



Property Inspection Report



- Sewer Camera Scans
- Mold Testing
- Radon Testing
- Pest Inspections

3074 Piney Bluff Drive, , PA

INSPECTOR: Alexander T Laughlin

LICENSE: ASHI #262496

DATE OF INSPECTION: 7/21/2026

INSPECTION PREPARED FOR:

Justin Srednicki

AGENT:



@hightouchinspections

Our website:
www.hightouchinspections.com

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Report Summary

HOW TO READ REPORT:

"RED" The **RED** colored narratives in the report are, in the inspector's opinion, **"Top priority, Major safety issues and/or higher expense repairs"**. **"BLUE"** The **BLUE** colored narratives in the report are the inspectors opinion, **"Lower priority, Lower risk safety issues, and/or Less expensive repairs"**. The summary section below highlights the main deficiencies that were found at this property. Other minor deficiencies may be listed in black ink in the categorized of the report as well. Please read the entire report.

Exterior Components		
Page 6 Item: 5	Exterior Trim	• There are areas of peeling paint and wood-rot visible on exterior of house. The peeling paint should be scraped and re-painted. Any areas of wood rot should be replaced. • The wood behind the service meter is significantly rotted. This could potentially allow moisture behind the meter and behind the siding. Repairs should be made as needed. • The trim piece at the front right side is loose and needs sealed around the door frame. Repairs should be made as needed to help prevent moisture intrusion.
Page 8 Item: 9	Outlets	• The exterior outlets do not have ground-fault protection and should be upgraded by an electrician.
Exterior Material and Condition		
Page 9 Item: 2	Wall Covering Condition	• Some areas of siding are loose and need put back in place. Also, the siding is improperly nailed together and there are areas that do not appear to be properly flashed. A Contractor should further evaluate and make repairs as needed.
Exterior Grading		
Page 9 Item: 1	Grading Adjacent to House	• The exterior grading slopes towards the residence in areas and moisture intrusion is always a possibility given the location and terrain even when grading is properly done. The soil should slope away from the residence to a distance of around five feet, to keep moisture away from the foundation. Any areas of solid surfaces such as concrete, asphalt etc. should be caulked at the joint where it meets the structure. Proper grading of the exterior should be done now and maintained over the years of ownership. The areas below grade such as basements and crawlspaces are most susceptible to moisture. Ensuring proper grading on the exterior of the house could have a significant reflection on the dampness of these underground areas. In my experience, proper exterior grading will help to slow down the moisture penetration into the areas of the structure that are underground, however other measures may need to be taken.
Kitchen		
Page 14 Item: 13	Outlets	• Several counter top outlets should be upgraded to have ground fault protection.

Garage		
Page 16 Item: 3	Firewall	There are voids, and holes in the drywall that were covered with a material that are not fire rated, in the garage ceiling. These voids should be filled in or covered over with a fire-rated material to help maintain the necessary firewall separation between this garage and the living quarters. A contractor should make repairs.
Page 17 Item: 4	Entry Door To House	The entry door from the garage, into the house does not appear to be fire-rated. A fire-rated door should be installed to help prevent the spread of a fire into the living space.
Page 17 Item: 7	Outlets	Several of the outlets in the garage should be upgraded to have ground fault protection. The outlet that controls the automatic opener should not be ground fault protected. An electrician should make repairs.
Hallway Bath		
Page 21 Item: 5	Sink	There is a leak at the drain below the bathroom sink, which should be repaired by a plumber.
Unfinished Basement Section		
Page 22 Item: 2	Moisture or Dampness	There is efflorescence or staining on the basement or lower level walls, which is caused by moisture intrusion. This in our area is not uncommon, however, it should be controlled. The exterior grading around the house should be built up to slope away from the house at a drop of 5 inches over 5 feet. As with most basements, you should know that future moisture penetration is possible.
Plumbing/Waste Section		
Page 27 Item: 3	Drain Pipe Condition	We strongly recommend carrying underground pipe insurance on your home. This can help cover costly repairs to the home underground sewer lines and utilities. In most cases, you own all utilities from the house out to where it ties in at the main/street.
Water Heater		
Page 28 Item: 3	Combustion Chamber	The combustion chamber in the gas water heater is clean, and there is no evidence of leaks. However, it is beyond its design life and should be monitored for replacement.
Main Panel		
Page 29 Item: 4	Main Panel	The main electrical panel is not an original installation and has no inspection sticker on it. This panel should be inspected by an electrical inspector.
HVAC		
Page 30 Item: 4	Baseboard Heat	The electric wall heater did not respond to the thermostat or to the manual buttons on the unit. Repairs should be made as needed.
Certified Contractors		
Page 32 Item: 1	Repairs	It is our strong recommendation that you hire certified contractors to perform any type of work on your home. Codes, current standards, rules and regulations are always changing and being revised. Our inspections are based off of the most recent codes and current standards to date.

Inspection Details

1. Attendance

In Attendance: Seller present

2. Home Type

Home Type: Single Family Home

3. Occupancy

Occupancy: Occupied - Furnished: Heavy volume of personal and household items observed. • The utilities were on at the time of inspection. • Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

Exterior Components

1. Section Comments

Observations:

- Proper maintenance of this property should be done year round. Ensure that all joints, seams, windows, driveways, walkways etc. are properly sealed and caulked to help prevent moisture penetration and help with energy efficiency.

2. Driveway

Observations:

- The driveway has areas of minor cracking and damage that is common for driveways as they age.

3. Walkways

Observations:

- The walkways are made of concrete.
- There are offsets in the walkways that are typical for their age.

4. Decks

Observations:

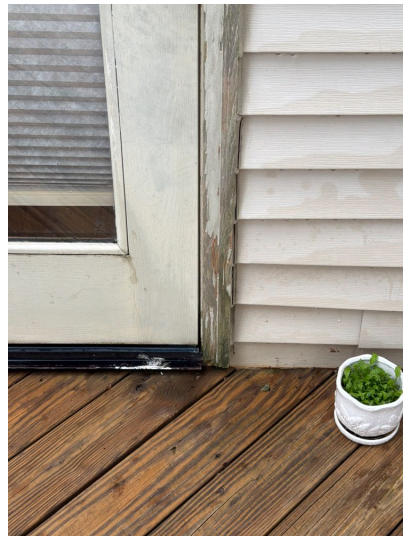
- The wood decks are in acceptable condition, and should be maintained and periodically sealed.
- Many decks in our area are not built properly or have permits that have been pulled to build the deck. You should ask the sellers if a permit was pulled for this deck.
- I was unable to determine if the deck columns were properly sitting on a footer. If the columns are not resting on a footer, they may be more prone to sagging or settling over the years.



5. Exterior Trim

Observations:

- There are areas of peeling paint and wood-rot visible on exterior of house. The peeling paint should be scraped and re-painted. Any areas of wood rot should be replaced.
- The wood behind the service meter is significantly rotted. This could potentially allow moisture behind the meter and behind the siding. Repairs should be made as needed.
- The trim piece at the front right side is loose and needs sealed around the door frame. Repairs should be made as needed to help prevent moisture intrusion.



6. Doors

Observations:

- The exterior doors are in acceptable condition. We do not comment on missing or damaged screens or storm doors.

7. Windows

Observations:

- We test every window that we are able to get to. We are unable to move furniture or storage to get to windows and other components.

8. Lights

Observations:

- The exterior lights of the residence are functional. However, we do not inspect or evaluate decorative or gas lights.

9. Outlets

Observations:

- The exterior outlets do not have ground-fault protection and should be upgraded by an electrician.

Exterior Material and Condition

1. Wall Covering Type

Observations:

- The exterior house walls are clad with a combination of stone and vinyl siding.





2. Wall Covering Condition

Observations:

- Some areas of siding are loose and need put back in place. Also, the siding is improperly nailed together and there are areas that do not appear to be properly flashed. A Contractor should further evaluate and make repairs as needed.

Exterior Grading

1. Grading Adjacent to House

Observations:

- The exterior grading slopes towards the residence in areas and moisture intrusion is always a possibility given the location and terrain even when grading is properly done. The soil should slope away from the residence to a distance of around five feet, to keep moisture away from the foundation. Any areas of solid surfaces such as concrete, asphalt etc. should be caulked at the joint where it meets the structure. Proper grading of the exterior should be done now and maintained over the years of ownership.

The areas below grade such as basements and crawlspaces are most susceptible to moisture. Ensuring proper grading on the exterior of the house could have a significant reflection on the dampness of these underground areas. In my experience, proper exterior grading will help to slow down the moisture penetration into the areas of the structure that are underground, however other measures may need to be taken.

Spigots Hose Bibs

1. Garden Hose Bibs

Observations:

- The hose bibs are functional, but we may not have located and tested every one on the property.

Composition Asphalt Shingles

1. General Comments

Observations:

- There are several different types of composition shingle roofs, which are made of asphalt or fiberglass materials with mineral granules. The most common of these roofs will last on average of about 20 years. The life expectancy of an asphalt shingle roof will vary, depending on location, sunlight, shade and other weather determining factors. However, the first indication of significant wear occurs when the granules begin to separate and leave pockmarks or dark spots. In accordance with industry standards our inspection does not include a guarantee against leaks. For such a guarantee, you would need to have a roofing company perform a water test and issue a roof certification. You should ask the sellers if they have ever experienced a roof leak since they have occupied this property.

2. Method of Evaluation

Observations:

- The roof was viewed with a Drone.

3. Age and General Evaluation

Observations:

- The composition shingle roof appears to be 3 years old. This is just an estimate and you should ask the sellers if they have an exact date of install. It is important to keep all receipts and documents for warranty and material maintenance requirements.
- The composition shingle roof is in acceptable condition. Our inspection does not include any guarantee for any type of roof leaks that may occur in the future.





4. Flashing

Observations:

- The roof flashings appear to be in acceptable condition. They should be monitored in the future and will need recaulked in areas.

5. Gutters

Observations:

- The gutter system on the composition shingle roof appear to be in acceptable condition. With-out water in them, it is not possible to determine if they are leaking, clogged or sloped correctly.
- The downspouts go into the ground and the rain leaders were not visible for inspection.

Attic

1. Method of Evaluation

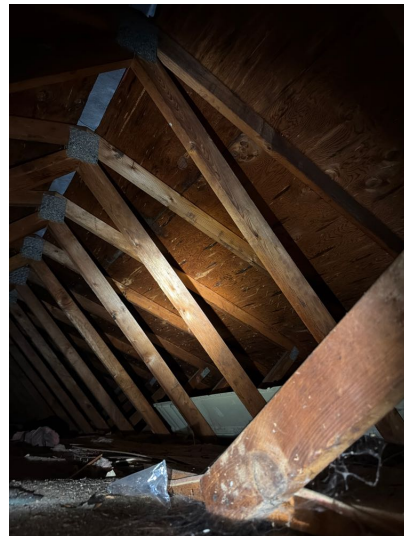
Observations:

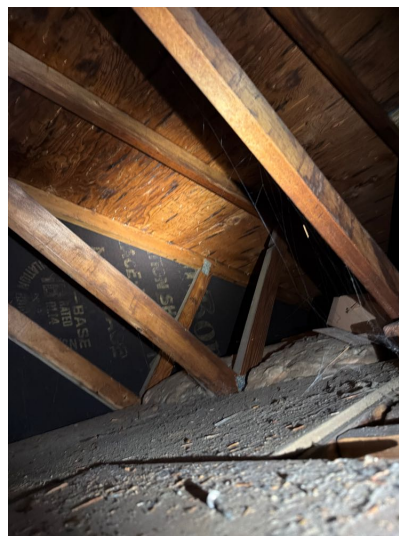
- The attic access was too restricted to enter. It was viewed from the access point.

2. Framing

Observations:

- The visible portions of the framing are in acceptable condition, and would conform to the standards of the year in which they were constructed.
- The roof framing is made of a factory-built truss system.
- There are moisture stains or evidence of damage or past leakage to the roof sheathing. We did not feel that the stains were active at this time, although they should be monitored.





3. Ventilation

Observations:

- Ventilation within the attic appears adequate.

4. Batt Insulation

Observations:

- The attic is insulated with around 6 inches or less of batt insulation. Current standards call for twelve or even sixteen-inches of insulation.

Kitchen

1. General Kitchen Comments

Observations:

- We do not test portable kitchen appliances as part of our service.

2. Floor

Observations:

- The tile floor is in acceptable condition for its age.

3. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

4. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

5. Cabinets

Observations:

- The cabinet drawers and doors were in acceptable condition for their age.

6. Faucet

Observations:

- The kitchen sink faucet is functional.

7. Valves and Connectors

Observations:

- The valves and connectors below the kitchen sink were not leaking at the time of the inspection. However, they are not in daily use and will inevitably become stiff or frozen from inactivity.

8. Trap and Drain

Observations:

- The trap and drain at the kitchen sink are functional.

9. Dishwasher

Observations:

- The dishwasher is functional.

10. Built In Oven

Observations:

- The built in oven was a gas oven.

11. Built In Microwave

Observations:

- The microwave had power, turned on, and appeared to function at the time of the inspection.

12. Lights

Observations:

- The lights are functional.

13. Outlets

Observations:

- **Several counter top outlets should be upgraded to have ground fault protection.**

14. Type of Stove

Observations:

- This house has a gas line to serve a gas stove.

Laundry

1. General Laundry Room Comments

Observations:

- We do not test washer and dryers as a part of our inspection.

2. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

3. Lights

Observations:

- The lights are functional.

4. Outlets

Observations:

- The outlets in this room were functional.

5. Faucet

Observations:

- The laundry sink faucet is functional.

6. Valves and Connectors

Observations:

- The valves and connectors for the washing machine appear functional and were not leaking. However, because they are not in daily use they typically become stiff or frozen. We do not water test these valves. They will sometimes leak once a washing machine is installed and the valves are on and under pressure. Typically if they do leak, it is the packing nut that needs tightened.

7. Trap and Drain

Observations:

- The trap and drain lines below the laundry sink are functional.

8. Type of Dryer

Observations:

- This house has a gas line and a 220 volt outlet that can serve either a gas or an electric dryer.

Garage

1. General Garage Comments

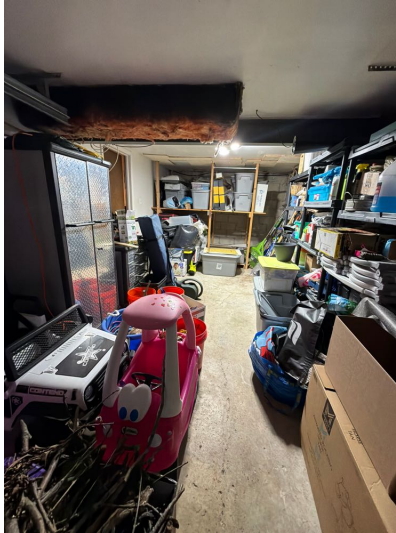
Observations:

- This is an integral garage.

2. Slab

Observations:

- The garage slab was covered and obstructed at the time of the inspection. I was unable to view the entire slab and evaluate.



3. Firewall

Observations:

- There are voids, and holes in the drywall that were covered with a material that are not fire rated, in the garage ceiling. These voids should be filled in or covered over with a fire-rated material to help maintain the necessary firewall separation between this garage and the living quarters. A contractor should make repairs.



4. Entry Door To House

Observations:

- The entry door from the garage, into the house does not appear to be fire-rated. A fire-rated door should be installed to help prevent the spread of a fire into the living space.



5. Garage Door And Hardware

Observations:

- The garage door is functional.

6. Lights

Observations:

- The lights are functional.

7. Outlets

Observations:

- Several of the outlets in the garage should be upgraded to have ground fault protection. The outlet that controls the automatic opener should not be ground fault protected. An electrician should make repairs.

Entry Section/Property Details

1. Furnished Residence

Observations:

- The residence is furnished, and in accordance with industry standards we only inspect those surfaces that are exposed and accessible.

2. Smoke Detectors

Observations:

- We do not evaluate smoke detectors as part of our service.
- We are most vulnerable to carbon monoxide when we sleep. It is recommended that carbon monoxide detectors be placed nearest the bedrooms. You should also place a carbon monoxide detector near gas burning components such as fireplaces, furnaces and gas heaters.

3. Environmental Hygiene Observations

Observations:

- The house was built on or before 1978 and asbestos and lead-based paint could be present. We do not have the expertise or the authority to determine if there is in fact these materials. If you wish, you may have areas that appear to be asbestos or lead paint tested by a specialist.
- We do not evaluate the property for mine subsidence. You may wish to inquire about this type of coverage by a specialist.
- As with most basements, this basement has signs of moisture penetration. Where there is moisture, there is potential for mold or mildew. If there is visible mold-like substances at this property, we will note it in the report. You may wish to have a specialist further evaluate.

4. Doors

Observations:

- The front door is functional.

5. Floor

Observations:

- The Pergo or similar laminate type floor is in acceptable condition for its age.

6. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.
- Cracking, paint peeling and signs of movement are very common with older houses and even with newer homes. Settlement and movement will happen through the years and cracks will become visible. During my inspection, I do my best to determine issues that need addressed. I do not comment on all cracks and stains unless I feel that they need addressed. Not all cracks and stains are active or a concern.
- All moisture stains that were able to be tested for active moisture were scanned with a moisture meter. Stains that are not active during the inspection, could potentially become actively wet at a later date. All stains should be monitored in the future.

7. Lights

Observations:

- The lights are functional.

8. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

Living Room

1. Floor

Observations:

- The Pergo or similar laminate type floor is in acceptable condition for its age.

2. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

3. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

4. Lights

Observations:

- The lights are functional.

5. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

Master Bedroom

1. Location

Observations:

- The master bedroom is located on the main floor at the rear left side of house.

2. Doors

Observations:

- The door is functional.

3. Floor

Observations:

- The Pergo or similar laminate type floor is in acceptable condition for its age.

4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

6. Lights

Observations:

- The lights are functional.

7. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

Bedroom 2

1. Doors

Observations:

- The door is functional.

2. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

3. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

4. Lights

Observations:

- The lights are functional.
- The ceiling light did not respond and repaired by an electrician.

Bedroom 3

1. Location

Observations:

- The bedroom is located on the main floor at the front center of house.

2. Doors

Observations:

- The door is functional.

3. Floor

Observations:

- The Pergo or similar laminate type floor is in acceptable condition for its age.

4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

5. Windows

Observations:

- The windows in this room are dual glazed.
- The windows were in acceptable condition at the time of the inspection.

6. Lights

Observations:

- The lights are functional.

7. Outlets

Observations:

- The outlets in this room were functional.
- Several of the outlets are obstructed by furniture and were not tested.

Hallway Bath

1. Size And Location

Observations:

- This bathroom is a full bath and is located on the main floor at the rear center of house.

2. Doors

Observations:

- The door is functional.

3. Floor

Observations:

- The tile floor is in acceptable condition for its age.

4. Walls And Ceiling

Observations:

- The walls and ceiling have typical cosmetic damage.

5. Sink

Observations:

- There is a leak at the drain below the bathroom sink, which should be repaired by a plumber.



6. Bathtub/Shower

Observations:

- The bathtub/shower was functional.

7. Toilet

Observations:

- The toilet is functional.

8. Exhaust Fan

Observations:

- The bathroom exhaust fan is functional.

9. Lights

Observations:

- The lights are functional.

10. Outlets

Observations:

- The bathroom outlets are functional and include ground-fault protection.

Unfinished Basement Section

1. General Comments

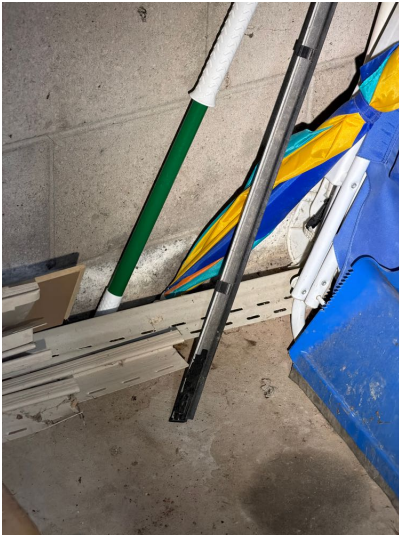
Observations:

- Moisture in basements is common in our area. You should be prepared to monitor it. The exterior grading, as noted in the grading section, should have a positive slope away from the house and be maintained over the years. If you choose to have your basement finished with a finished material such as drywall, paneling, etc. be aware of the possibility of moisture intrusion and damage to that these finished components may see.

2. Moisture or Dampness

Observations:

- In this basement, there is a float-activated sump pump. It was tested and found to be functional. I recommend asking the current homeowner for more information on this system such as date of install, location and distance covered by a french-drain or system serving the sump pit, and also if there is a current warranty.
- There is efflorescence or staining on the basement or lower level walls, which is caused by moisture intrusion. This in our area is not uncommon, however, it should be controlled. The exterior grading around the house should be built up to slope away from the house at a drop of 5 inches over 5 feet. As with most basements, you should know that future moisture penetration is possible.



3. Doors

Observations:

- The exterior door is functional.

4. Floor

Observations:

- The basement floor is concrete and in typical condition for its age.

5. Foundation

Observations:

- The foundation is made of block.
- The basement had significant storage in areas and all areas of the walls, ceilings, outlets, windows, etc. were not able to be fully evaluated.
- There are areas of cracking or movement in the foundation walls. In most cases this is from moisture freezing against the wall, expanding, which is causing a shift at the wall. This is also called hydrostatic pressure. There are areas of movement at some walls at this property however, I do not feel that they are necessarily an issue that need repaired or evaluated by a certified contractor at this time. However, you may wish to have a specialist evaluate. If the moisture is not controlled, as noted in the grading section of the report, then future repairs should be expected in these areas of the basement.

6. Lights

Observations:

- The lights are functional.

7. Outlets

Observations:

- The outlets in the unfinished basement were functional.

Floor Framing Style

1. General Comments and Description

Observations:

- The floor structure includes structural steel beams and conventional lumber sheathed with plywood.

Visible Basement Ceiling

1. General Comments and Description

Observations:

- The ceiling structure consists of standard joists.
- The ceiling joists in the basement are partially covered with a finished ceiling and all areas were not able to be evaluated.

Stud Type

1. General Comments and Description

Observations:

- The walls are framed with wood studs.

Roof Frame Type

1. General Comments and Description

Observations:

- The roof structure is conventionally framed with rafters.

Water Supply

1. Main Water Shut Off Location

Observations:

- The main water shut-off valve is located in the basement.



2. Type Of Water Pipes

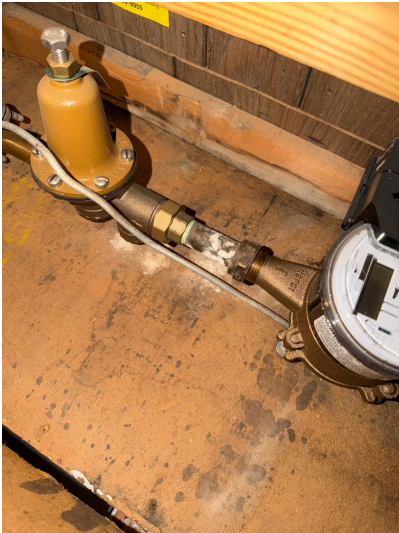
Observations:

- The potable water pipes are made of a combination of copper and PEX.

3. Water Pipe Condition

Observations:

- The plumbing components are older and there are signs of aging and corrosion. Repairs should be expected in the future.



4. Pressure Regulator

Observations:

- A water pressure regulator is in place on the plumbing system.



5. Check Valve And Expansion Tank

Observations:

- There is an **expansion tank** on this water system.



Plumbing/Waste Section

1. General Comments

Observations:

- We attempt to evaluate drain pipes by running water down all accessible drains and water testing these components. We can not, however view all plumbing components, to include exterior lines. We recommend that you have a sewer camera test conducted as an additional service to have a close look at the condition of the drain lines underground.
- You should be aware that after taking ownership of this property leaks may occur that were not leaking or visible at the time of the inspection. We run a sizable amount of water down and at all accessible drains, sinks and toilets. This however does not compare to an occupied dwelling being lived in full-time.

2. Drain Pipe Type

Observations:

- The residence is served by plastic drain, waste, and vent pipes.

3. Drain Pipe Condition

Observations:

- All accessible drainpipes are functional at this time.
- The basement floor drain was tested and found to be functioning satisfactory. We dump a large amount of water down each accessible drain to ensure that water does flow properly past these drains.
- All areas of the main stack or other components of the plumbing drain system were not visible for inspection. Some areas were behind walls and buried.
- [We strongly recommend carrying underground pipe insurance on your home. This can help cover costly repairs to the home underground sewer lines and utilities. In most cases, you own all utilities from the house out to where it ties in at the main/street.](#)

Gas

1. Gas Pipes

Observations:

- The visible gas lines and their joints or connections were tested and did not appear to be leaking at the time of the inspection. We cannot test gas lines in walls or behind appliances.

Water Heater

1. General Gas Water Heater Comments

Observations:

- There are many different types of gas water heaters. They range from 15 to 100 gallons. Life expectancy of most water heaters is around 8 years, however it may last less than that. You should consider replacing your water tank at 8 years, even if it isn't showing any signs of aging.

2. Age Capacity And Location

Observations:

- Hot water is provided by a 12 year old, 40 gallon gas water heater that is located in the basement.



3. Combustion Chamber

Observations:

- The combustion chamber in the gas water heater is clean, and there is no evidence of leaks. However, it is beyond its design life and should be monitored for replacement.

4. Water Supply

Observations:

- The shut-off valve and water connectors on the water heater are functional.

5. Gas Supply

Observations:

- The gas control valve and its connector at the water heater are functional.

6. Vent Pipe And Cap

Observations:

- The vent pipe and cap on the gas water heater are functional.

7. Drain Valve

Observations:

- The drain valve of the water heater is in place and presumed to be functional.

8. Pressure Relief Valve

Observations:

- The water heater is equipped with a mandated pressure-temperature relief valve.

Main Panel

1. General Comments

Observations: Our inspection includes an electrical inspection of the main panel, sub panel and it's components. We follow ASHI standards to include only service drop, service entrance cables and main disconnects, service grounding, interior panel components, conductors, over current protection devices, **GFCI** and **AFCI** function and presence.

2. Size And Location

Observations:

- The residence is served by a 100 amp, 220 volt overhead service, located on the side of the house. The main panel is a 100 amp, 220 volt panel, located inside the garage.

3. Service Entrance Mast And Cleat

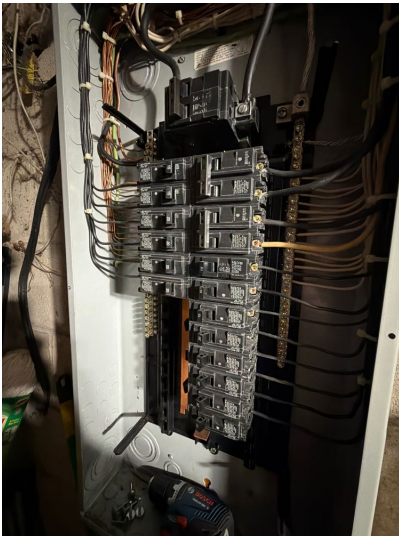
Observations:

- The service entrance, mast weather head, and cleat are in acceptable condition.

4. Main Panel

Observations:

- The main electrical panel is not an original installation and has no inspection sticker on it. This panel should be inspected by an electrical inspector.



5. Wiring

Observations:

- The wiring in the main electrical panel is copper and has no visible deficiencies.
- The house is wired predominantly with a modern vinyl conduit known as copper Romex.

6. Circuit Breakers

Observations:

- There are no visible deficiencies with the circuit breakers in the main electrical panel.

7. Grounding System

Observations:

- The main electrical panel is grounded to a driven rod and to a water pipe.

HVAC

1. General Comments

Observations:

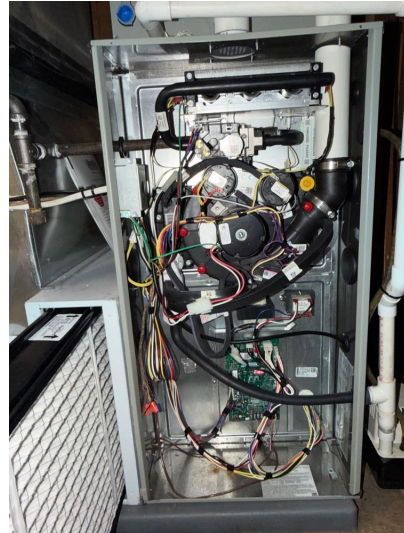
- The residence is served by a gas-fueled heating system.

Observations:

- ### 3. Forced-Air Furnace

Observations:

- [illegible]



Observations:

- High Touch Home Inspections LLC



5. Vent Pipe

Observations:

- The vent pipe is functional.

6. Gas Valve and Feed

Observations:

- The gas valve and connector are in acceptable condition.

7. Registers

Observations:

- The registers are functional and were in every room.

8. Return Air Compartment

Observations:

- The return-air compartment is in acceptable condition. The filter should be changed every 6 months.



9. Condensing Coil

Observations:

- The condensing coil responded to the thermostat and is functional.



10. Differential Temperature Readings

Observations:

- The air-conditioning system turned on and reached an adequate level of cooling.

Report Conclusion

1. Report Conclusion

Observations:

- Thank you for using High Touch Home Inspections for your inspection services! We truly appreciate your trust in us that we have done the best possible job for you and your family! Please read through the entire report. If you have any questions, PLEASE DO NOT HESITATE TO CALL! We hold ourselves at High Touch to the highest level and want to be sure that our clients feel that they've had the best experience possible.

Thank you!
High Touch Home Inspections
(412)515-3866

Certified Contractors

1. Repairs

Observations:

- It is our strong recommendation that you hire certified contractors to perform any type of work on your home. Codes, current standards, rules and regulations are always changing and being revised. Our inspections are based off of the most recent codes and current standards to date.

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Expansion Tank	An expansion tank or expansion vessel is a small tank used to protect closed (not open to atmospheric pressure) water heating systems and domestic hot water systems from excessive pressure. The tank is partially filled with air, whose compressibility cushions shock caused by water hammer and absorbs excess water pressure caused by thermal expansion.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.