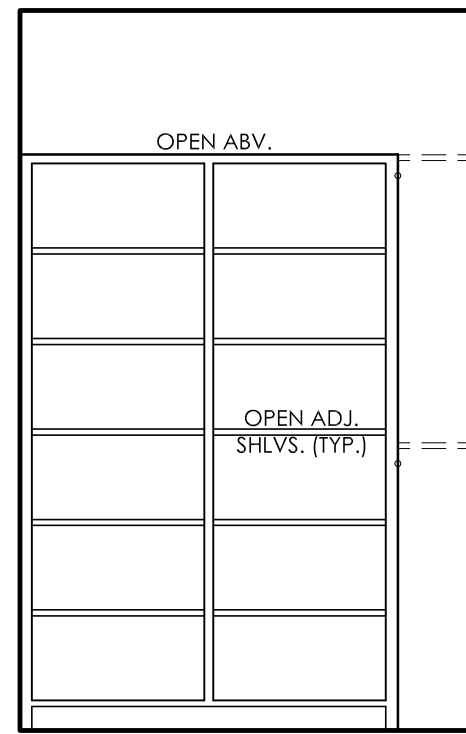
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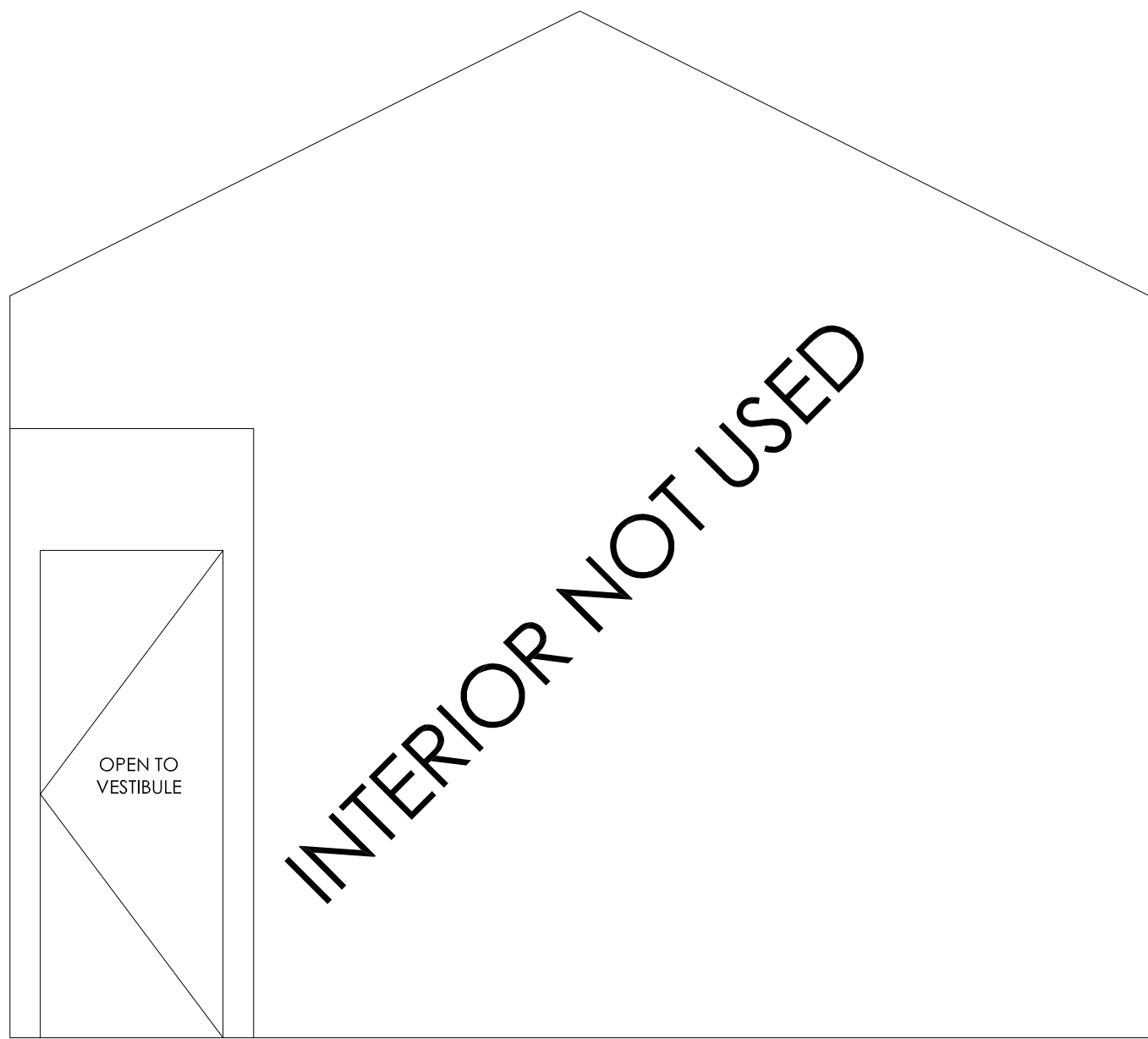
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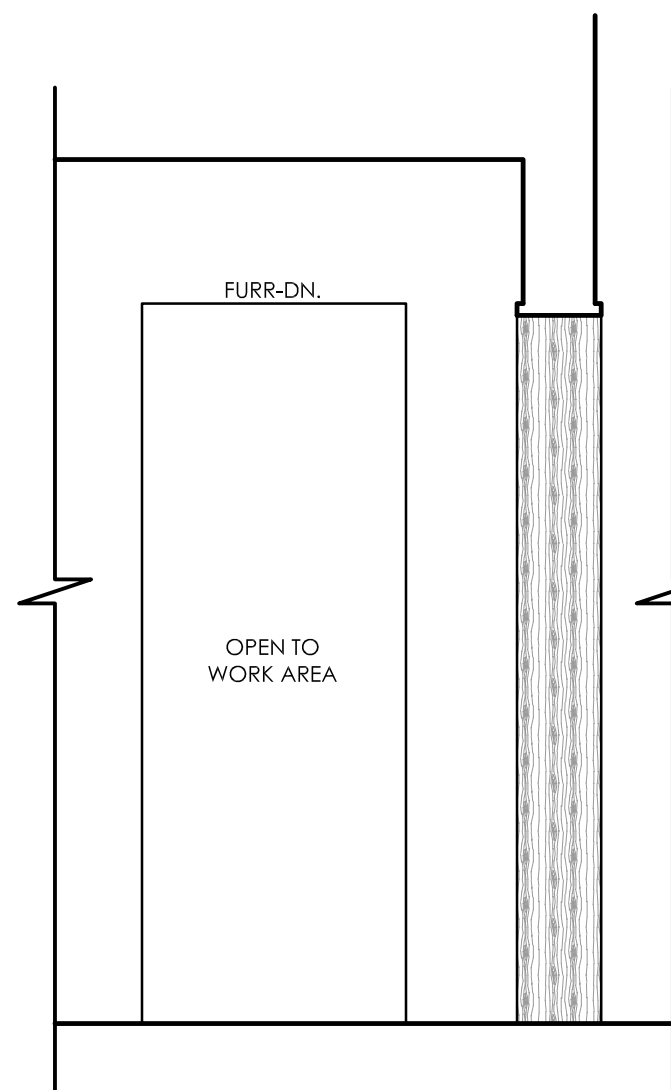
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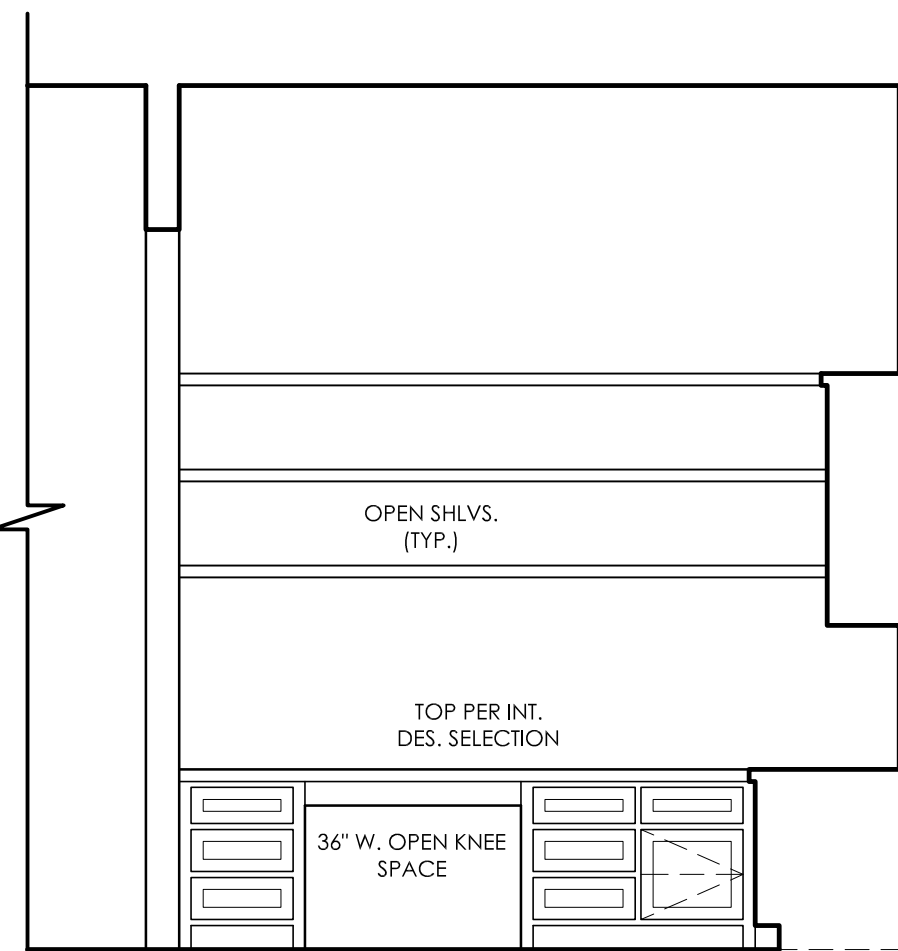
48 W.I.C.



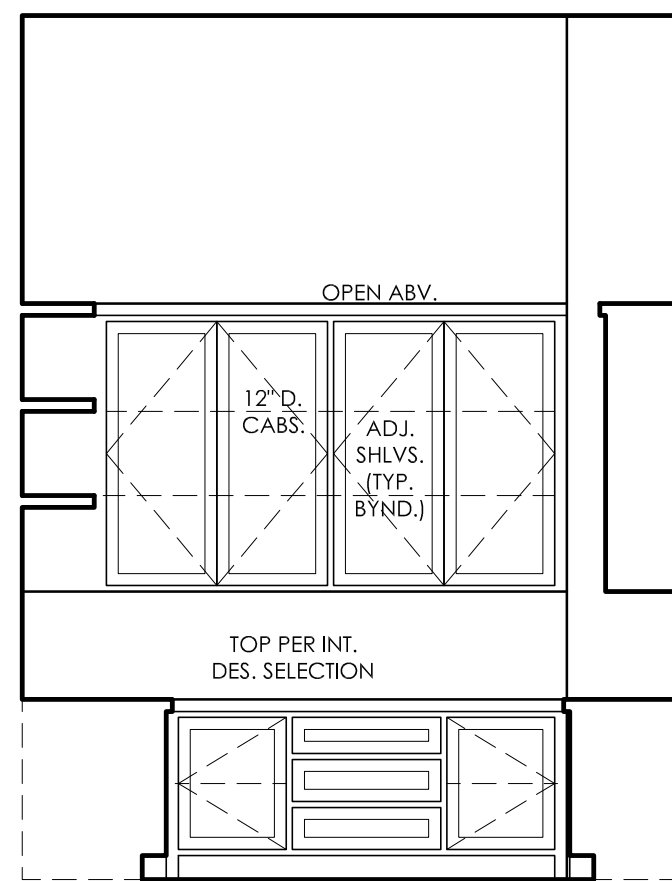
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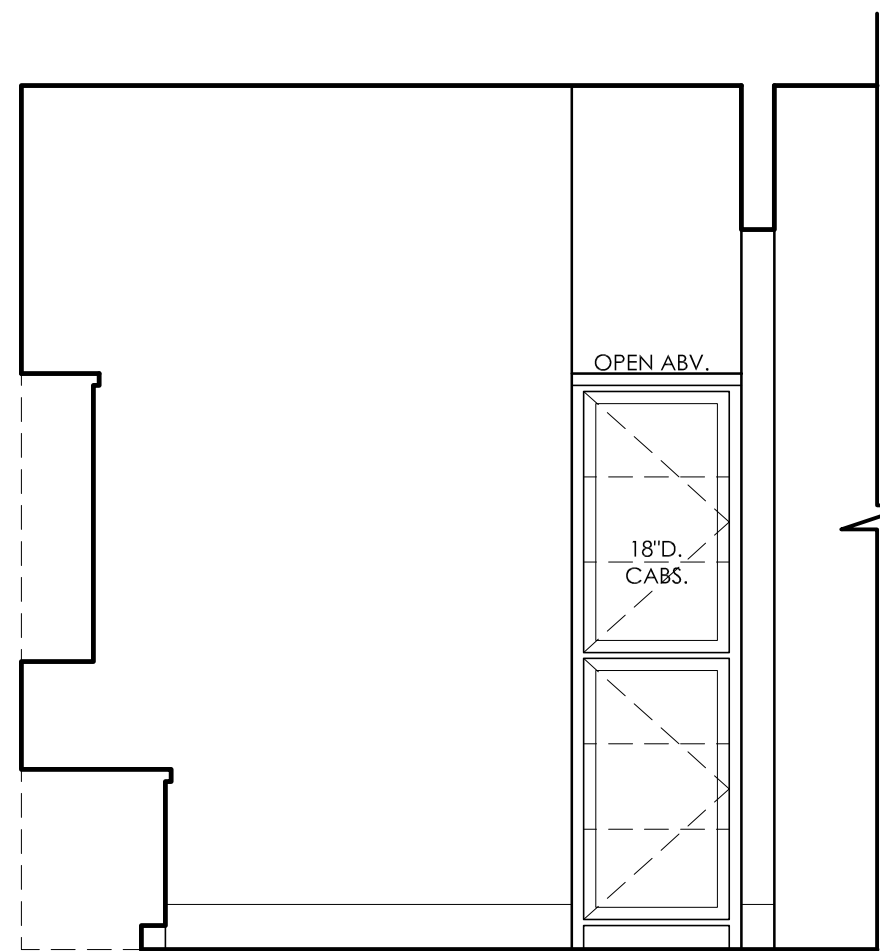
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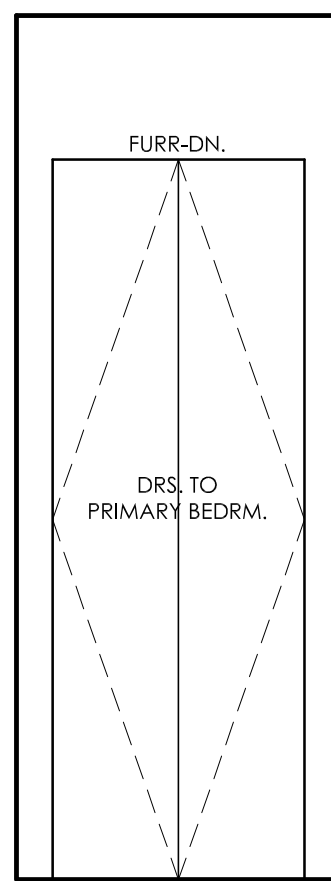
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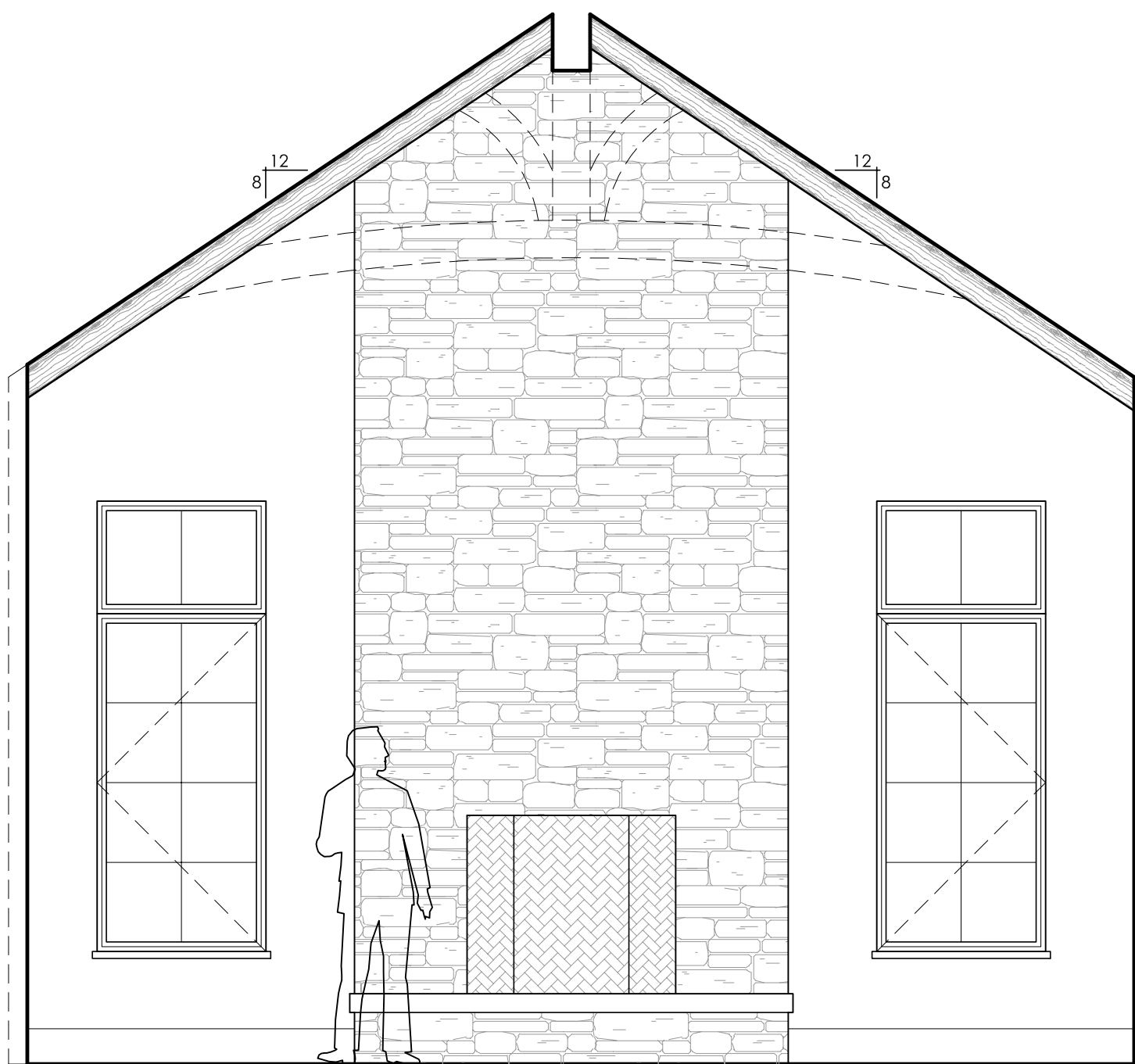
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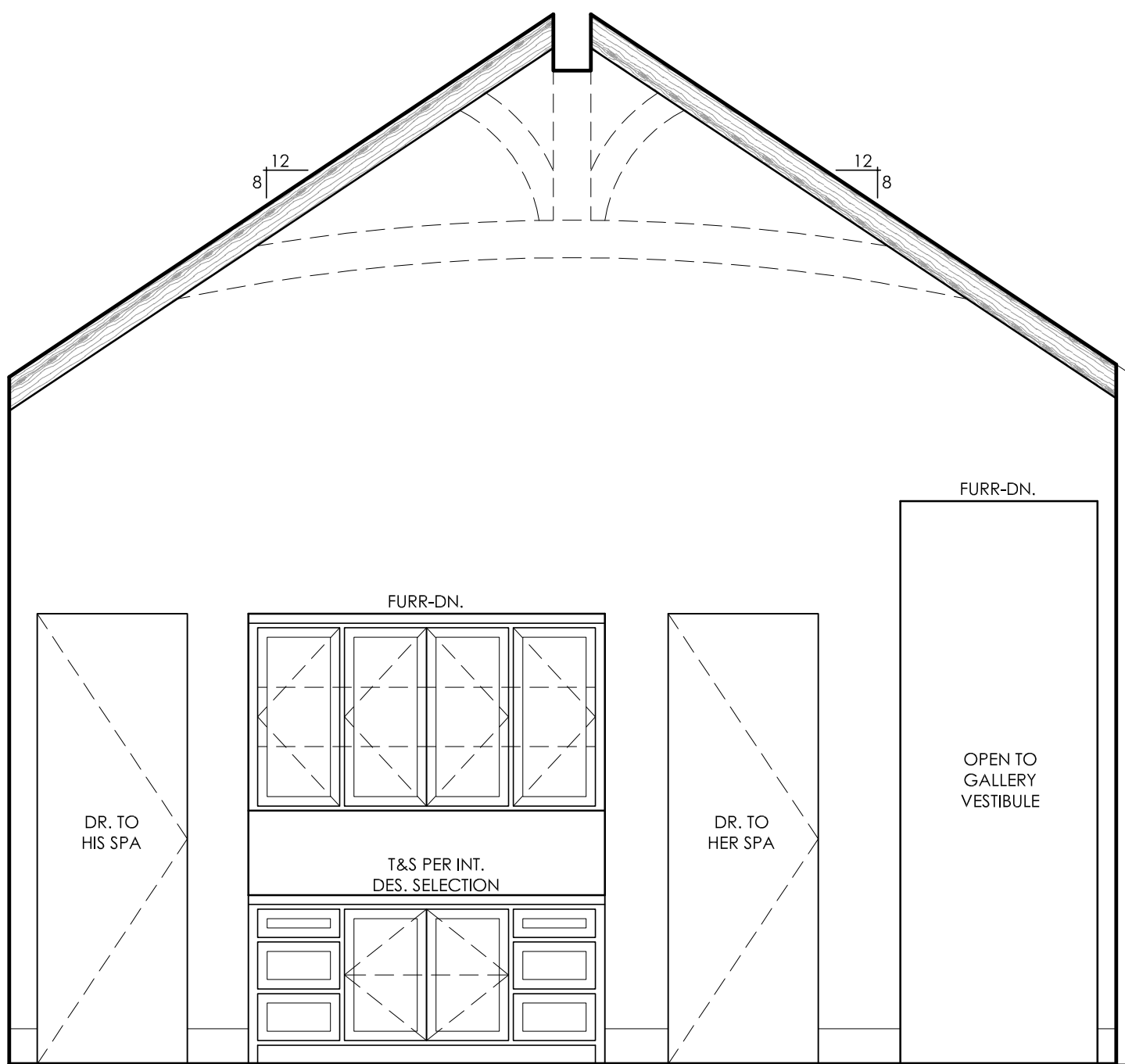
53 HER OFFICE



54 PRIMARY BEDRM. HALLWAY



55 PRIMARY BEDRM.



56 PRIMARY BEDRM.

INTERIOR ELEVATIONS
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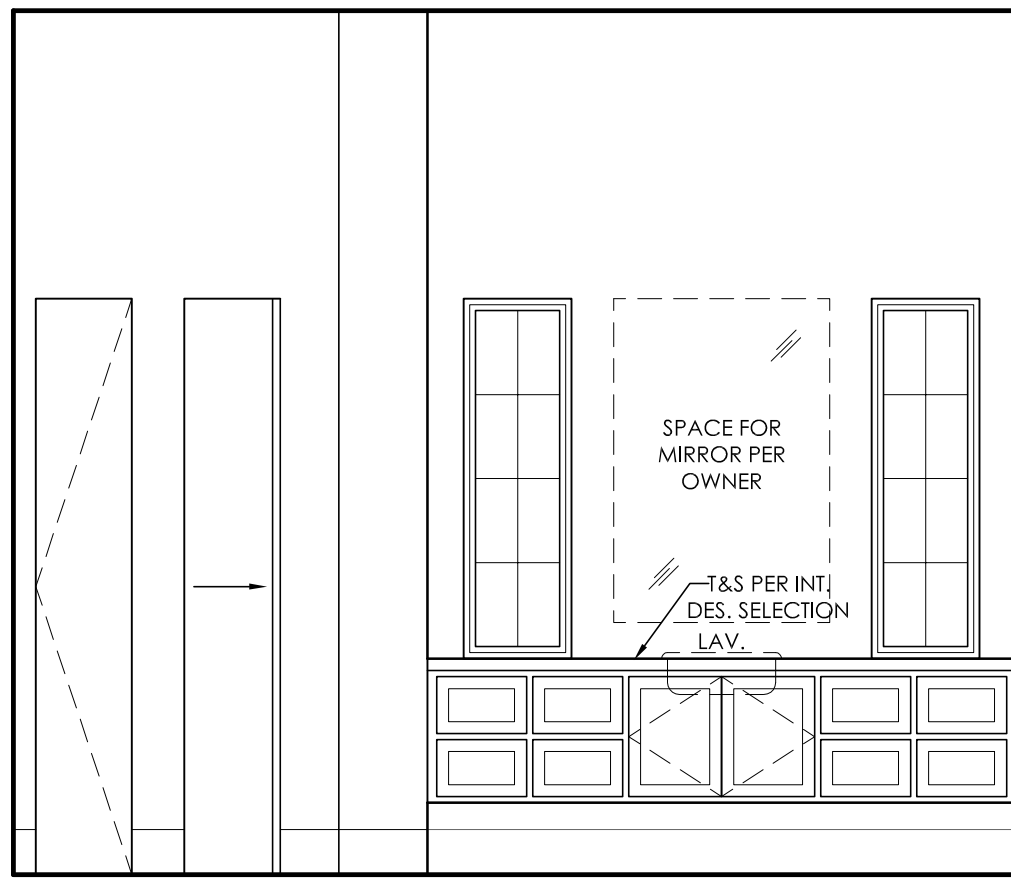
JOB NO.: 39 PASCAL LN.

NAME: INTERIORS

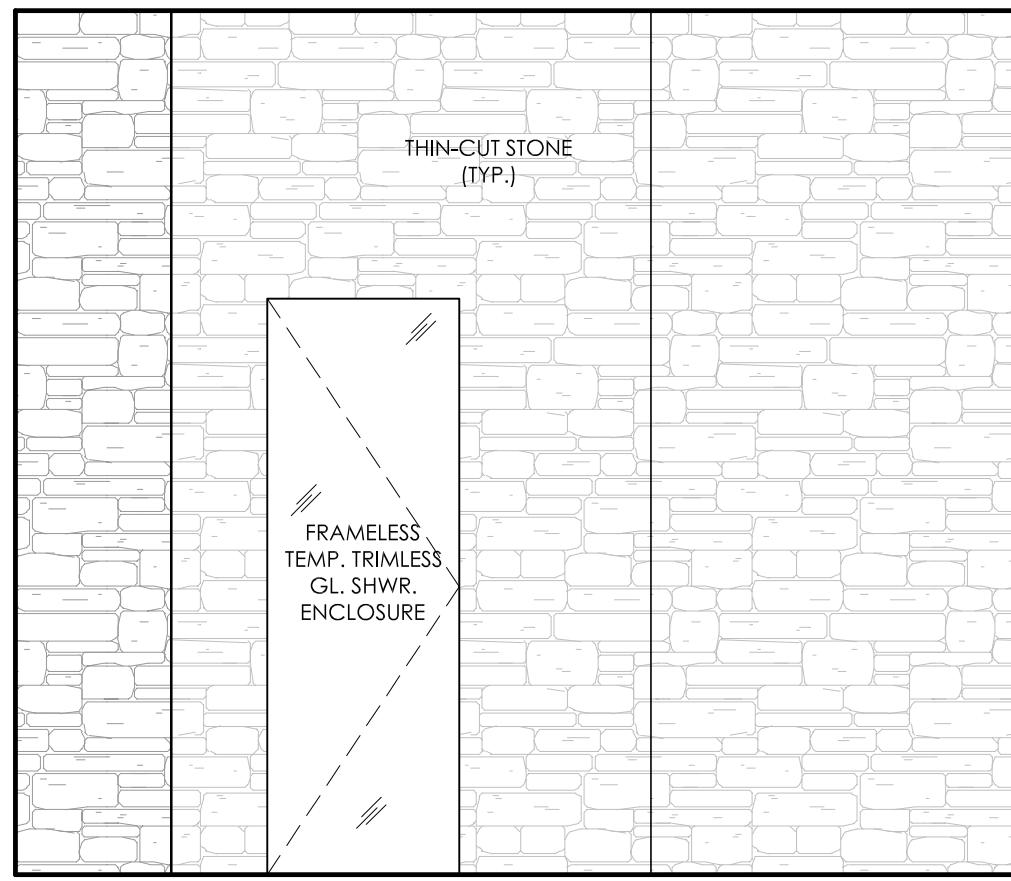
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SHEET

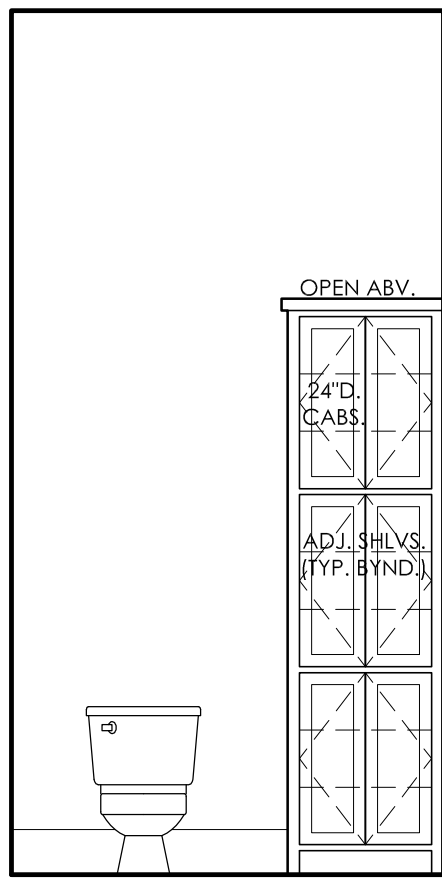
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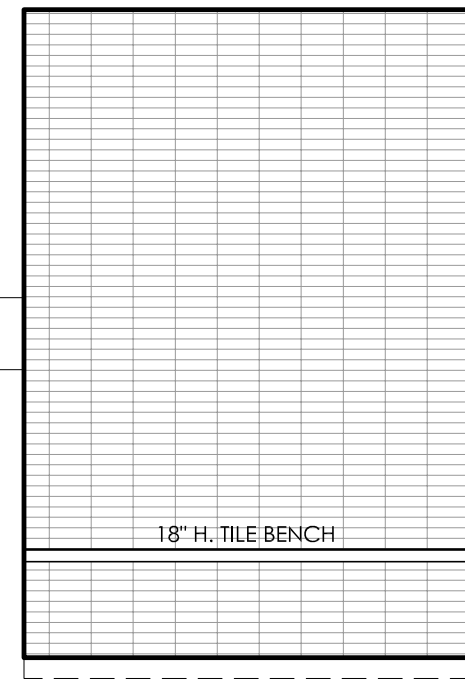
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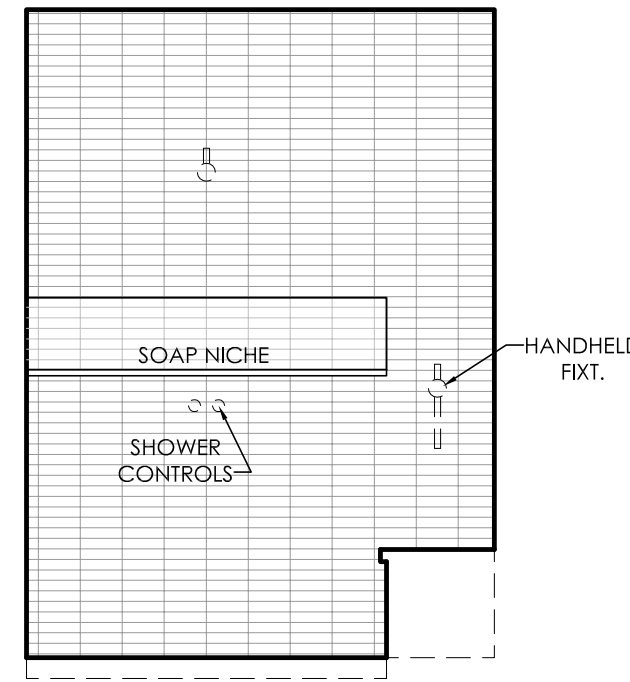
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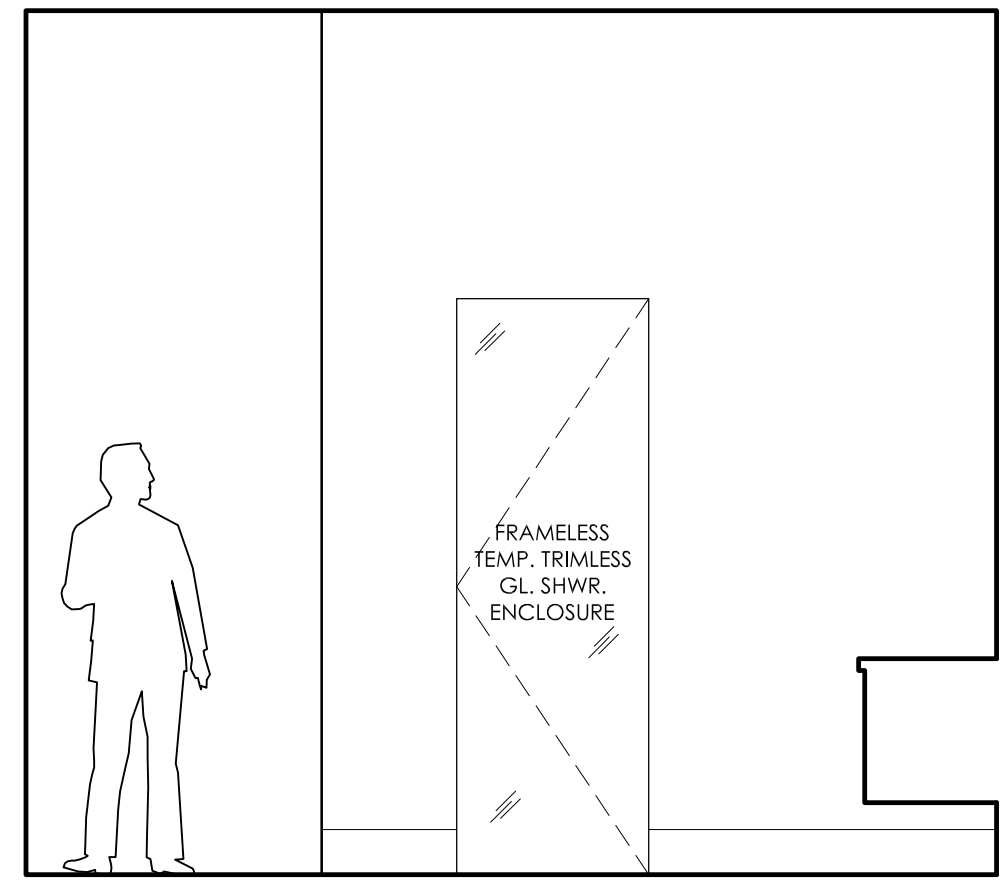
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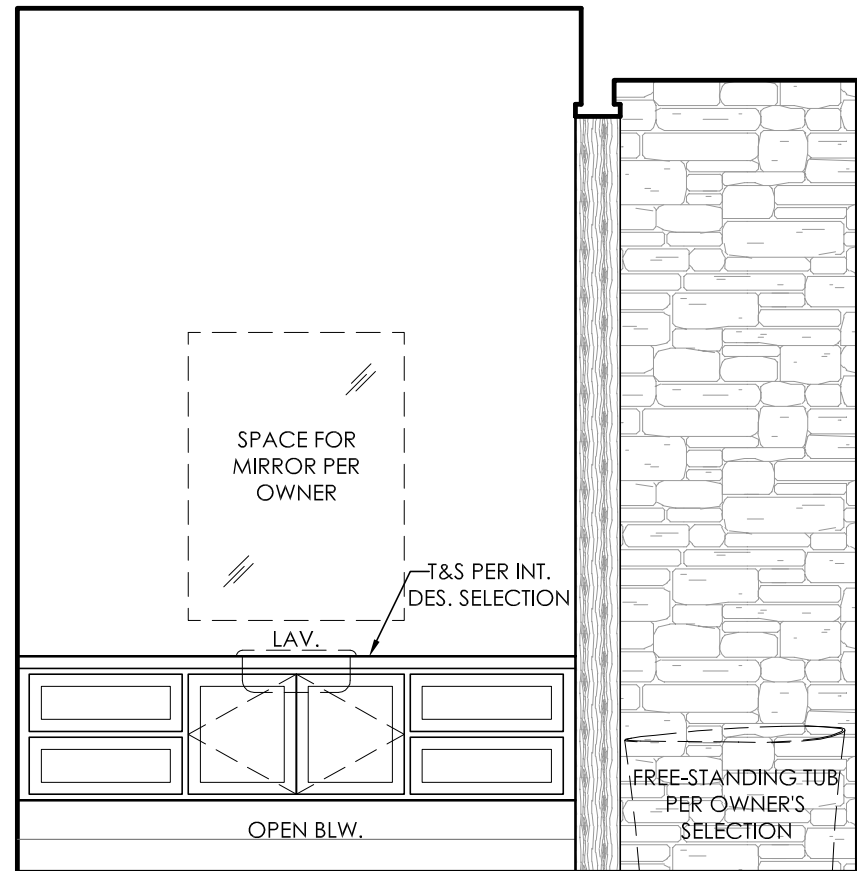
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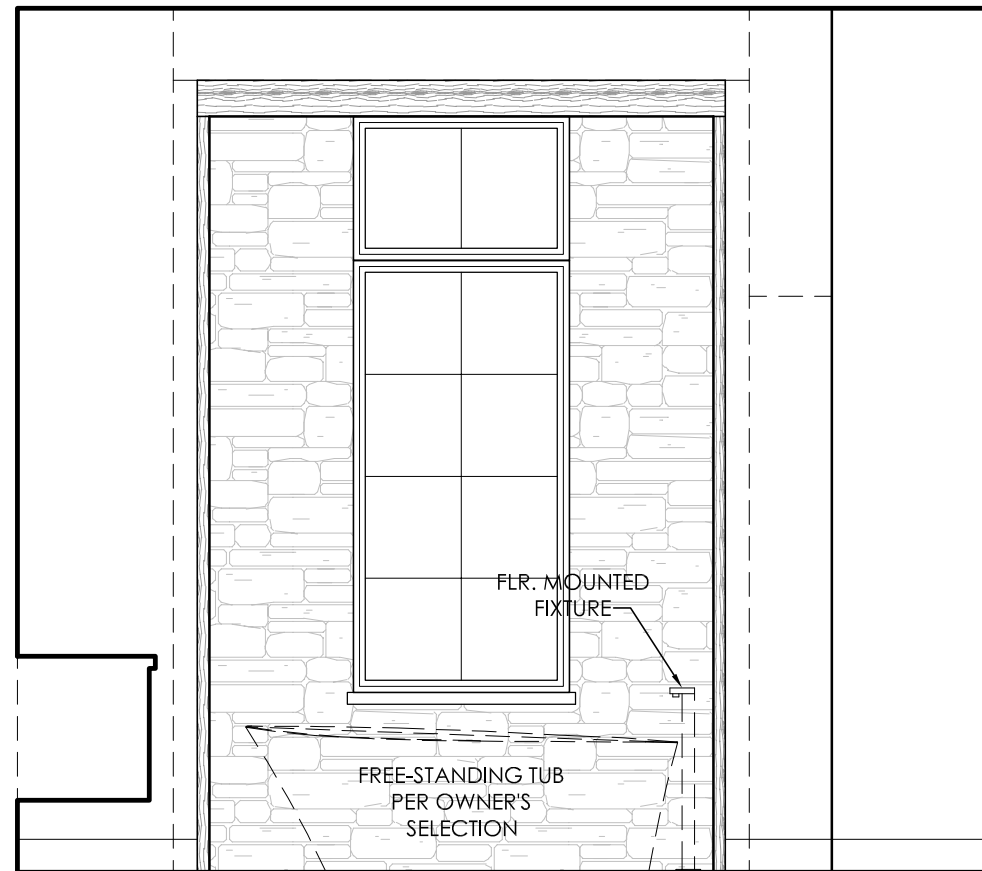
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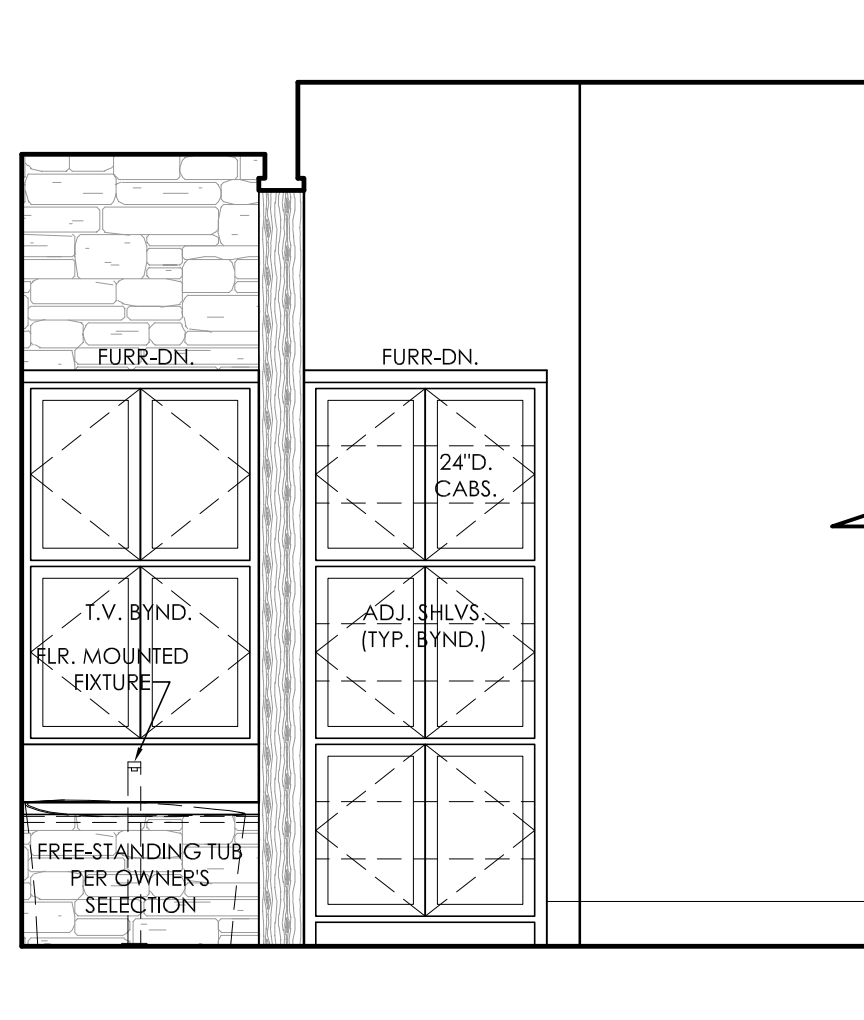
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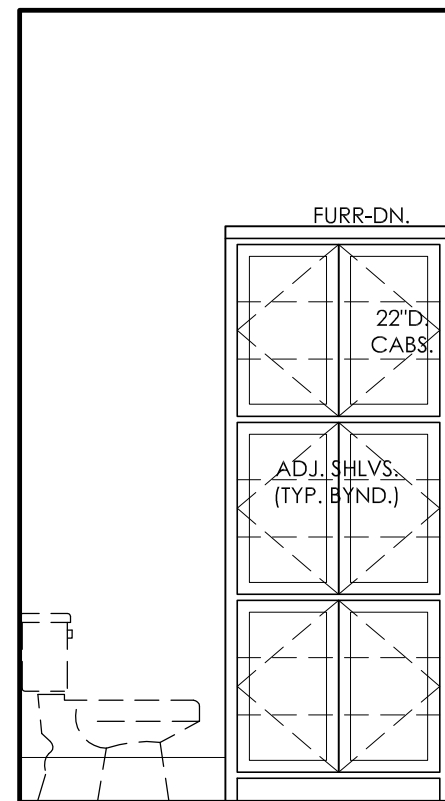
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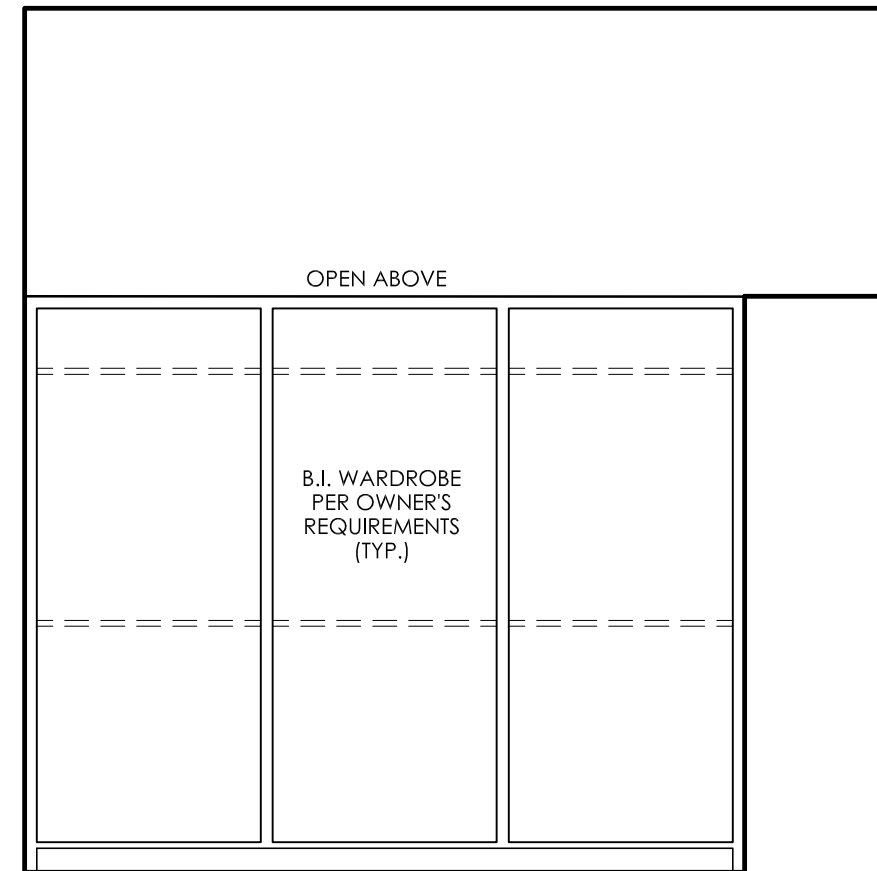
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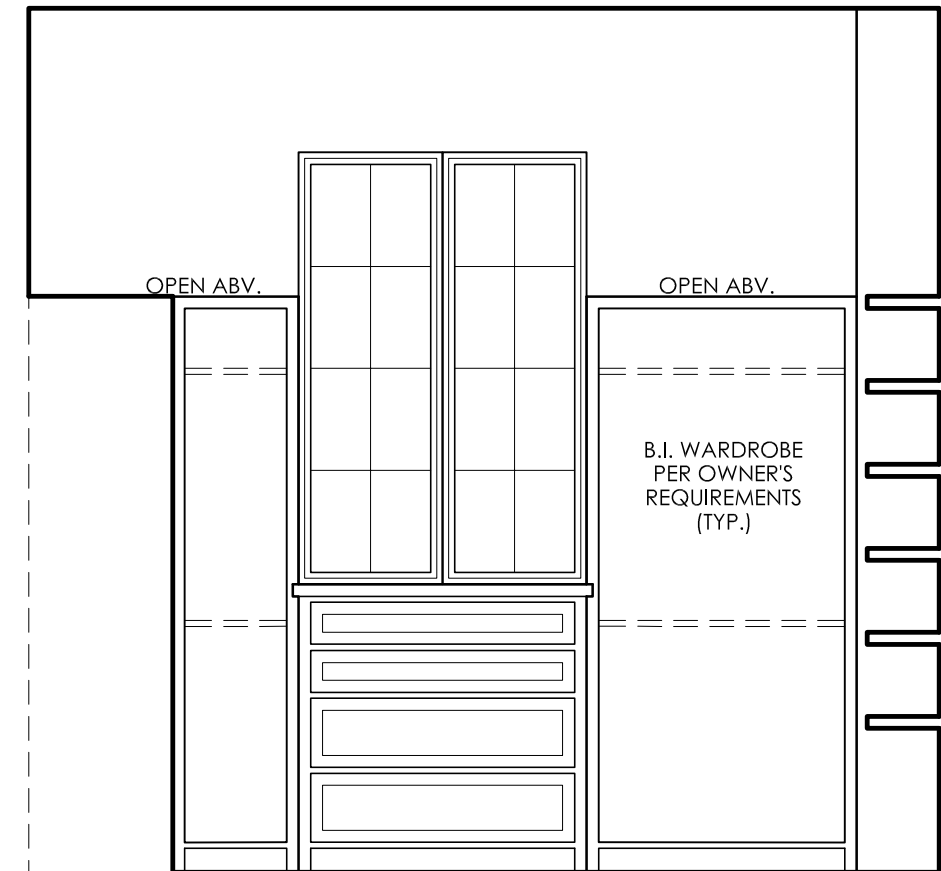
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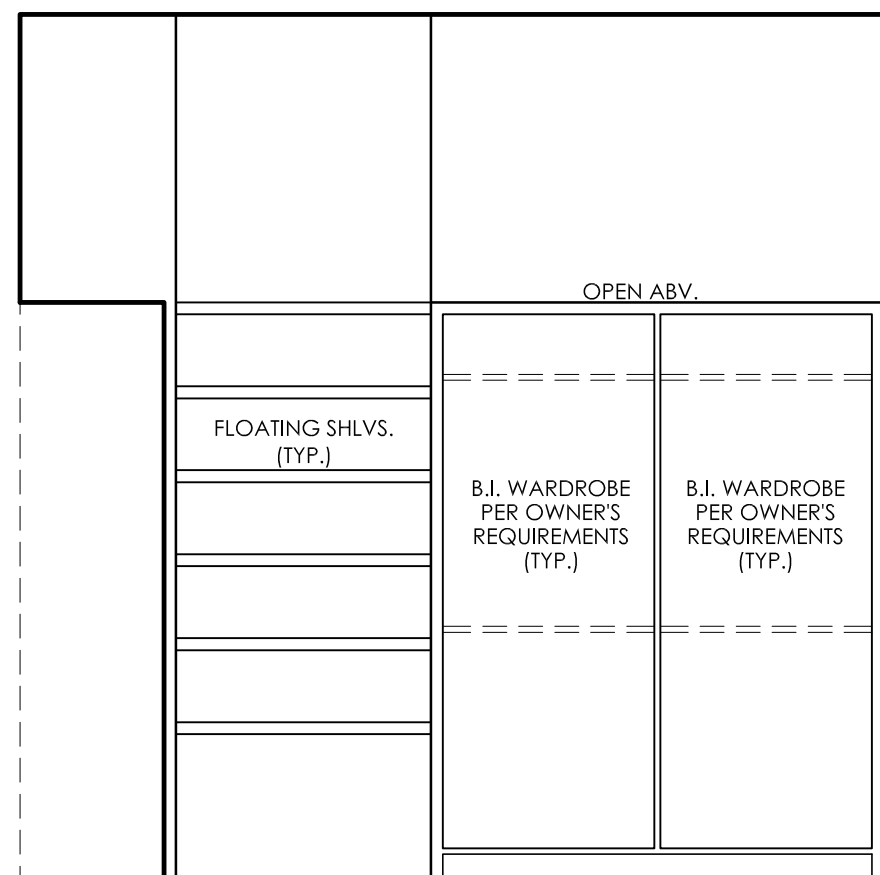
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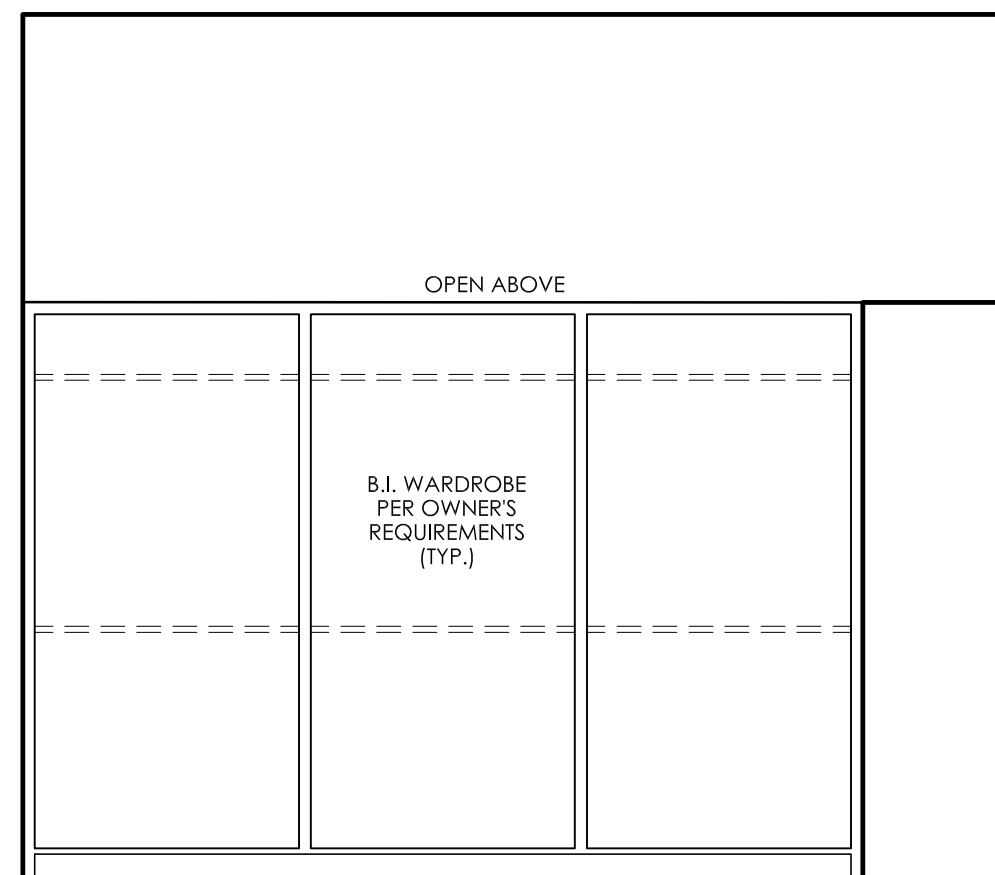
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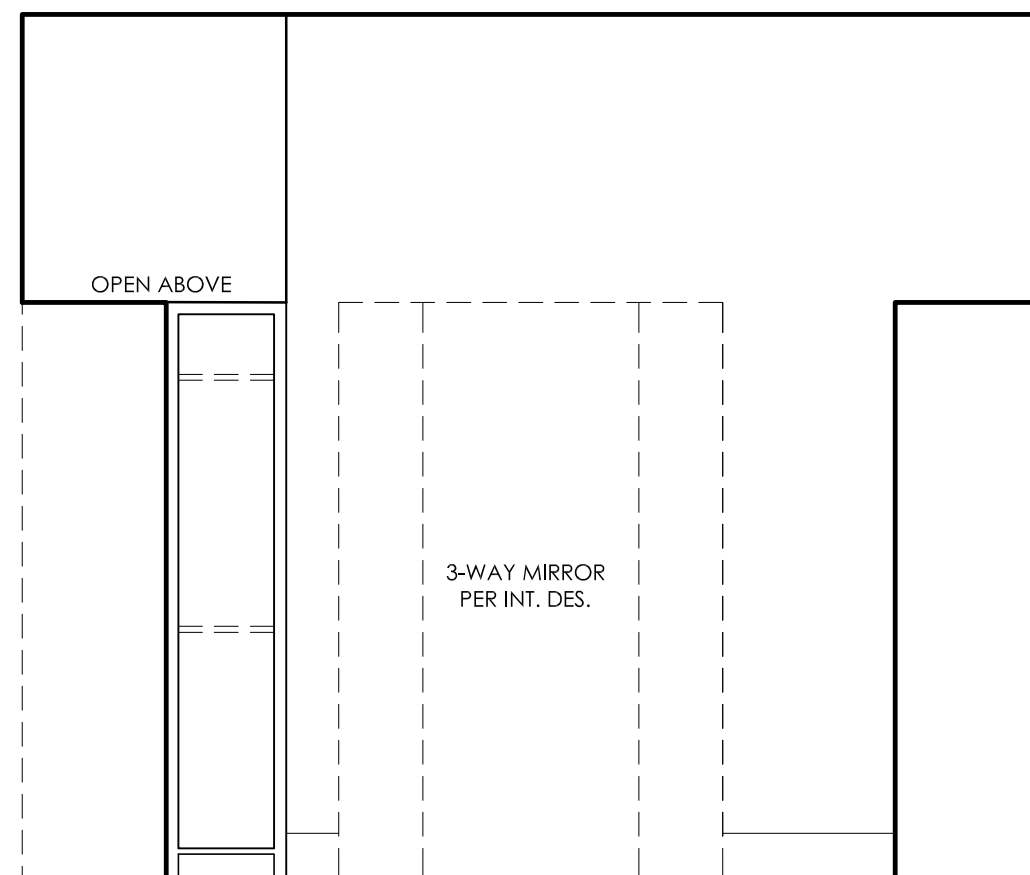
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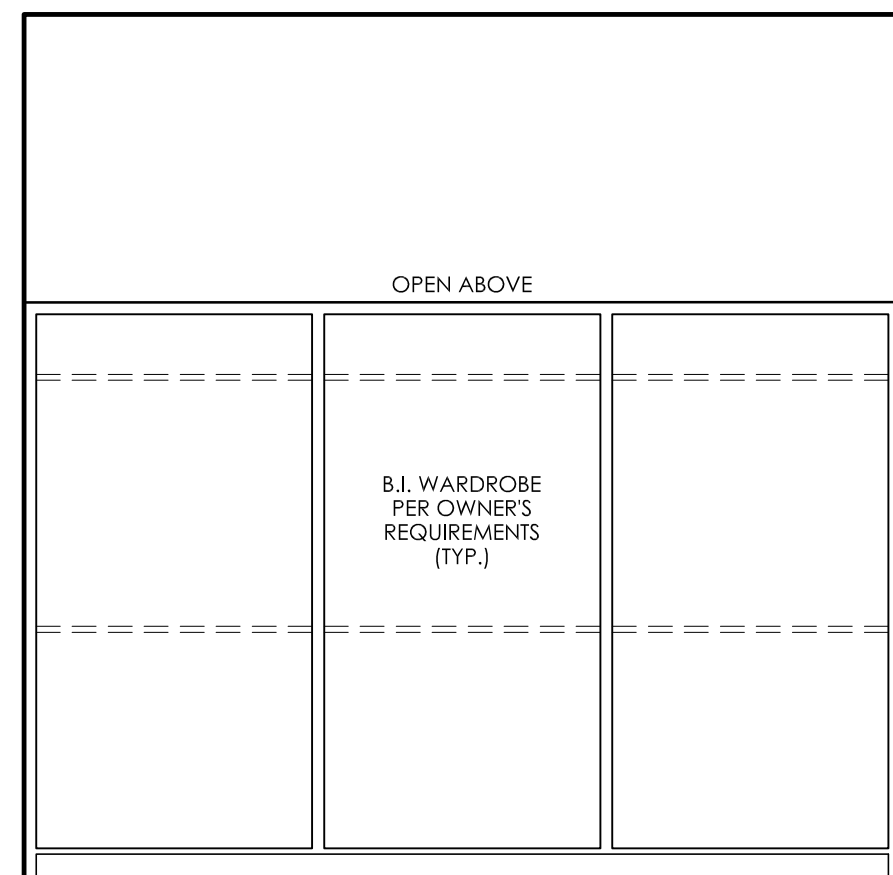
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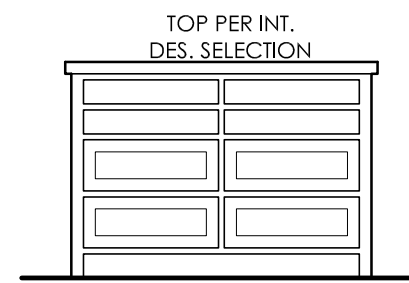
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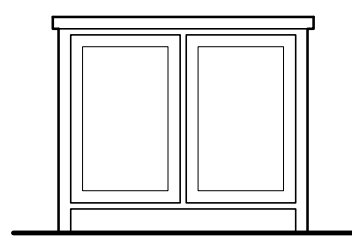
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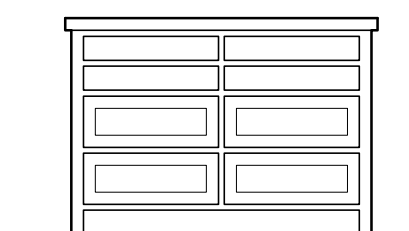
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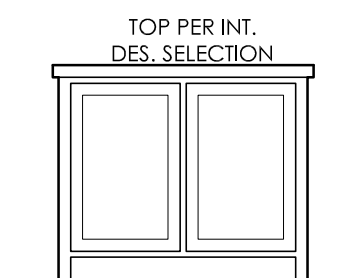
73 HER W.I.C. ISLAND



74 HER W.I.C. ISLAND



73 HER W.I.C. ISLAND



74 HER W.I.C. ISLAND

INTERIOR ELEVATIONS

SCALE 3/8" = 1'-0"

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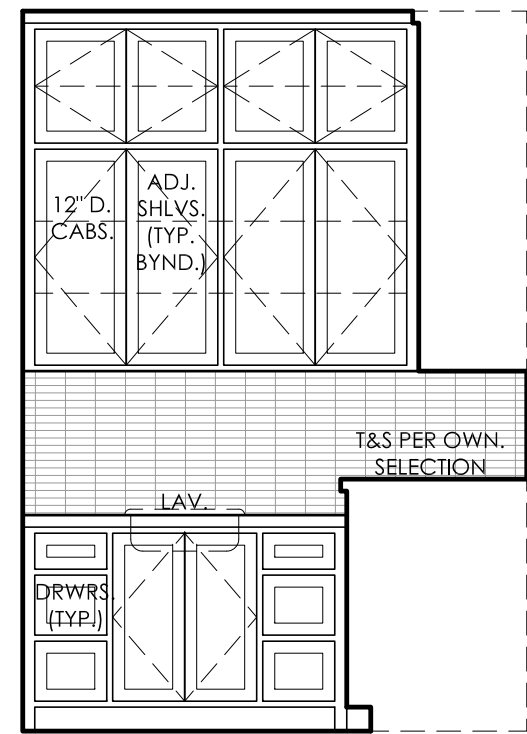
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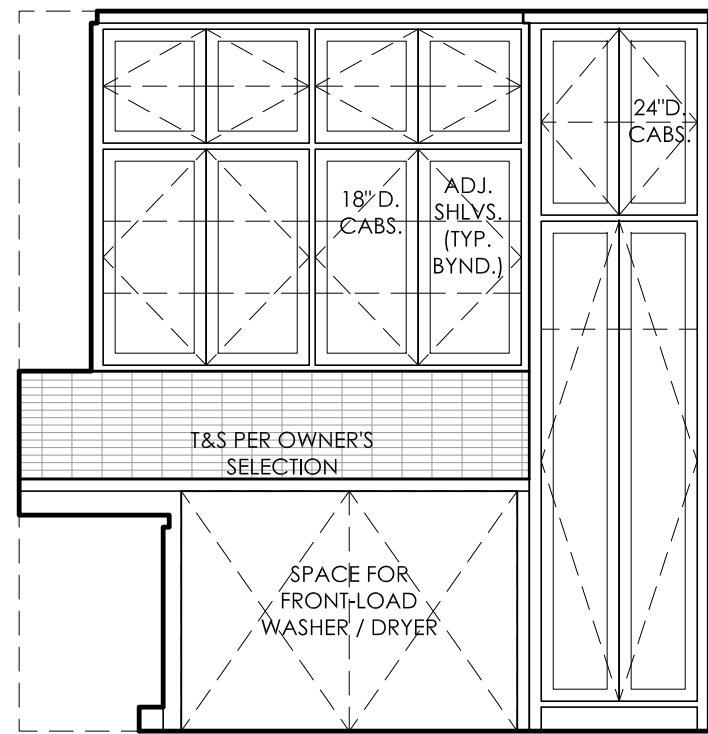
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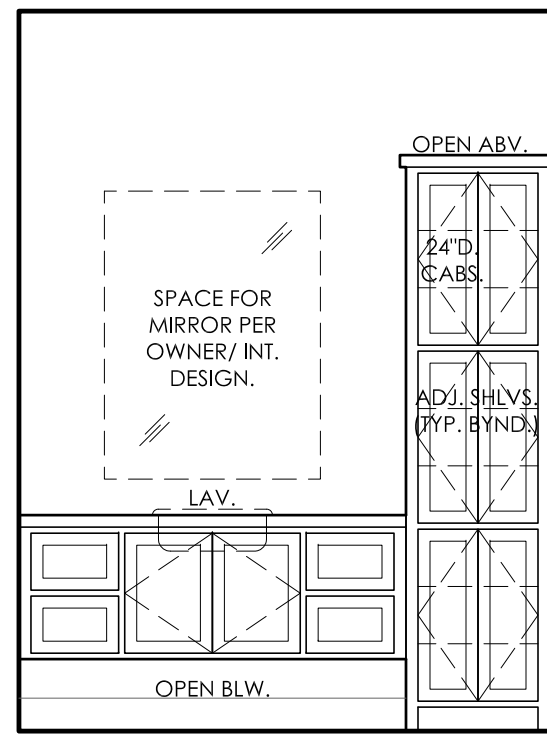
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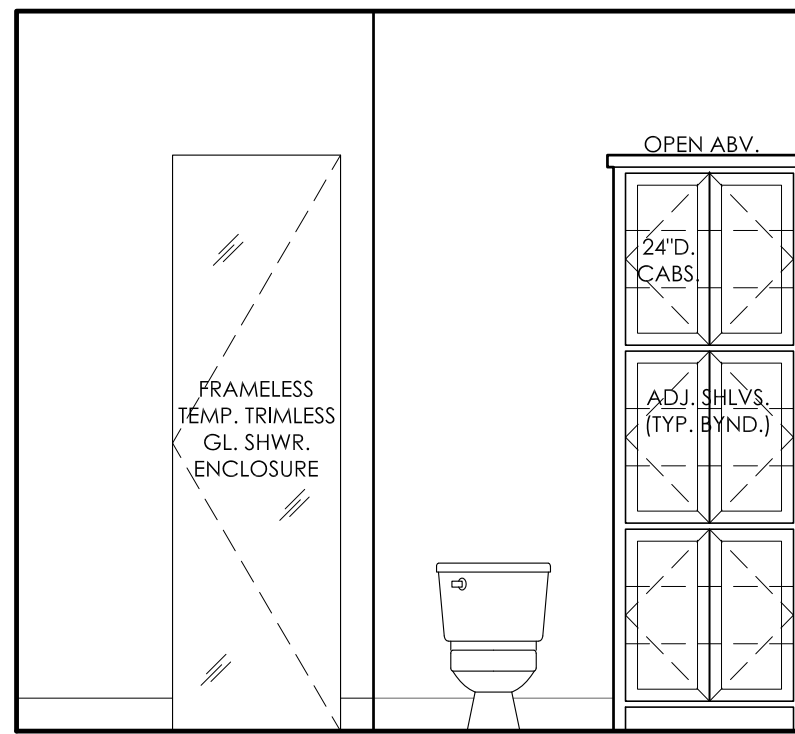
75 UTILITY 2



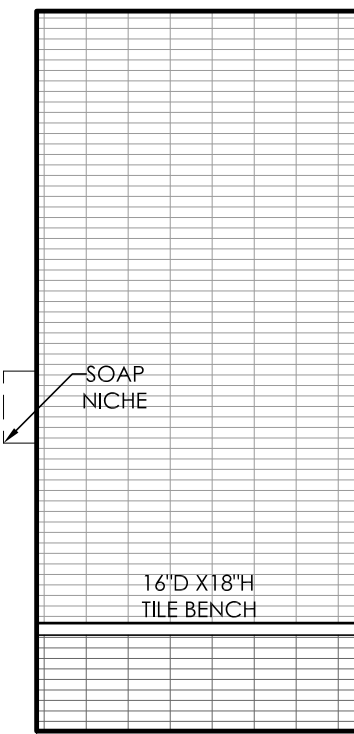
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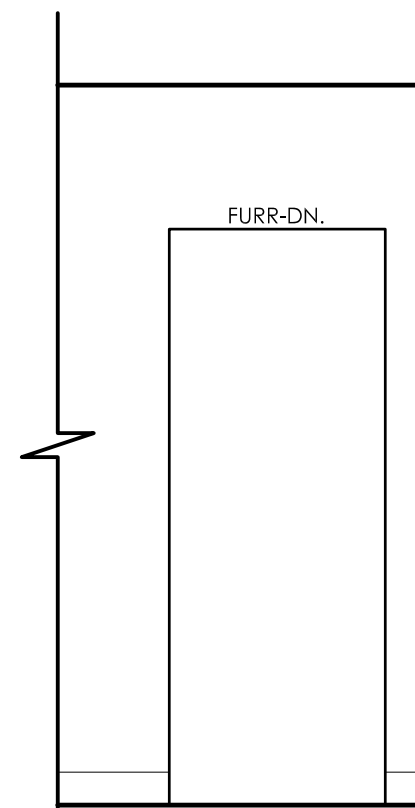
77 POOL BATH



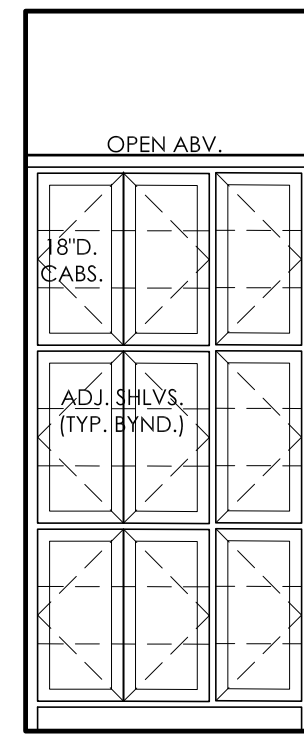
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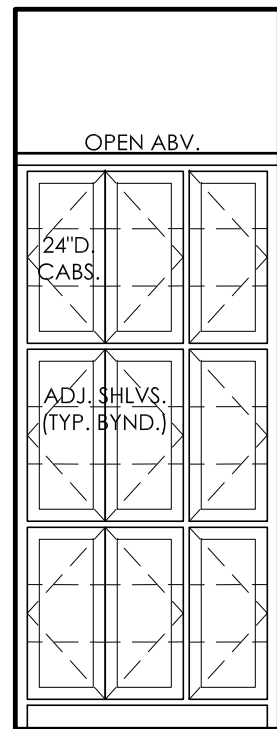
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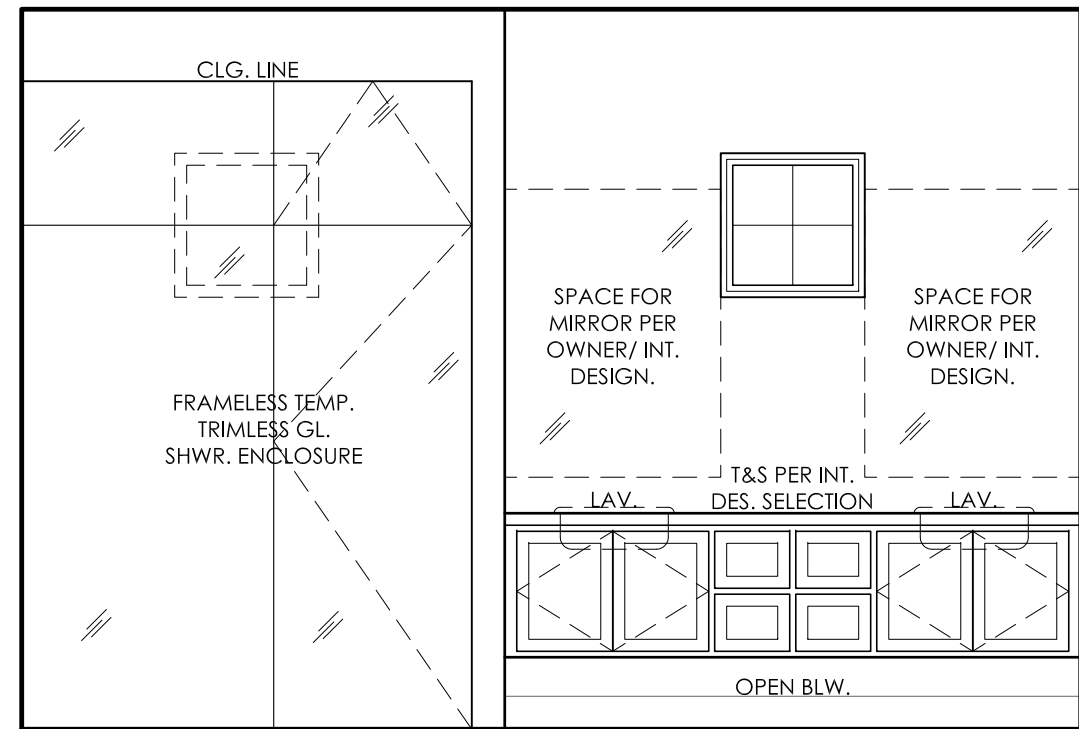
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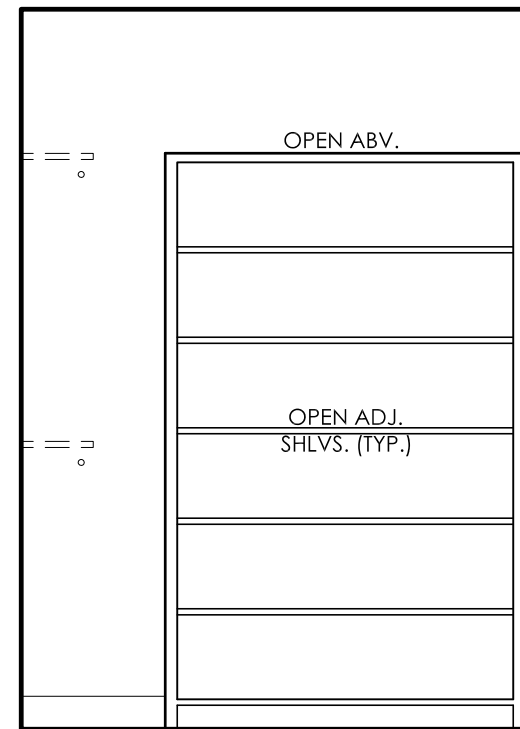
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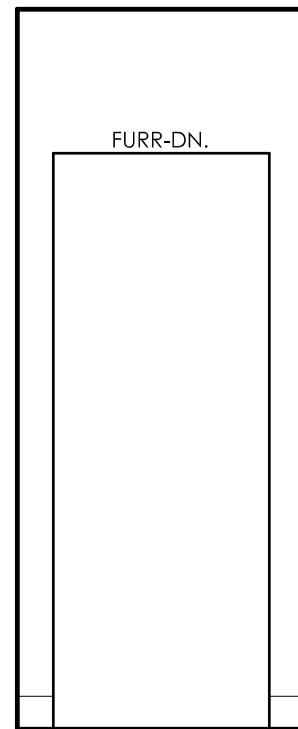
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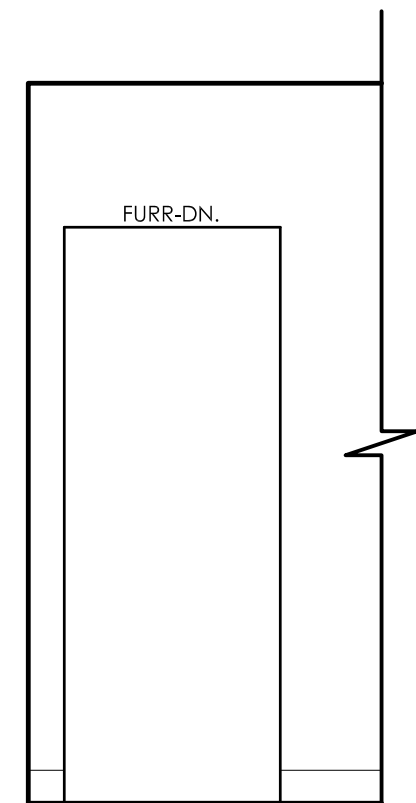
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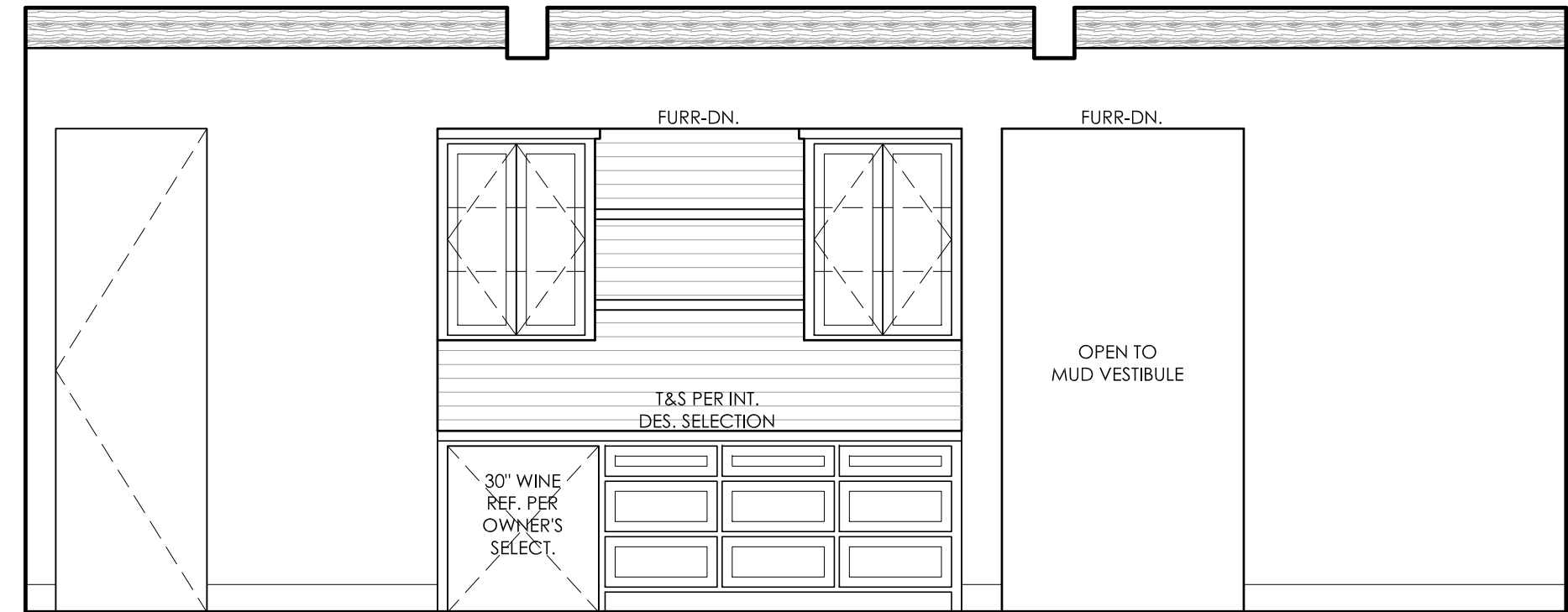
84 W.I.C.



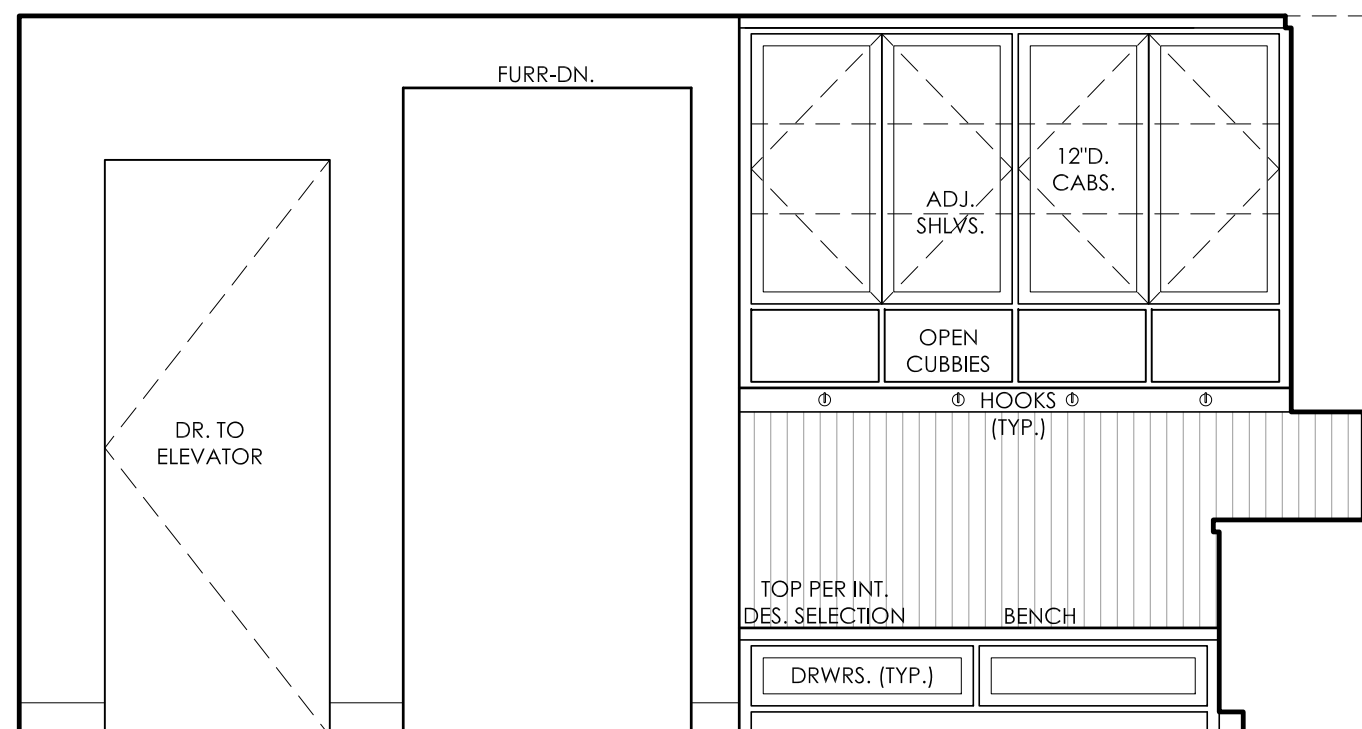
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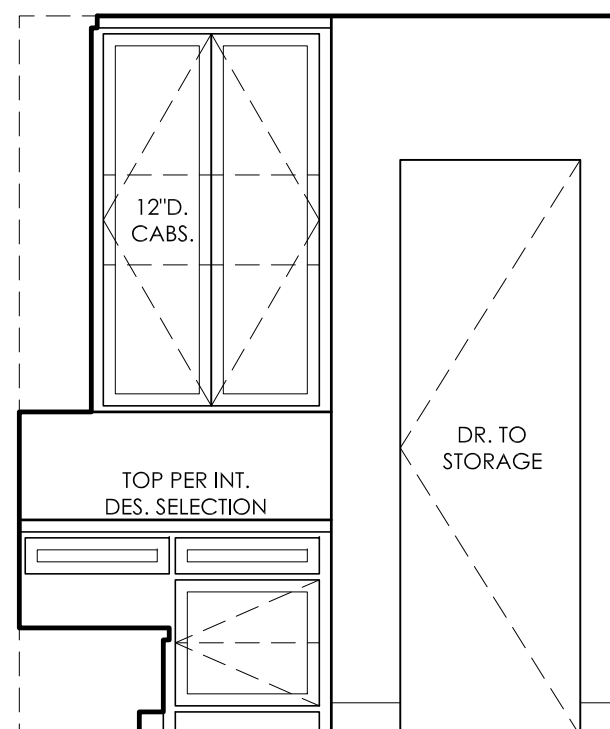
86 FLEX SPACE



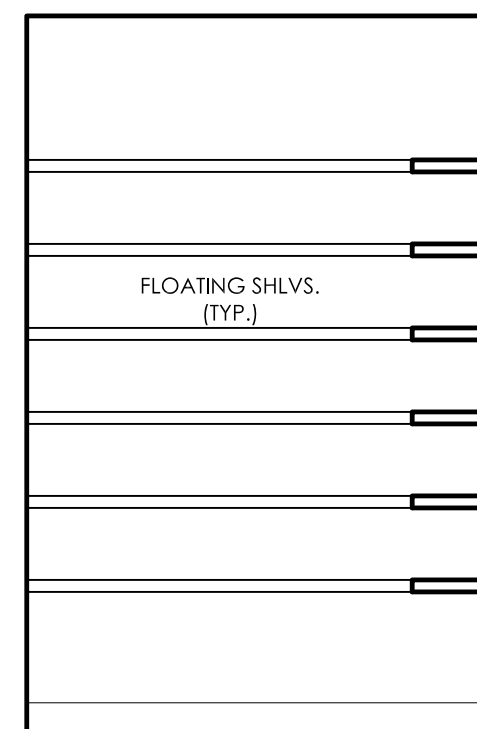
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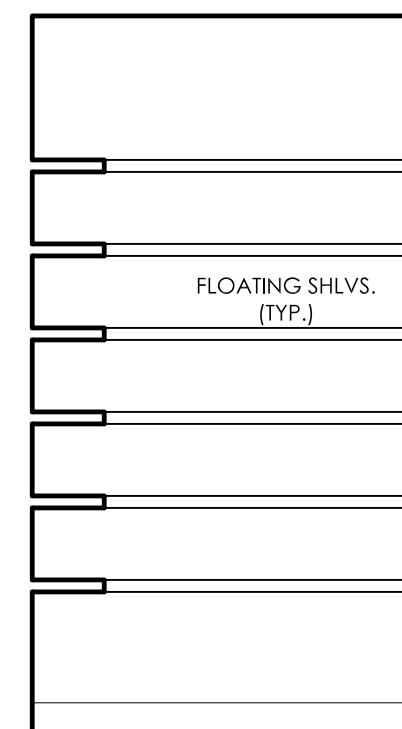
88 MUD ROOM



89 MUD ROOM



90 STORAGE



91 STORAGE

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AUSTIN, TX 78746

JOB NO.: 39 PASCAL LN.

NAME: INTERIORS

SCALE: 3/8"=1'-0"

SHEET

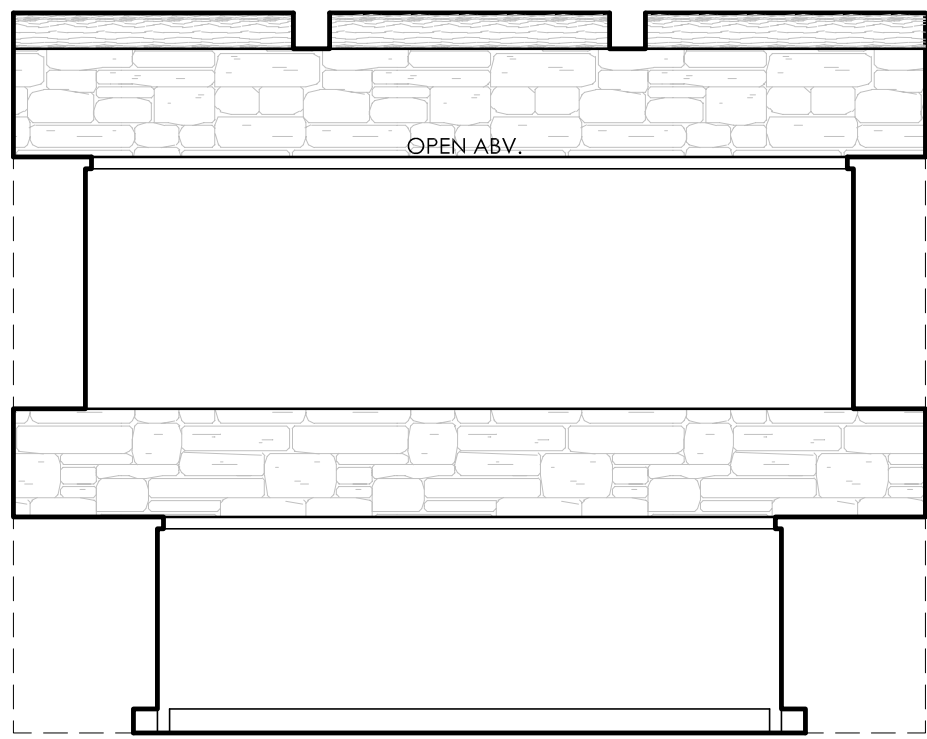
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INTERIOR ELEVATIONS

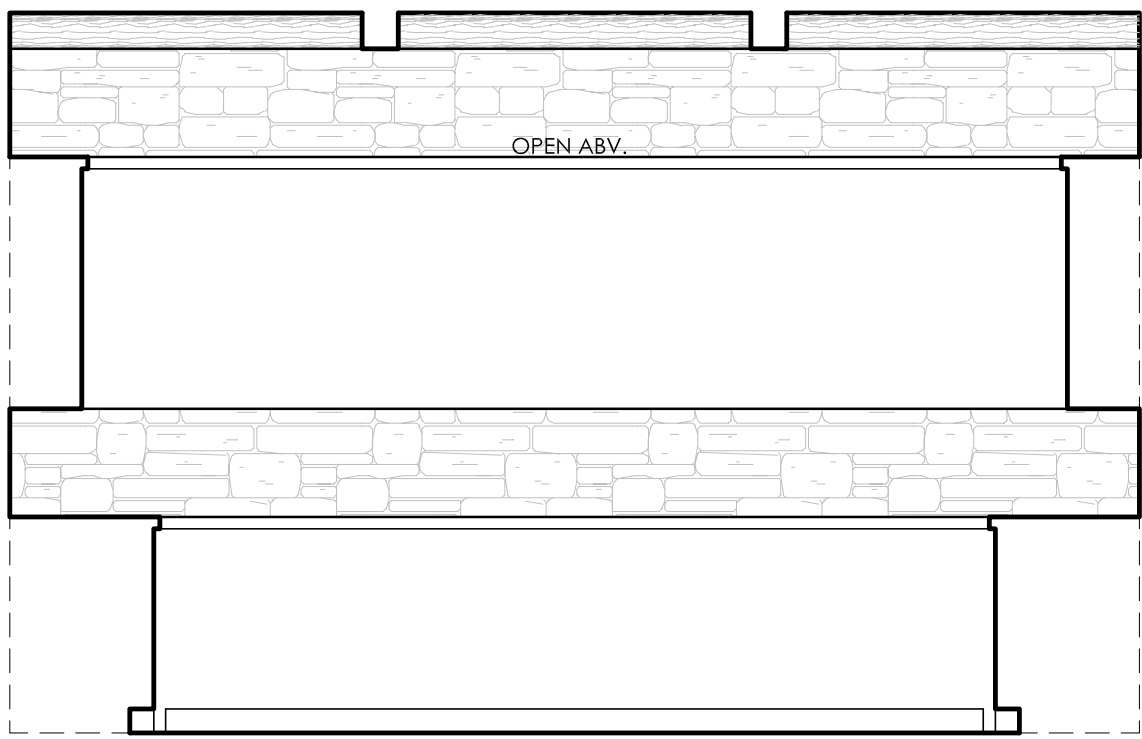
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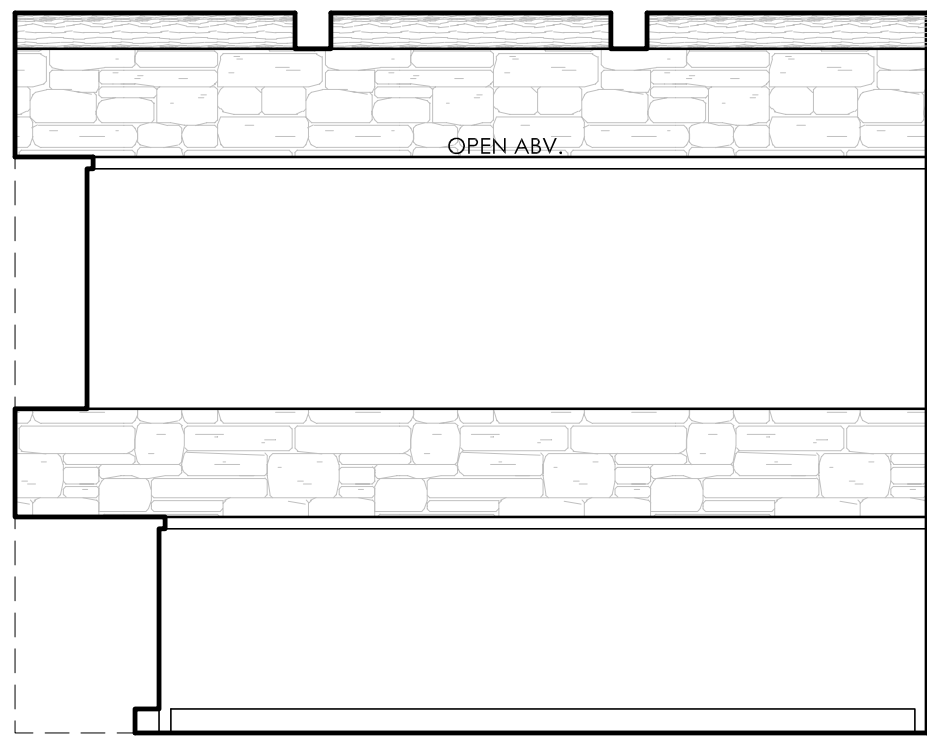
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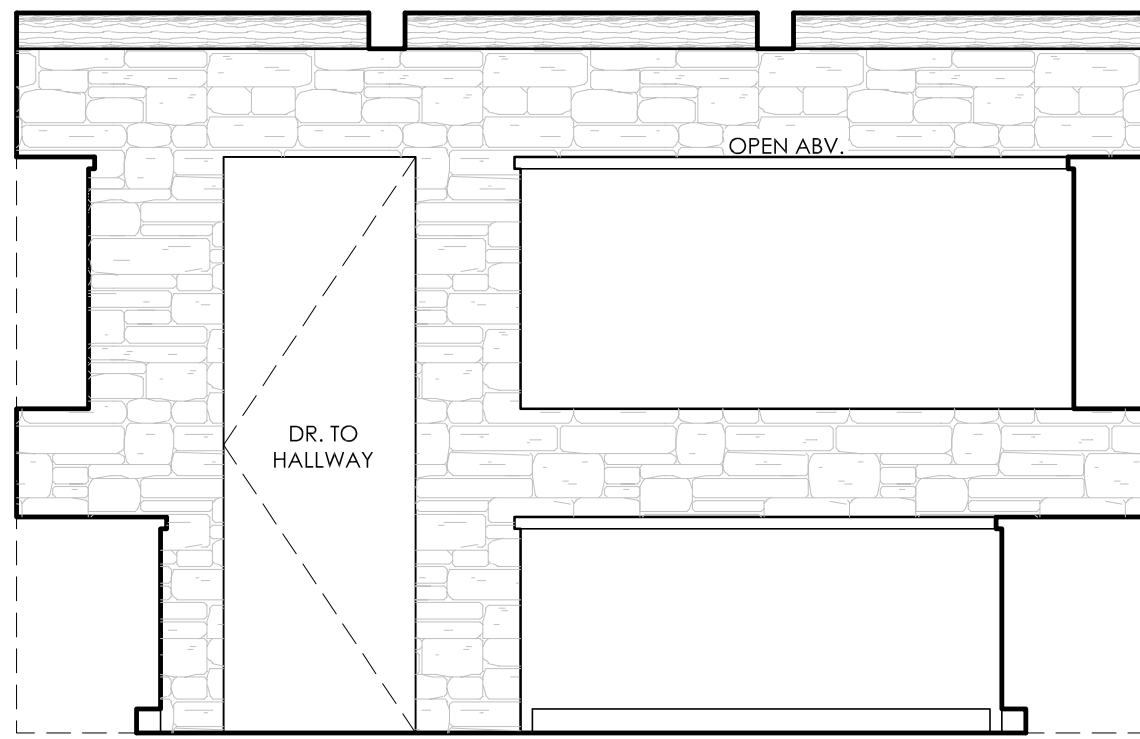
92 WINE RM.



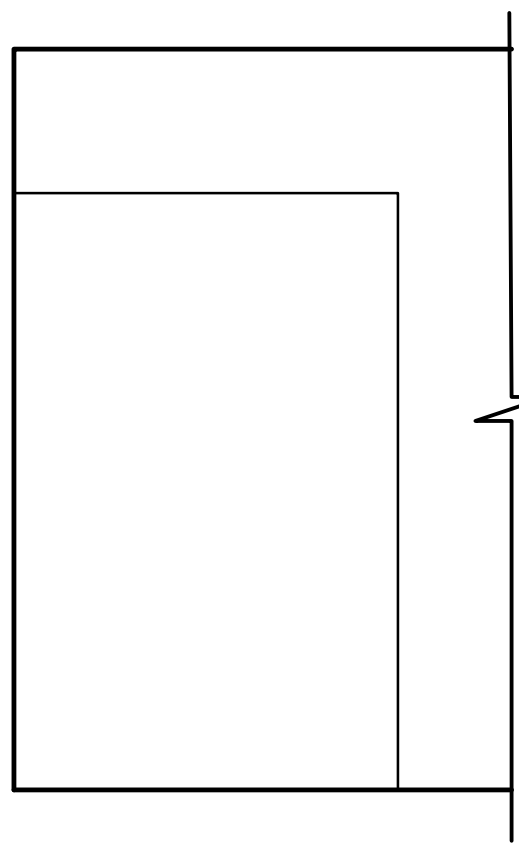
93 WINE RM.



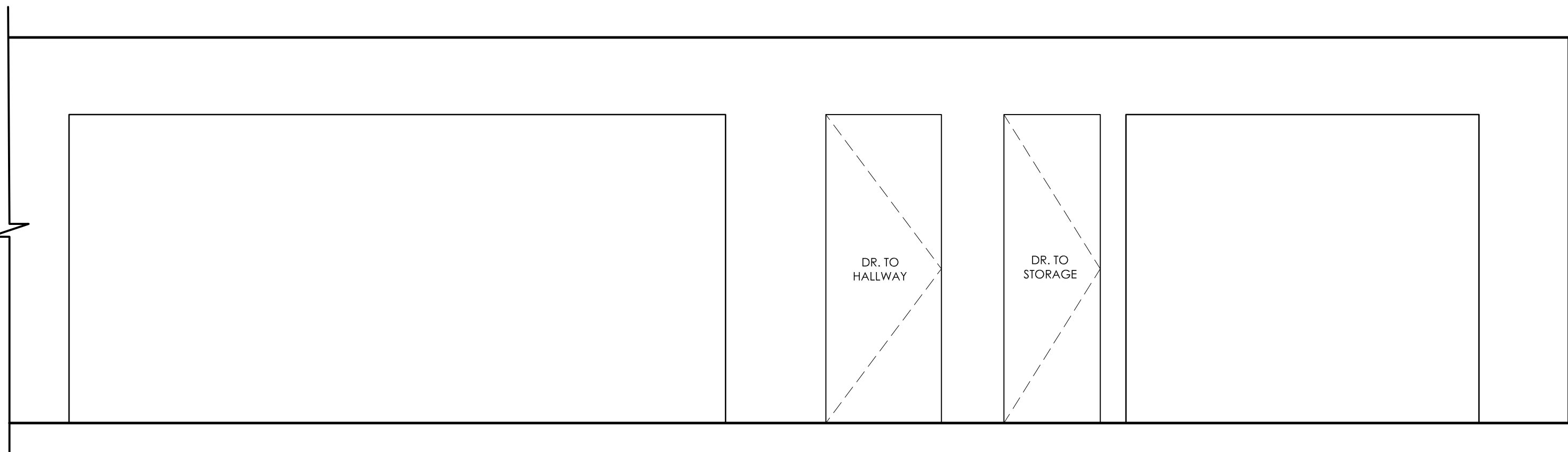
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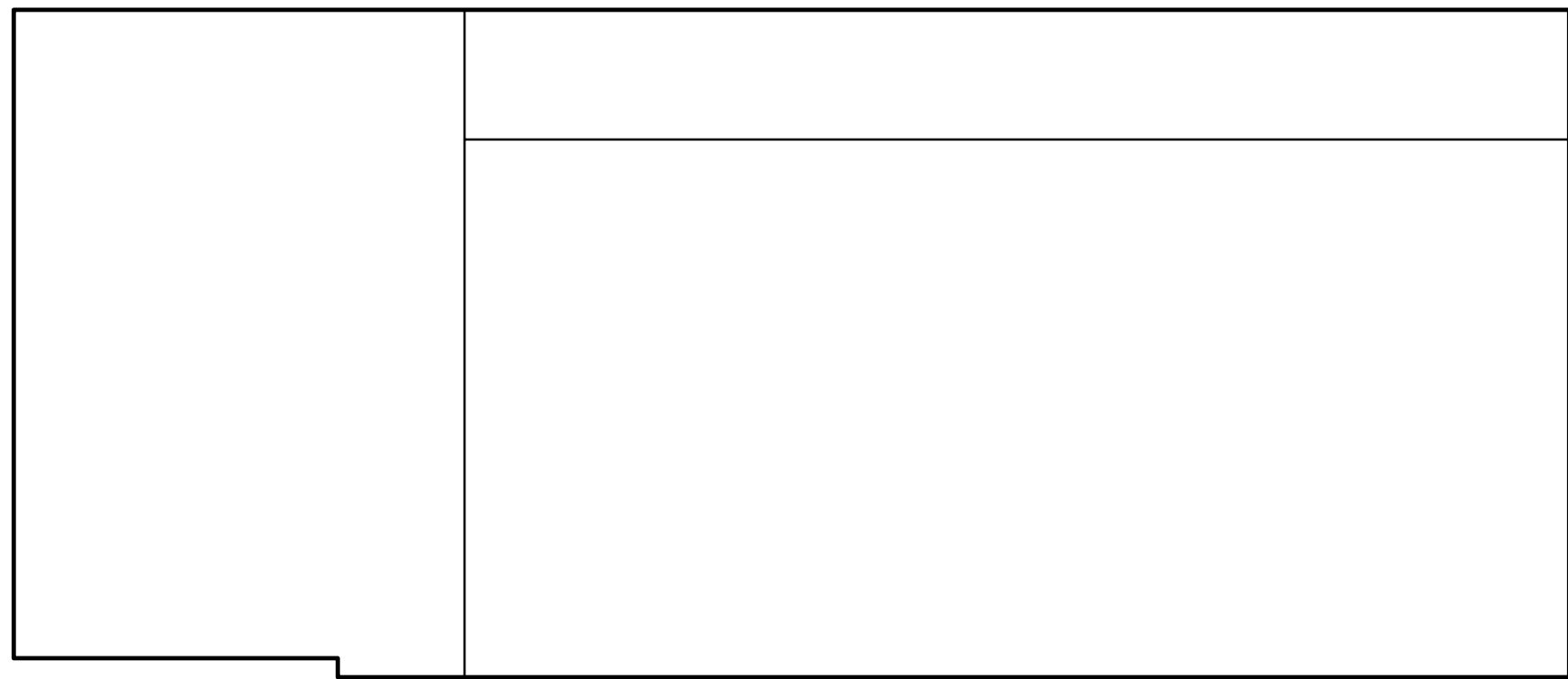
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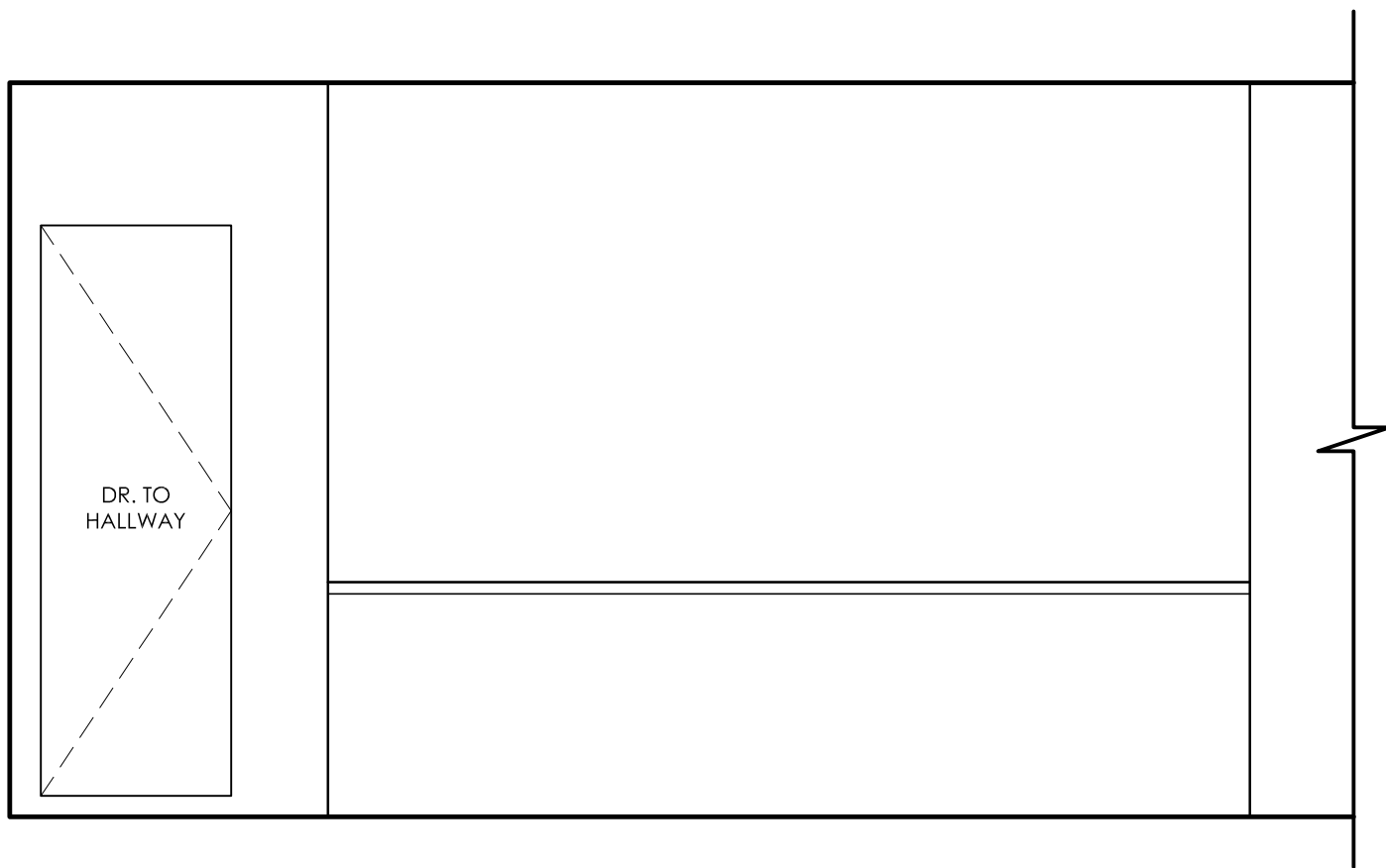
96 GARAGE



97 GARAGE



98 GARAGE



99 OUTDOOR KITCHEN



100 OUTDOOR KITCHEN



101 OUTDOOR KITCHEN

INTERIOR ELEVATIONS

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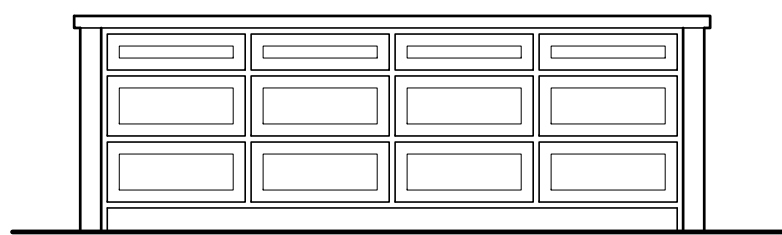
JOB NO.: 39 PASCAL LN.

NAME: INTERIORS

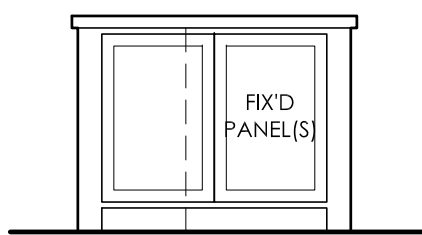
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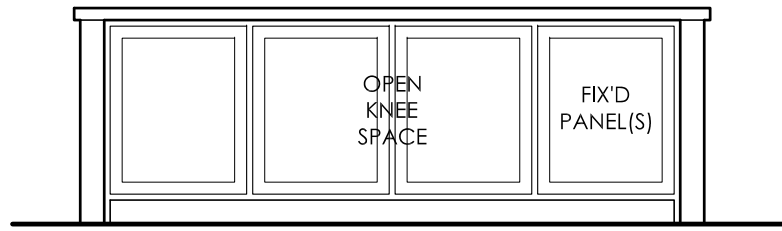
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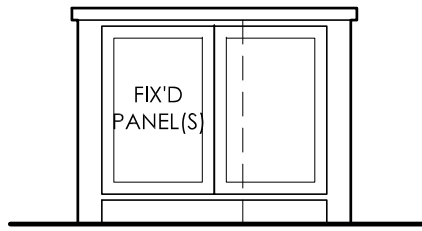
102 CASITA KITCH. ISLAND



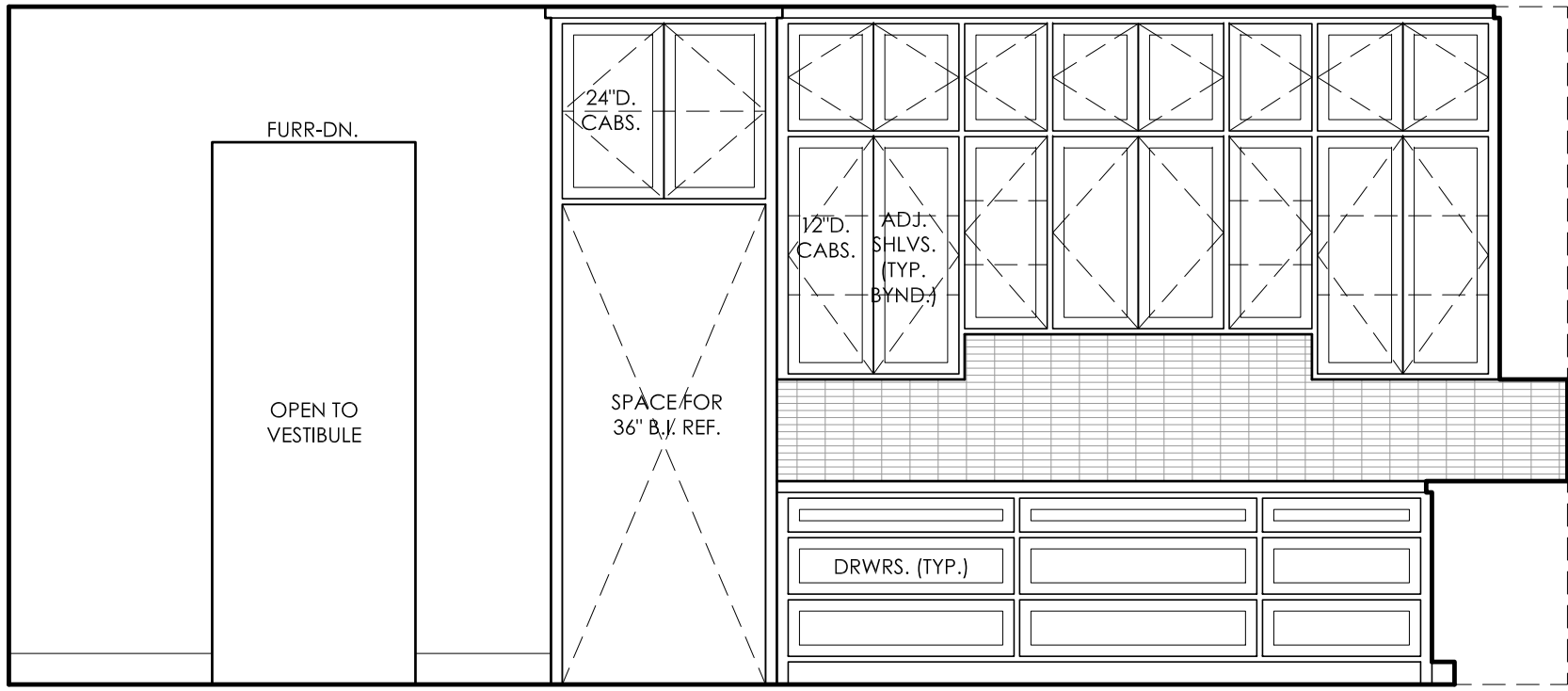
103 CASITA KITCH. ISLAND



104 CASITA KITCH. ISLAND



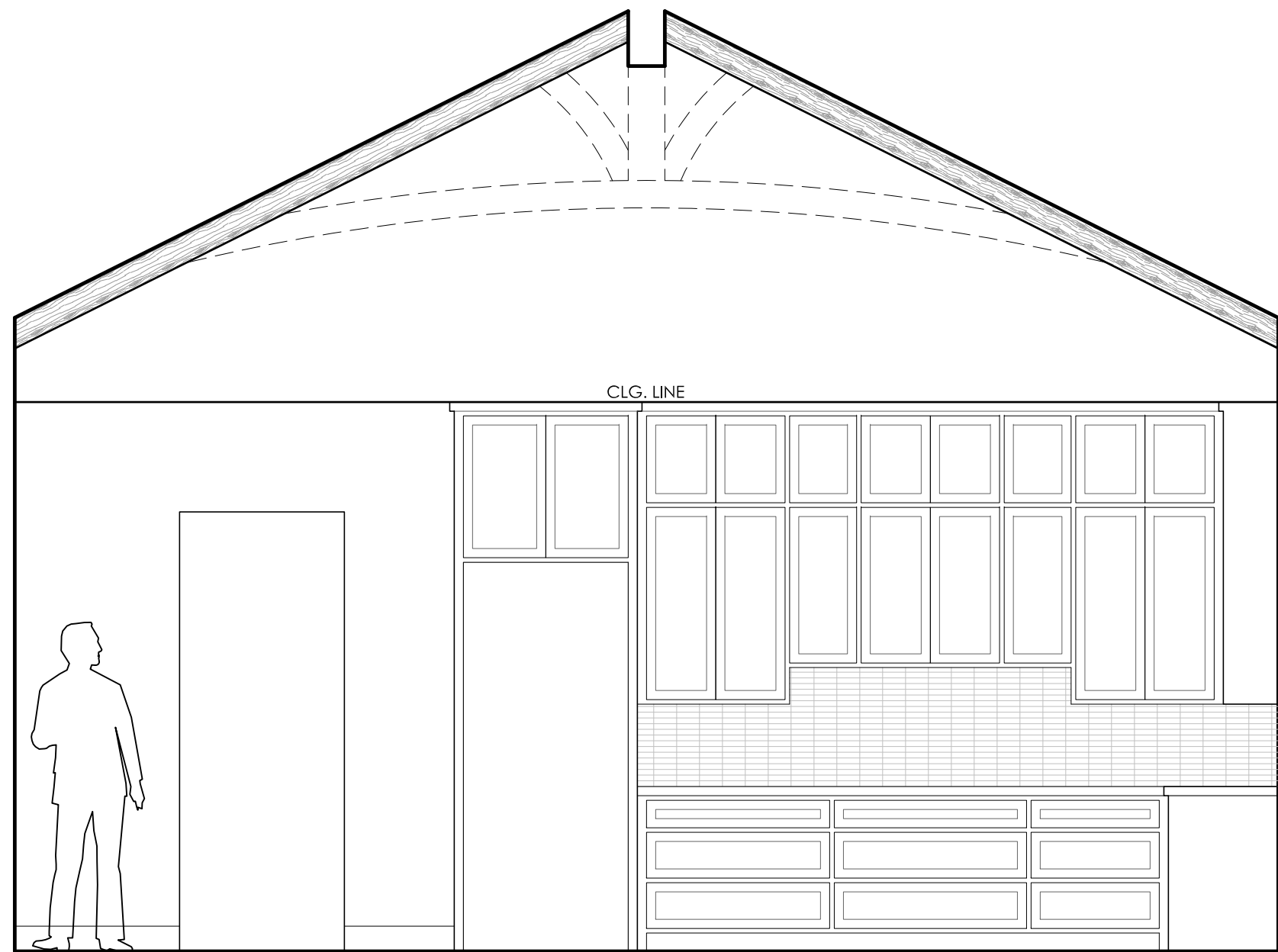
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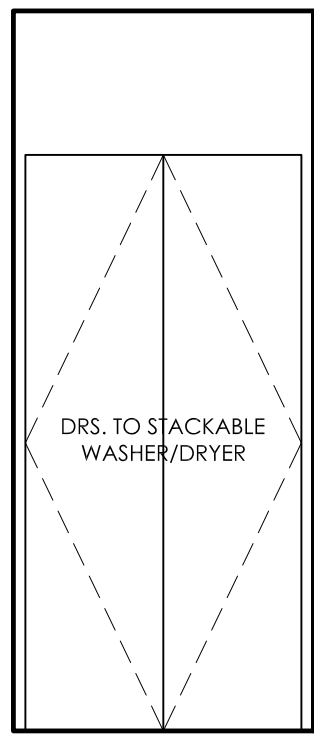
106 CASITA KITCHEN



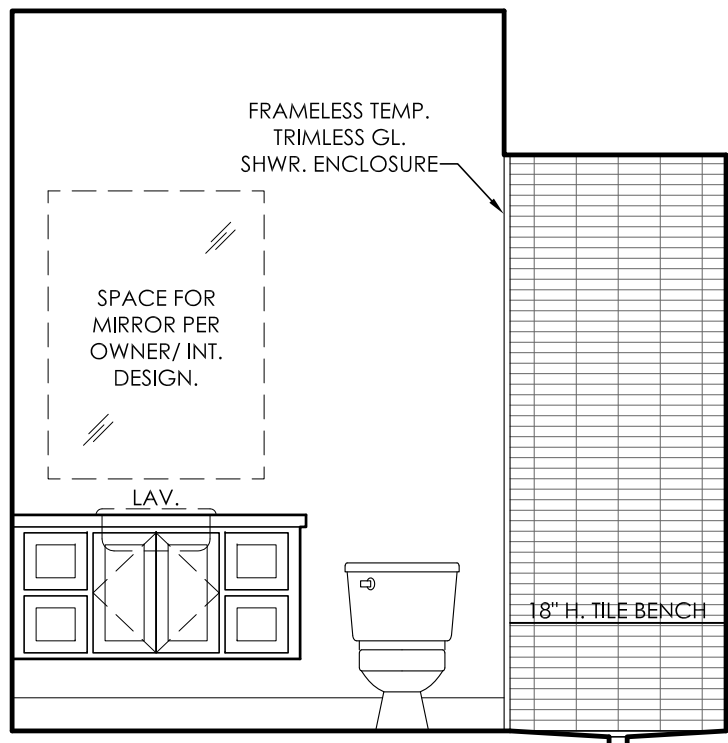
107 CASITA KITCHEN/ CASITA LIVING



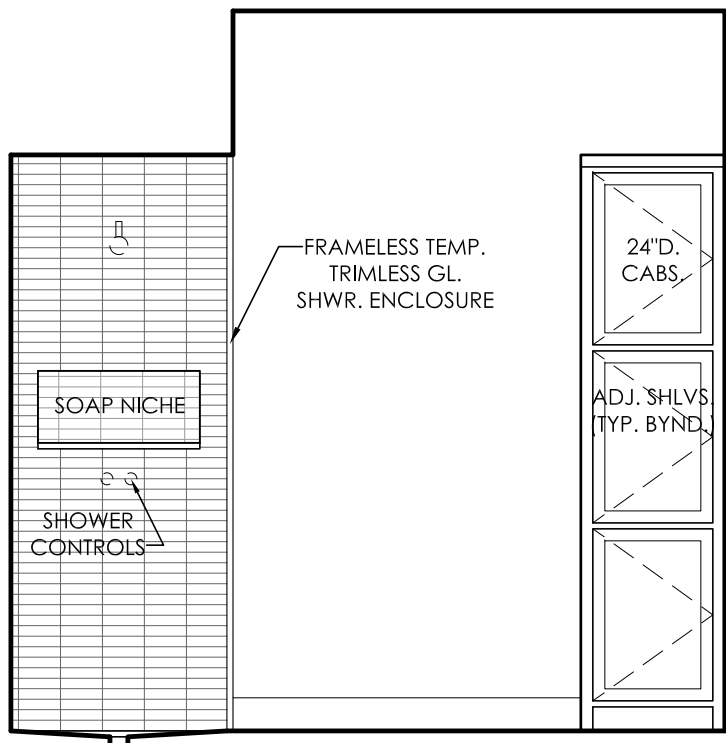
108 CASITA DINING/LIVING



109 VESTIBULE



110 CASITA BATH



111 CASITA BATH

INTERIOR ELEVATIONS

SCALE 3/8" = 1'-0"

REVISIONS	

DATE	07.11.2024
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DRAWN	WW/JT
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(512) 680-9576

A Custom Spec Residence for
DON & ROBIN MCINTYRE
39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.:	39 PASCAL LN.
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NAME:	INTERIORS
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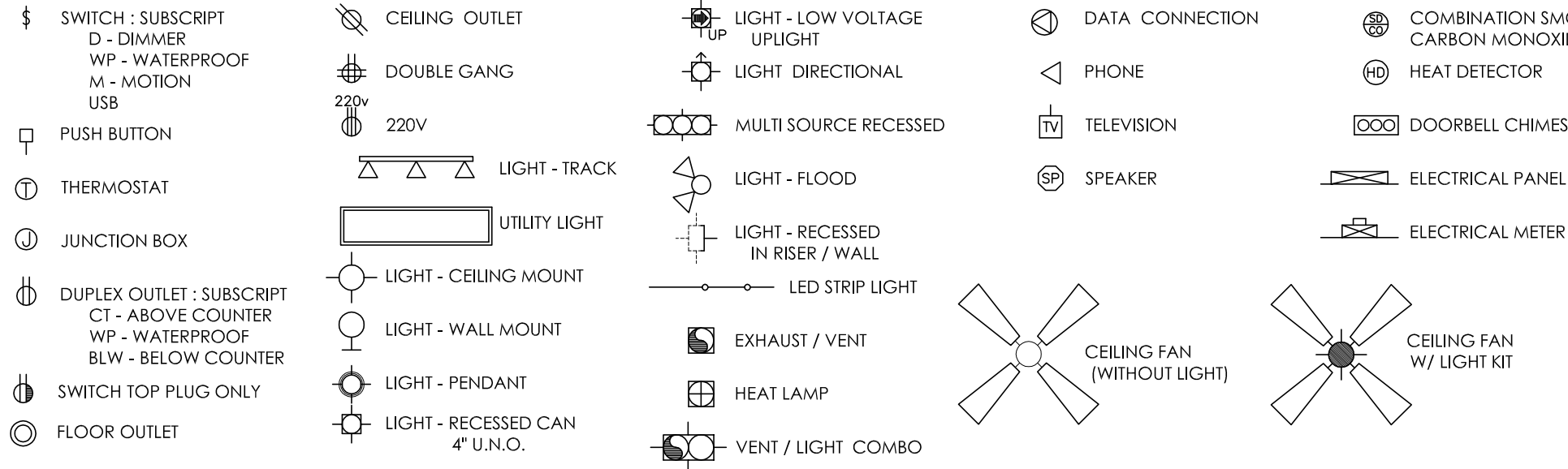
SCALE:	3/8" = 1'-0"
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A18

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GENERAL ELECTRICAL NOTES:

- ALL WORK DONE UNDER THIS SECTION SHALL COME WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS, APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- ALL RECESSED DOWN LIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
- PROVIDE DIMMER SWITCHES TO ALL LIGHTING FIXTURES AND RECESSED DOWN LIGHTS, EXCLUDING STORAGE AREAS AND SECONDARY BEDROOM CLOSETS.
- GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- ALL SWITCHES TO BE 3'-0" A.F.F. TO CENTER LINE OF SWITCH PLATE. ALL OUTLETS TO BE 1'-0" A.F.F. TO CENTER LINE OF OUTLET, UNLESS NOTED OTHERWISE.
- OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
- OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.
- VERIFY LOCATION, HEIGHT & TYPE OF POWER TO ALL APPLIANCES. COORDINATE WITH MILLWORK, OWNER, & INTERIOR DESIGNER.
- LOCATION OF FLOOR OUTLETS NOT REQUIRED BY CODE & ALL FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- SUPPLY POWER TO ALL HVAC UNIT(S). (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
- PROVIDE SWITCH AT ATTIC ACCESS AND LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS. ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SHOWN ON PLANS.
- PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- COMBINATION SMOKE / CARBON MONOXIDE DETECTORS SHALL BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL DETECTORS SHALL BE HARD WIRED TO PRIMARY AND HAVE BATTERY BACK UP.



REVISIONS	
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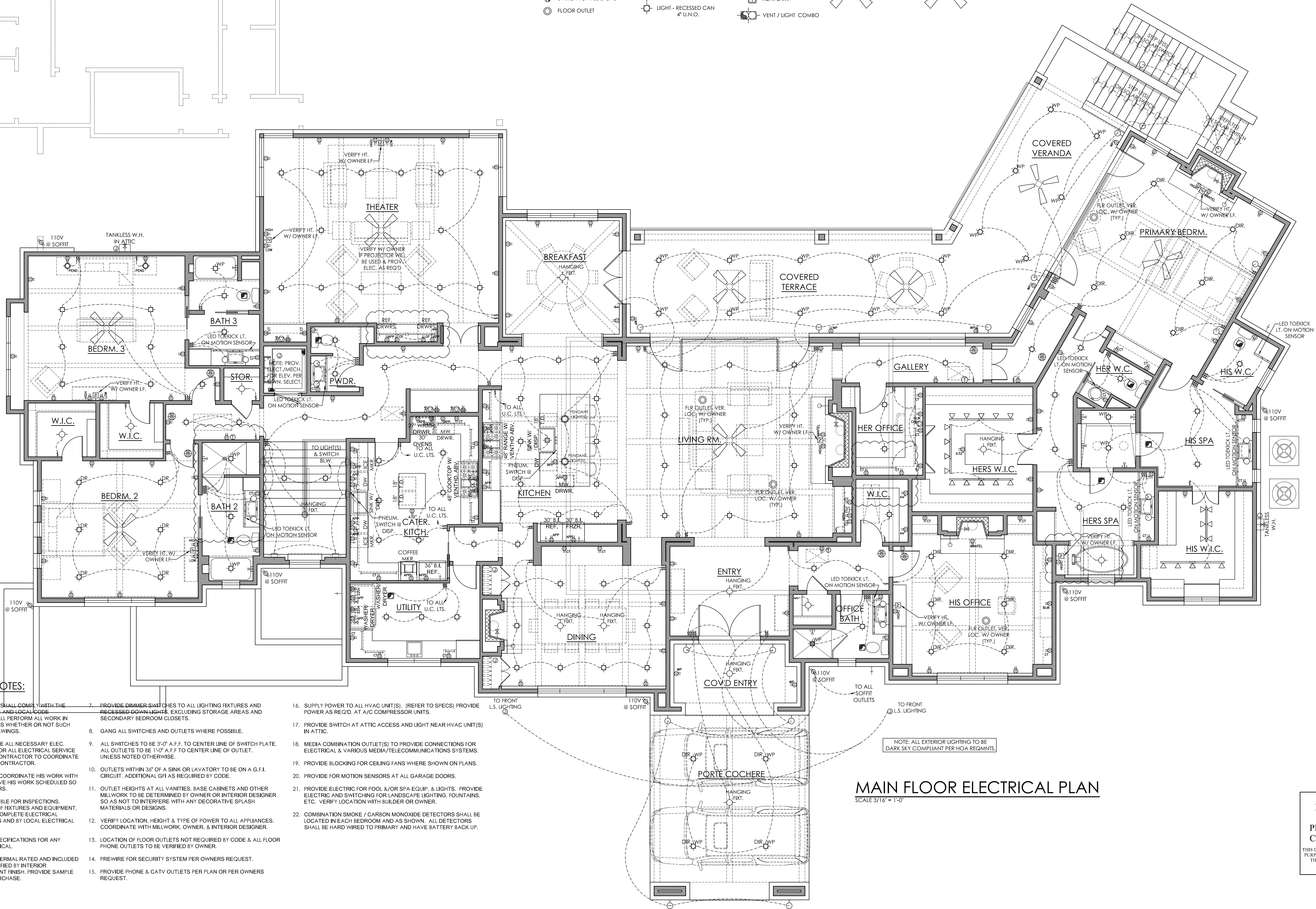
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NAME:	MAIN FLR, ELEC. PLAN
SCALE:	3/16"=1'-0"

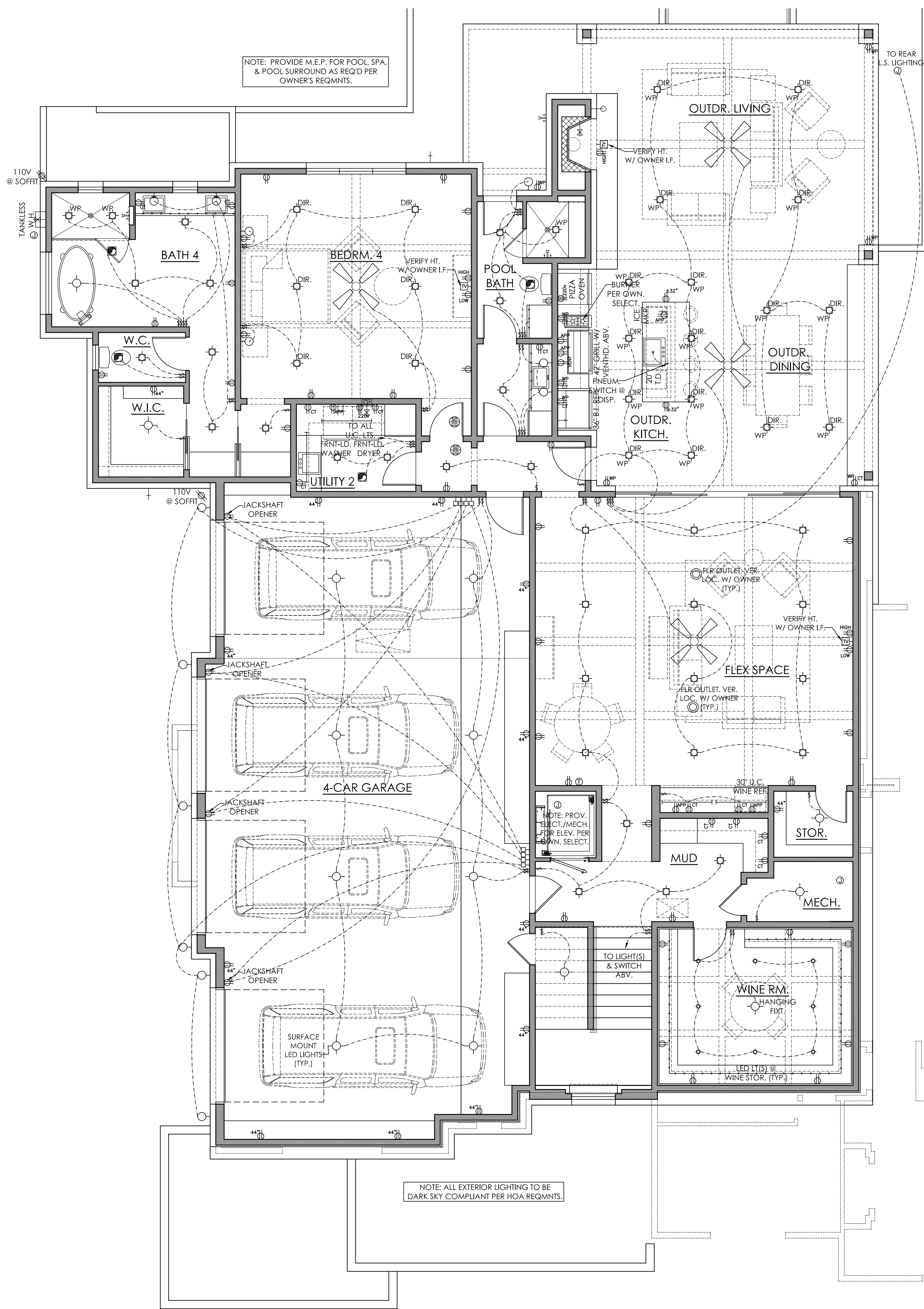
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MAIN FLOOR ELECTRICAL PLAN

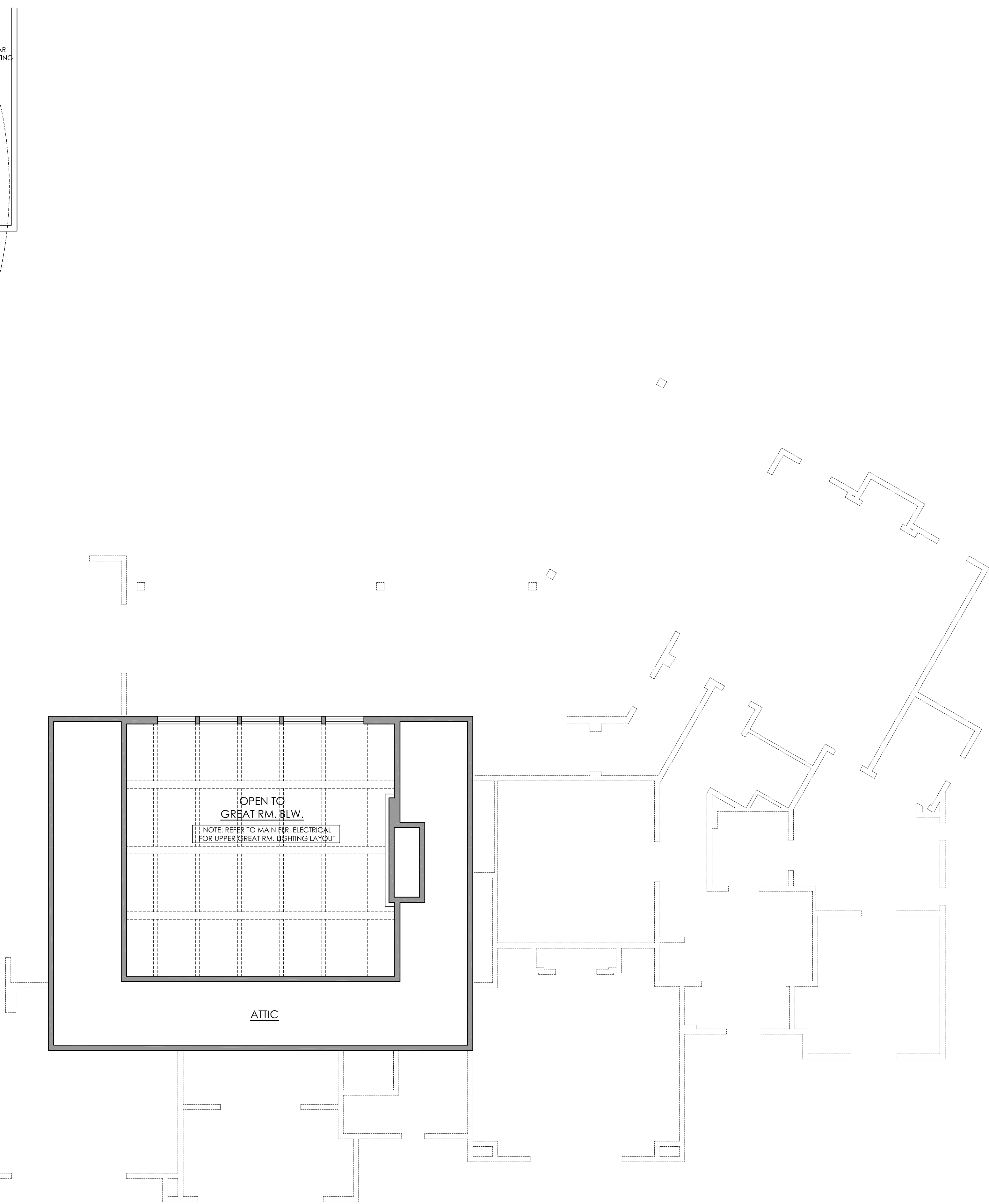
SCALE 3/16" = 1'-0"





LOWER FLOOR ELECTRICAL PLAN

SCALE 3/16" = 1'-0"



UPPER GREAT RM. ELECTRICAL PLAN

SCALE 3/16" = 1'-0"

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AUSTIN, TX 78746

JOB NO.:	39 PASCAL LN.
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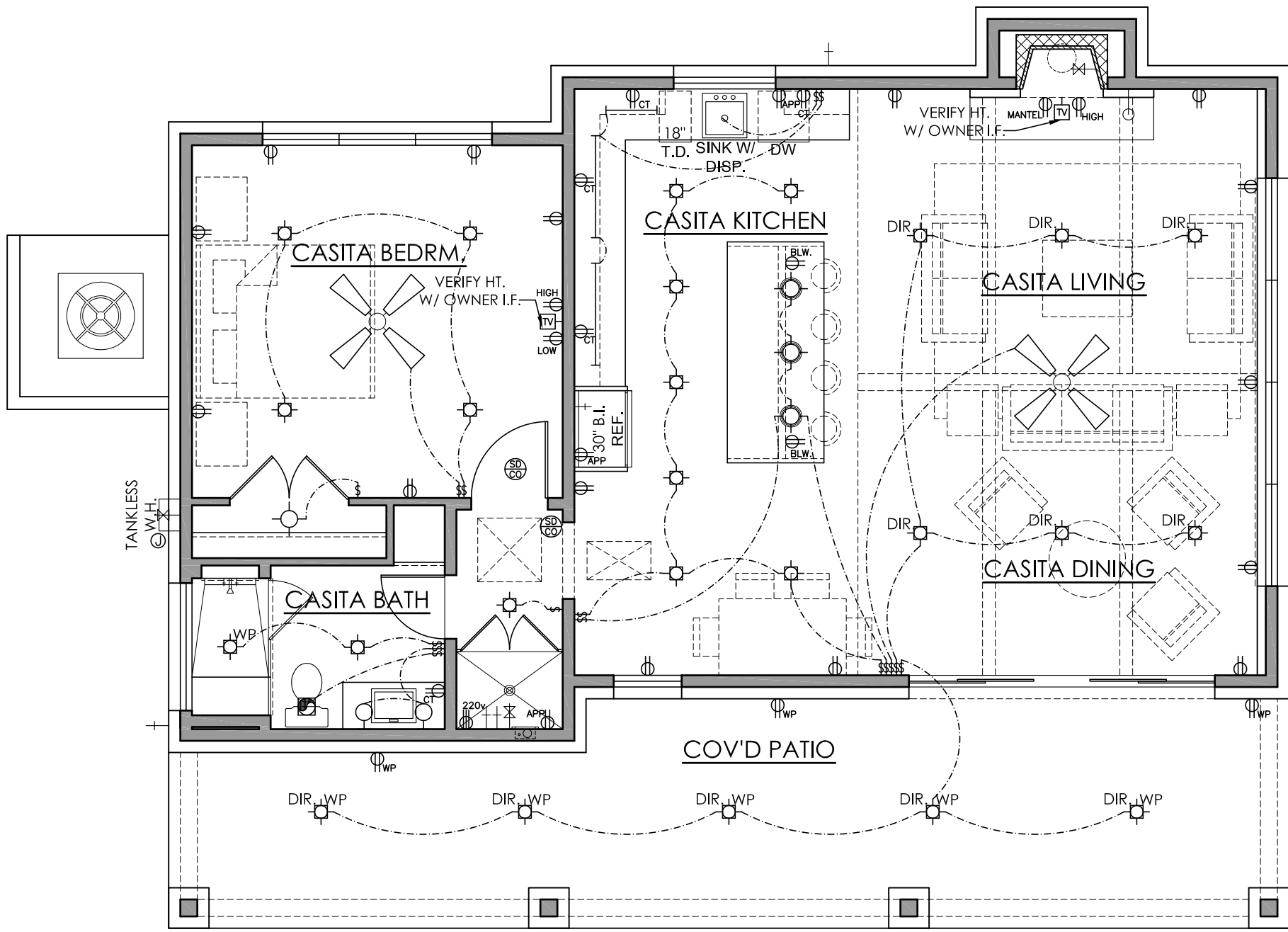
NAME:	2ND FLR. ELEC. PLAN
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SCALE:	3/16" = 1'-0"
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DETACHED CASITA ELECTRICAL PLAN

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39 PASCAL LANE
AUSTIN, TX 78746

JOB NO.:	39 PASCAL LN.
NAME:	DET. CASITA ELEC. PLAN
SCALE:	3/16"=1'-0"

SHEET

A21