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HomeTeam[®]

INSPECTION SERVICE

244 E Jefferson St

RE: Pittsburgh, PA 15212

Inspection #: 527-062026-6907

Dear Sharon Pickup,

On 6/15/2026 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information is helpful and I hope you enjoy every aspect of your new home. If I can be of any assistance, please feel free to call me at the above telephone number.

Sincerely,

HomeTeam Inspection Service
Mike Pucci

PA Radon Firm Certification #2915





HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.



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FAST REPORTS

WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

Thank you for allowing us the opportunity to serve you.



FAST



TRUSTED



ACCURATE

PREFACE:

This report is intended for the sole, confidential, and exclusive use and benefit of the Client(s) under a written HomeTeam Inspection Agreement. This report is not intended for the benefit of, and may not be relied upon by, any other party. The disclosure or distribution of this report to the current owner(s) of the property inspected or to any real estate agent will not make those persons intended beneficiaries of this report. HomeTeam Inspection Service has no liability to any party (other than the HomeTeam client named above, for whom this report was expressly prepared) for any loss, damage or expense (including, without limitation, attorney fees) arising from any claim relating to this report.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection. We will not render an opinion as to the condition of any systems or components of the structure that are concealed by walls, floors, drywall, paneling, suspended ceiling tiles, insulation, carpeting, furniture or any other items stored in or on the property at the time of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek professional opinion as to any defects or concerns mentioned in the report. If the age, condition or operation of any system, structure or component of the property is of a concern to you, it is recommended that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

This inspection report includes a description of any material defects (*) noted during the inspection, along with any recommendation that certain experts be retained to determine the extent of the defects and any corrective action that should be taken. Any material defect that poses an unreasonable risk to people on the property will be conspicuously defined as such. Any recommendations made to consult with other specialists for further evaluation as a result of our findings should be complete prior to the conclusion of the inspection contingency period. The Client warrants they will read the entire Inspection Report when received and shall promptly contact HomeTeam regarding any questions or concerns the Client may have regarding the inspection or the Inspection Report.

The majority of home inspections are performed on pre-existing structures. The age of these structures vary from just a few years to over 99 years old. Building techniques have changed dramatically over the years. These changes are what bring character to the neighborhoods of Western Pennsylvania, and affect a buyer's decision to purchase one home over another. Therefore, the age and method of construction will affect the individual character of a home.

We will not determine the cause of any condition or deficiency, determine future conditions that may occur including the failure of systems and components or consequential damage or components or determine the operating costs of systems or components.

It is not uncommon to observe cracks or for cracks to occur in concrete slabs or exterior and interior walls. Cracks may be caused by curing of building materials, temperature variations and soil movement such as: settlement, uneven moisture content in the soil, shock waves, vibrations, etc. While cracks may not necessarily affect the structural integrity of a building, cracks should be monitored so that appropriate maintenance can be performed if movement continues at an abnormal rate. Proper foundation maintenance is key to the prevention of initial cracks or cracks enlarging. This includes, but not limited to proper watering, foundation drainage and removal of vegetation growth near the foundation.

* Material Defect: A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

SUMMARY: The purpose of this summary is to provide a "quick view" of the results of the home inspection. Please be sure to read the full body of the inspection report, as it contains much more detail about your new home. Any recommendations for additional evaluation must be performed prior to the conclusion of the inspection contingency period. You should ask the seller to provide receipts or other suitable documentation as evidence that items requested as part of the reply to home inspection were complete by qualified individuals.

The following notable items were observed during the inspection performed at 244 E Jefferson St, Pittsburgh, PA 15212:

PLEASE NOTE each summary bullet point is a link. Simple click on the bullet point to drop down into that section of the report.

Safety Concerns

- There were several trip hazards found on the walkways around the house.
- The balusters on the deck rail were installed horizontally rather than vertically.
- There was no apparent bonding on the interior gas line at the time of the inspection.
- The handrail on the stairs leading to the second floor is loose or otherwise insecure.
- The balusters on the second floor handrail are installed horizontally. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart.
- A loose outlet was noted in the exterior.

General Description

- The deck support post(s) are making direct contact with the landscaping. Common practice is to mount support posts on concrete piers.
- A few deck boards were deteriorated at the time of the inspection.
- Missing mortar was noted on the rear retaining wall of the home. There were no loose bricks noted.
- Repairs to the brick veneer have been made in the form of wall anchors. Any significant change in the characterisic of the cracks or repairs should be referred to the company that made the repairs.
- Missing mortar was noted on the brickwork on several areas of the home.

Foundation

- Missing mortar was noted on the block on several areas of the home.
- There was also an inward bulge observed on the right side foundation wall. The deflection on the wall was measured using a plumb line and found to be approximately 2-inches.

Floor Structure

- The floor joists and sub floor are water marked in multiple areas of the basement floor structure.

Plumbing

- Minor plumbing issues were noted during the inspection.

Electric Service

- The sump pump is not properly wired.
- The paddle fan in the living room appears to be out of balance because it is loose in the ceiling box.

Heating & Air Conditioning

- The insulation on the exterior air conditioning line set is damaged.
- Evidence of water was noted inside the furnace compartment.
- A condensate leak was noted on the furnace exhaust line.

GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street. A system or component has a material defect if it has a significant impact on the value or safety of the property. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. All conditions are reported as they existed at the time of the inspection. Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute material visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

The inspected property consisted of a three story masonry wall structure with brick veneer that was occupied at the time of the inspection. There were no material defects on the visible portions of the siding.

MAINTENANCE NOTE: LINTELS:

One or more of the steel lintels above the windows on the exterior of the home were noted as being repaired. Lintels support masonry materials above doors and windows. Keeping the lintels sealed and painted will prevent rusting and expansion. Expanded lintels can lead to cracks in the masonry on the exterior of the home.



NOTE: MISSING MORTAR:

Missing mortar was noted on the brickwork on several areas of the home. There were no loose bricks noted. Small amounts of missing mortar are usually inconsequential. Extensive amounts of missing mortar can permit water intrusion. Consult with a qualified masonry contractor for repair estimates.



Rear



Rear

The approximate temperature at the time of the inspection was 70 to 75 degrees Fahrenheit, and the weather was partly clear. The owner was present at the time of the inspection. All of the utilities were on at the time of the inspection.

LOT AND GRADE

The home was situated on a hillside lot. The general grade around the home appeared to be questionable on all sides due to the age of the property to direct rain water away from the foundation. The age of the home, as reported by the MLS sheet was said to be ninety to one hundred years old. The inspection does not include any geological surveys, soil compaction surveys, ground testing, or evaluation of the effects of, or potential for earth movement such as earthquakes, landslides, sinking, rising or shifting for any reason. Information on local soil conditions and issues should be obtained from local officials and/or a qualified specialist. Additionally, the inspection does not include evaluation of elements such as underground drainage systems, site lighting, irrigation systems, barbecues, sheds, detached structures, fencing, privacy walls, pools, spas and other recreational items.

WALKWAY AND PORCHES

There was a brick walkway leading to a front door entry way in the front of the home. Surface defects in walkways develop and progress with age and are considered normal as long as they do not create a safety hazard. There were no material defects observed in the walkway or the entry way.

MAINTENANCE NOTE: SPALLING:

Some spalling was noted on the brick of the home. Spalling is usually caused by moisture accumulation behind the surface. In cold weather, the moisture freezes and pushes the face off. In some cases the condition can be controlled by sealing the face with an appropriate masonry sealer. Consult with a qualified masonry contractor for recommendations.



SAFETY NOTE: TRIP HAZARDS:

There were several trip hazards found on the walkways around the house. The hazards can be repaired using a suitable or similar surfacing material to "feather" the out-of-level condition to make a smooth transition.





There was a concrete patio located in the back of the home. There were no material defects observed to the patio.



DECK

There was freestanding three tier wood deck located in the back of the home. The deck appeared to be properly anchored, however, most of the substructure was concealed. The vertical supports on the deck appear to be adequate to support the outer load of the deck. Construction methods, attachment requirements and supporting load specifications have changed dramatically over the years. The deck inspection provides a general condition report and is not meant to imply that the construction meets current standards. Consult with the local municipality for current deck construction requirements. There did not appear to be significant deterioration of the deck surface. The handrails on the deck were secured. A wood deck should be cleaned and sealed regularly to prevent deterioration. There were no material defects observed on the visible portions of the deck or support structure.



SAFETY NOTE: DECK RAIL BALUSTERS:

The balusters on the deck rail were installed horizontally rather than vertically. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart. Larger baluster spacing can be a safety concern, and horizontally mounted balusters permit climbing. Local codes may require modification and / or installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.



NOTE: DECK SUPPORT POST:

The *deck* support post(s) are making direct contact with the landscaping. Common practice is to mount support posts on concrete piers. The post is an important structural component and should be monitored for deterioration. A qualified contractor should be contacted for further evaluation and recommendations if desired.



NOTE: DETERIORATED DECKING:

A few deck boards were deteriorated at the time of the inspection. Consult with a qualified contractor for replacement estimates.



RETAINING WALL

There was one retaining wall constructed of stone with mortar. The wall was in fair condition. There were no material defects observed in the wall. We do not inspect or comment on retaining walls that are detached from the main structure of the home unless the walls function has an impact on the structure.



NOTE: MISSING MORTAR:

Missing mortar was noted on the rear retaining wall of the home. There were no loose bricks noted. Small amounts of missing mortar are usually inconsequential. Extensive amounts of missing mortar can permit water intrusion. Consult with a qualified masonry contractor for repair estimates.



The wood soffit and fascia was inspected and was in good condition.

This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. All roof penetrations require maintenance and can crack, loosen or leak during or after significant weather events such as wind or rain. These areas should be monitored for changes in characteristic and repaired as required by a qualified roofer. There were no material defects detected on the exterior of the roof.

RUBBER ROOF

The upper roof was covered with EPDM rubber roofing. The roof was inspected from the ground with the aid of binoculars. The roofing was in good condition. There was no shrinkage noted. The termination strips, if installed were intact. The visible seams were intact. The visible roof penetrations appeared to be water tight. The roof appeared to be in the first half of its useful life. There were no material defects noted on the roof.

INFORMATIONAL NOTE: RUBBER ROOF:

Rubber roofs have many seams and patchwork that are glued, welded or mechanically fastened together. Seams, roof penetrations, patches and terminations require installation procedures specified by the manufacturer that are beyond the knowledge and scope of a general home inspection. The joints often de-laminate after exposure to the elements and changes in weather. We were not able to walk the roof during the inspection to inspect every seam. We strongly suggest that you contact a qualified rubber roofer to perform a complete inspection of the rubber roof.



The roof drainage system consisted of flat roof scupper and aluminum gutters and downspouts which appeared to be functional at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. There were no material defects observed on the visible portions of the gutters or downspouts.

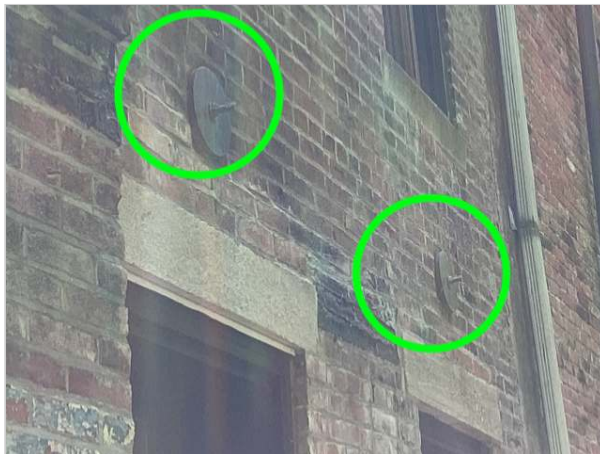
There were two chimneys. Observation of the chimney exterior was made from the ground with the aid of binoculars. A rain hat was not installed on the chimney. Rain hats are not required but can help prevent excessive water running down the chimney as well as keeping animals out. Flue chases should always have some type of rain hat. In this case rain hats are not applicable since there are no flue chases. There were no material defects observed on the exterior.

FOUNDATION

The foundation was constructed of stone rubble. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly. There were no material defects observed on the visible portions of the foundation.

NOTE: BRICK VENEER: REPAIRS MADE:

Repairs to the brick veneer have been made in the form of wall anchors. Any significant change in the characteristic of the cracks or repairs should be referred to the company that made the repairs.



NOTE: MISSING FOUNDATION MORTAR:

Missing mortar was noted on the block on several areas of the home. There were also loose block noted. Small amounts of missing mortar are usually inconsequential. Extensive amounts of missing mortar can permit water intrusion. Consult with a qualified masonry contractor for repair estimates.



Right side exterior



Interior left

NOTE: FOUNDATION MOVEMENT:

There was also an inward bulge observed on the right side foundation wall. The deflection on the wall was measured using a plumb line and found to be approximately 2-inches. The wall was considered stable at the time of the inspection. Consult with a company specializing in foundation repair for further evaluation and recommendations.. This condition is most often associated with soil and / or water pressures. The displacement occurs incrementally as the wall yields to horizontal earth pressure. Surface grading around the foundation is questionable. Proper grading should be maintained to prevent foundation damage and water penetration.



Approximately 2 inch offset



Open mortar and crack



Bulged



Evidence of deterioration

There were several minor, settlement cracks observed on the foundation. The cracks were 1/16-inch or less in width. These cracks are common and usually insignificant. All buildings experience some settlement. Settlement cracks most often occur within the first few years after construction as the soil under the structure accommodates itself to the load of the structure. However, the significance of cracks cannot always be judged by a single inspection. All cracks should be monitored for significant changes in characteristics. Consult with a company specializing in foundation repair if there is a marked change in the size or dimension of a crack.

BASEMENT

The full basement was finished, and contained the following mechanical systems: furnace and water heater. The concrete basement floor was in satisfactory condition. Minor cracks within any concrete slab are common and are most often due to shrinkage and settlement. Concrete floors are poured after the structure is built and serve no purpose with regard to structural support.

The basement stairway was inspected and there were no material defects observed with the steps, stairways or handrails.

The finished basement area included gameroom and laundry.

INFORMATIONAL NOTE: BASEMENT WALLS:

The interior walls of the basement were finished/covered; therefore, a complete inspection of the stone rubble foundation was not possible. There were not material defects observed on the visible portions of the foundation.

The basement was dry at the time of the inspection. Because the basement is below grade, there exists a vulnerability to moisture penetration after heavy rains.

There was evidence of an interior french drain system in the home. French drains are not required, but are often

installed to control or prevent water intrusion. Some french drains discharge into a sump, while others do not. If a sump is present, there is a separate section of this report with details on the sump and pump, if present. Most french drain systems are concealed below the floor. As a result, it is typically not possible for us to determine the type of installation, the coverage of the system or if the system is operable. Consult with the current property owner for more information.

There were no material defects observed in the basement.

Please note that it is not within the scope of this inspection to determine or predict the amount or frequency of past or future water intrusion into the basement. HomeTeam will make its best effort in accordance with the ASHI Standards of Practice to determine, based solely on visible conditions at the time of the inspection, whether there is any evidence of ongoing water penetration in the property. You should use all available resources including the seller disclosure and information from the current owner to determine if any water issues exist. Consult with a company specializing in water proofing if you require a guarantee of a 100 percent dry basement.

There was a sump pump located in the crawlspace. The sump pump was functional.

NOTE: SUMP PUMP WIRING:

The sump pump is not properly wired. The pump should be connected to a permanently wired, grounded outlet that is located close to the sump. Consult with a qualified electrician for installation.



CRAWL-SPACE RIGHT

The crawl space was accessible at the time of the inspection. We will not enter any confined area which does not have at least 24-inches of unobstructed vertical clearance and at least 30-inches of unobstructed horizontal clearance. The crawl space opening / access is located in the basement. The visible area of the crawl space was dry at the time of the inspection. Because of its configuration, it was not possible to inspect all areas of the crawl space. . There were no material defects noted in the crawl space.

NOTE: CRAWL SPACE MOISTURE EVIDENCE:

There were signs of moisture on the right crawl space wall. The area was dry at the time of the inspection. Excessive moisture buildup in the crawl space can lead to mold conditions. Dampness on crawl space walls is not always a sign of water intrusion. The dampness can be the result of warm humid air making contact with cool walls. In many cases the humid air condenses on the wall and forms a layer of moisture. It is important to assess whether moisture on the walls is the result of water intrusion or condensation. In this case, the efflorescence noted on the wall appears to be the result of moisture buildup on the exterior side of the foundation. The exterior grading in the affected area is questionable. Many water intrusion problems can be controlled by improving the drainage on the exterior of the home. It is important that all roof drainage and surface water is directed away from the foundation. Any concern about this condition should be referred to a qualified contractor for evaluation and recommendations.



CRAWL-SPACE LEFT

The crawl space was accessible at the time of the inspection. We will not enter any confined area which does not have at least 24-inches of unobstructed vertical clearance and at least 30-inches of unobstructed horizontal clearance. The crawl space opening / access is located in the basement. The visible area of the crawl space was not dry at the time of the inspection. Because of its configuration, it was not possible to inspect all areas of the crawl space. There were no material defects noted in the crawl space.

FLOOR-STRUCTURE

The visible floor structure consisted of a tongue and groove subfloor, supported by two-inch by twelve -inch wood joists spaced eighteen inches on center. The structure was supported by the exterior foundation walls. There were no material defects observed in the visible portions of the floor structure.

NOTE: WATER MARKED FLOOR STRUCTURE:

The floor joists and sub floor are water marked in multiple areas of the basement floor structure. The area was dry at the time of the inspection. The wood on the affected area was not rotted. Repairs to the affected area does not appear to be necessary.No immediate action is required.



WATER-METER

The water meter was located in the basement. The main water shutoff valve for the home was located adjacent to the water service entry point in the basement. Water shutoff valves are visually inspected only. No attempt is made to operate the main or any other water supply shutoff valves during the inspection. These valves are infrequently used and could leak after being operated. The only exception to this policy is made when the main water supply valve is off upon arrival at the inspection. Since it is the buyers right to have all utilities operable for the home inspection, we will attempt to turn the main water valve on for the inspection. The HomeTeam is not responsible for leaks caused by operating the valve.



Shut off

PLUMBING

The visible water supply lines throughout the home were copper and PEX pipe. The water was supplied by a public water supply. Water valves are not tested as part of the home inspection. Water valves that have not been operated for an extended period of time often leak after being operated. We would not be able to repair a leaking valve during the home inspection. The visible waste lines consisted of PVC and cast iron pipe. The functional drainage of the drain waste lines appeared to be adequate at the time of the inspection. The home was connected to a public sewer system. The under-floor drain lines are considered underground utilities and are specifically excluded from the inspection. The lines are not visible or accessible and their condition cannot be verified during a visual home inspection. Simply running water into plumbing fixtures or floor drains will not verify the condition of the waste line infrastructure under the home. Consult with a qualified plumber for a video camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the home. A video scan is the only way to confirm the condition of the drain system. Our inspection of the plumbing system is a functional inspection only. We make no attempt to validate that the plumbing system complies with any codes. Additionally, we cannot validate the workmanship of the plumbing system to be up to standard. We are generalists and do not claim to know everything about any trade. Any concern about the quality or adequacy of the plumbing system should be referred to a qualified, reputable plumber. All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at a hose bib and found to be 70 to 80 pounds per square inch. There were no material defects observed in the visible portions of the plumbing system.

NOTE: MINOR PLUMBING ISSUES:

Minor plumbing issues were noted during the inspection. This is not intended to be an all inclusive list. Concealed, latent or intermittent plumbing issues may not be apparent during the testing period. Consult with a qualified plumber for further evaluation and repairs as required.

- Main tub spout loose

GAS METER

The gas meter was located in the front yard. The gas supplier for the home based on the identification tag on the meter is Peoples Natural Gas. The main gas valve is usually located at the gas meter and requires a wrench to operate. All visible and readily accessible valves and fittings are tested for leaks using an electronic gas leak detector. No leaks were detected. There was no noticeable odor of gas detected at the time of the inspection. The exterior gas line is below grade, classified as underground utilities and cannot be inspected. HomeTeam recommends enrolling in the gas company's line protection program. The program is available for a low monthly fee, and will cover the majority, if not all of the replacement cost of the main exterior gas line in the event it fails.

INFORMATIONAL NOTE: GAS APPLIANCES THAT ARE OFF:

In the interest of the safety of the inspector and everyone involved, we will not make any attempt to light pilots that are extinguished. It is possible that the gas used to keep a flame lit will continue to flow. If this continues, its concentration may reach a point where a spark or flame will cause a flare up or flashback. We suggest that if it is noted in this report that a gas appliance was not tested because the pilot or gas was off, that you consult with the property owner to have the appliance placed back in to service and tested by a qualified contractor.

SAFETY NOTE: GAS LINE BONDING:

There was no apparent bonding on the interior gas line at the time of the inspection. Direct bonding is required for all yellow corrugated stainless steel gas-piping systems. More information is available at www.csstsafety.com. Consult with a qualified electrician to ensure that the gas lines are appropriately bonded.



WATER HEATER

There was a 40 gallon capacity, natural gas water heater located in the basement. The water heater was manufactured by Rheem, model number XG40T06PV40U0 and serial number Q031940058. Information on the water heater indicated that it was manufactured approximately 7 years ago. A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was present. It did terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. There was an adequate venting system from the water heater to the exterior of the home. The water heater was on and functional. In cases where the water heater is not on at the time of the inspection, it is not possible for us to verify that hot water is present at all plumbing fixtures, nor can we ensure that mixing hot and cold water to achieve a comfortable water temperature works at the fixtures.

ELECTRIC SERVICE

The overhead electric service wire entered the home on the right front wall. The electric meter was located on the exterior wall. The service entrance cable consisted of stranded aluminum rated for 150 amps. The service wire entered a Murray service panel, located on the basement wall with a 200 amp and 120/240 volt rated capacity. The main service disconnect switch was located on the exterior wall. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The internal components of the service panel, i.e. main lugs, bus bars, etc were in good condition. The visible house wiring consisted primarily of the Romex type and appeared to be in good condition. An electric service grounding system was installed. Service grounding requirements have changed many times over the years. The grounding system for a 30-year-old electric service is different from that of a 10-year-old service. The inspection does not attempt to verify that the grounding system or any other part of the electric service complies with current codes.



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were tested. Please note that it is not always possible for us to identify the purpose of every switch in the home. Switches may appear to be inoperable or serve no purpose for a variety of reasons, some of which include switches installed for future use, abandoned switches as part of renovation activities or those that operate a device under special conditions such as the heating of gutters in the winter. Specific questions about the purpose of unidentifiable switch uses should be directed to the current property owner. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. The installation of GFCI protected circuits and/or outlets located within six feet of water, in unfinished basement areas, garage and the exterior of the home is a commonly accepted practice and required by many municipalities. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits in the home. The present and tested GFCIs were tested and found to be functional.

SAFETY NOTE: LOOSE OUTLET:

A loose outlet was noted in the exterior. This could be a shock hazard due to exposed electrical contacts. The affected outlet(s) should be secured by a qualified contractor.



NOTE: PADDLE FAN OUT OF BALANCE:

The paddle fan in the living room appears to be out of balance because it is loose in the ceiling box. The fan wobbles when turning. The fan could be improperly installed or the mounting screws are loose. Consult with a qualified contractor for evaluation and repair.



The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. An electrical inspection sticker placed by an independent firm certified to do electrical inspections was present. Some jurisdictions require an independent electrical inspection and sticker within the last 5 years as a requirement to obtain an occupancy permit. While the requirement to obtain an occupancy permit is usually the sellers, HomeTeam is providing information on the presence of the electrical inspection sticker as a courtesy. There were no material defects observed in the electrical system.

SMOKE-ALARMS

There were smoke alarms found in the house. Property maintenance codes vary from area to area. Some municipalities require smoke alarms in every bedroom, while others only require them on each floor. Check with the local code enforcement officer for the requirements in your area. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

CARBON MONOXIDE DETECTOR

HomeTeam recommends installing carbon monoxide detectors in the home. The detector will alert the occupants of the home to the presence of dangerous carbon monoxide caused by a malfunctioning gas appliance. Multi-function devices exist that provide protection for carbon monoxide, smoke and fire. We are not always able to determine if these types of devices are installed. Many carbon monoxide alarms plug into a standard outlet and can easily be removed by the previous owner. You should verify the types of devices installed in your home, replace the batteries and test immediately after closing.

WINDOWS, DOORS, WALLS AND CEILINGS

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of wood, double hung style, with insulated glass. We test all operable windows with unobstructed access. We do not comment on the presence or condition of window screens or storm windows. Additionally, windows with access blocked by furniture or personal affects, or those covered with plastic or other stationary interior storm windows are not operated. All exterior doors were operated and found to be functional. The exterior door locks should be changed or rekeyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted. We do not comment on the presence or condition of storm doors, weather stripping or door insulating materials unless their condition represents a safety concern. There were no material defects observed in the windows or doors.

The interior wall and ceiling surfaces were finished with drywall, lath & plaster. The interior wall and ceiling structure consisted of wood framing. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. Since the finished wall material and framing are different materials, they expand and contract at

different rates. As a result, it is common to see cracks on the finished surface especially around door and window openings and ceilings. These cracks are cosmetic and generally have no structural significance. There were no material defects observed in the interior walls or ceilings.

FIRST LEVEL

The first level consisted of a living room, dining room and kitchen. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. There were no material defects observed on the first level.

The visible portions of the cabinets and counter tops were in fair condition. The appliances were turned on to check operational function only. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components.

The kitchen contained the following appliances:

The Samsung natural gas built in range was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection. Please note that many new ranges come with an anti-tilt bracket that is supposed to be attached to the wall and to the back of the range. The purpose of the bracket is to ensure that the range does not tilt forward when the oven door is open and racks are pulled out. We do not verify that the bracket is or is not installed at the inspection. Doing so would require us to pull the range away from the wall, risking scratching or other damage to the finished floor. consult with an appliance service for further evaluation if you want to be sure the bracket is installed.

INFORMATIONAL NOTE: RANGE ANTI TIP BRACKET:

Newer ranges include an anti-tip bracket designed to provide protection when excess force or weight is applied to an open oven door. The bracket is not visible or readily accessible since it is usually installed beneath a rear foot. Applying excessive force on the oven door can damage the hinge or spring so, we do not confirm the presence of a bracket. HomeTeam recommends that anti-tip brackets be installed on all free-standing ranges.

The General Electric vented range hood was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

The Samsung refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

The Samsung dishwasher was tested and did appear to be functional.

The In-Sink-Erator disposal was inspected and did appear to be functional. The efficiency rating and chopping / grinding ability of the unit is not within the scope of the inspection.

INFORMATIONAL NOTE: CLOTHES DRYER CONNECTIONS:

This note is supplied for informational purposes only, as many clients want to know the type of dryer connections available to them. The absence of either type dryer connection is not a problem. A 240 volt outlet for an electric clothes dryer was not installed in the laundry area. If an outlet is present, no attempt was made to verify that the outlet is properly wired or that power is present. A gas connection was available for a gas clothes dryer. For safety reasons, no attempt was made to verify the presence of gas service at the visible gas dryer connection. Consult with a qualified contractor if the desired type of connection is not available.

A dryer vent was installed. The visible portions of the dryer vent was inspected and did appear to be functional. The venting was adequate to vent the dryer to the exterior of the home.

SECOND LEVEL

The second level of the home consisted of two bedrooms and one full bath. There were no material defects observed on the second level.

The second floor stairway was inspected and there were no material defects observed with the steps, stairways or

handrails.

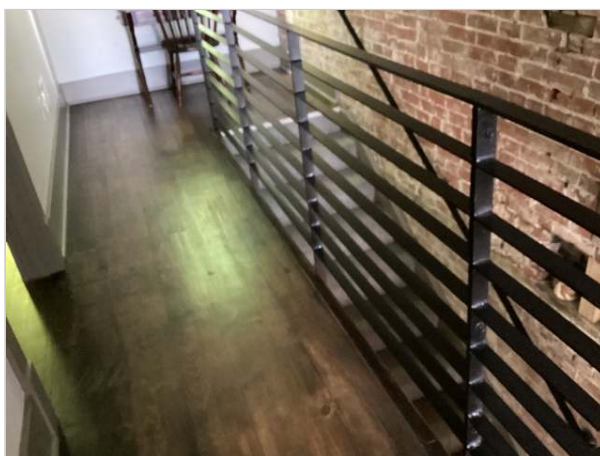
SAFETY NOTE: LOOSE HANDRAIL:

The handrail on the stairs leading to the second floor is loose or otherwise insecure. The handrail should be properly secured for safety.



SAFETY NOTE: SECOND FLOOR RAIL BALUSTERS:

The balusters on the second floor handrail are installed horizontally. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart. Larger baluster spacing can also be a safety concern. Local codes may require the installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.



FIREPLACE

There were two fireplaces in the home. The visual condition at the time of the inspection is indicated as follows.

A decorative fireplace was located in the living room. The unit is not suitable for burning. No attempt should be made to burn any type of fuel in the unit. Consult with a qualified, reputable chimney and fireplace service for additional advice.



A decorative fireplace was located in the master bedroom. The unit is not suitable for burning. No attempt should be made to burn any type of fuel in the unit. Consult with a qualified, reputable chimney and fireplace service for additional advice.



As with all elements of the home inspection, the fireplace inspection is not technically exhaustive. The inspection provides a general condition report only. The fireplace inspection does not include the interior of flues or chimneys, draft characteristics, chimney or firebox integrity or the adequacy of draft, airflow or makeup air. Consult with a qualified, reputable chimney and fireplace professional for a complete evaluation of the fireplace and chimney. Care must be taken to ensure that any flue vent / damper is open during use. All solid fuels such as wood as well as gas logs emit carbon monoxide which is not visible and has no odor. Proper venting ensures that all fire byproducts are vented to the exterior. For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and re-inspected as there may be hidden defects, not fully visible at the time of the inspection. The fireplace was not tested for operation or function.

NO ATTIC ACCESS

INFORMATIONAL NOTE: NO ATTIC ACCESS: There was no access to the attic area at the time of the inspection. As a result, it was not possible to inspect any part of the underside of the roof for signs of leaks, or to determine the type of roof construction. Additionally, it was not possible to determine if insulation was installed in the attic. Special attention was paid to the visible finished ceiling surfaces for evidence of active leaks. There was no evidence of active leaks at the time of the inspection.

HEATING SYSTEM

The heating system was inspected by HomeTeam. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life. The results of our visual and operational inspection of the heating system is described below. Periodic preventive maintenance is recommended to keep this unit in good working condition. The home was heated by a Concord natural gas forced air furnace, Serial Number 1718C29206, Model Number 95G1UH070BP1257 which is approximately 8 years old. The unit was located in the basement of the home. It has an approximate net heating capacity of 66,000 BTUH. A carbon monoxide detector

with probe was inserted into the main plenum just above the heat exchanger. There was no measurable level of carbon monoxide detected at the time of the inspection. LIMITATION: Examination of heating systems is mechanically limited since the unit cannot be dismantled to examine all of the interior components. Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a thorough inspection is not possible. The inspection does not include a heat-loss analysis, heating design or adequacy evaluation, energy efficiency assessment, installation compliance check, chimney flue inspection, draft test or buried fuel tank inspection. Termination of HVAC condensate lines was raised above the floor drain or drain inlet. The condensate lines were trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system. The PVC venting system was adequate to exhaust the spent gases to the exterior of the home and was in good condition. The system was on and the ignition source enabled.. The heating system was functional. The unit appears to have been serviced on a regular basis. The furnace should be serviced annually to maintain safe and efficient operation.

NOTE: CONDENSATE LEAK:

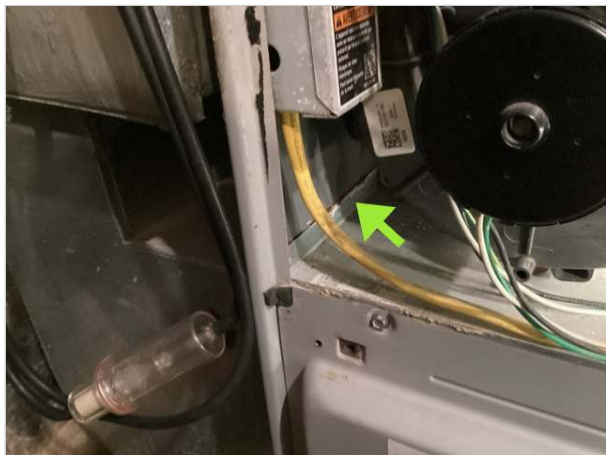
A condensate leak was noted on the furnace exhaust line. Repairs should be made by a qualified contractor.



Water

NOTE: WATER INSIDE FURNACE COMPARTMENT:

Evidence of water was noted inside the furnace compartment. The condition is most likely caused by a condensate leak in the furnace and/or air conditioning condensate drain lines. The water can also be caused by a leaking humidifier if one is installed. Water inside the furnace compartment can damage the furnace cabinet or other operational components and should be repaired. The furnace compartment was dry at the time of the inspection. Consult with a qualified heating contractor to determine the source of the water and correct the issue. Please also note that due to the seasonal use of heating and air conditioning systems, wet and dry conditions can change based on whether the inspection is performed during the heating or cooling season. The observation at the time of the inspection can be limited to seasonal conditions.



Rust



Rust

AIR CONDITIONING

The electric outdoor air conditioner condensing unit was a Concord, Model Number 4AC13L24P108 and Serial Number 1919C52670. The unit is located in the back of the home. This unit is approximately 7 years old. Periodic preventive maintenance is recommended to keep this unit in good working condition. The forced air cooling system was tested and found to be functional. The home inspection does not include a heat-gain analysis, cooling design or adequacy evaluation, energy efficiency assessment, installation compliance check or refrigerant evaluation.

NOTE: A/C LINE SET INSULATION:

The insulation on the exterior air conditioning line set is damaged. This could affect the efficiency of the system and should be replaced.



There will be normal temperature variations from room to room and level to level, most noticeable between levels.

Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers. Inspection of air and duct supply system for adequacy, efficiency, capacity or uniformity of the conditioned air to the various parts of the structure is beyond the scope of the home inspection.

The disposable filter should be replaced on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

CONTROLS

The control for the heating and air conditioning system was a 24 volt thermostat located on the living room wall of the home. The thermostat was manufactured by Honeywell and was found to be in working order.

RADON TEST

Radon, the second leading cause of lung cancer, is a radioactive gas that comes from the natural breakdown of uranium in soil and rock and gets into the air you breathe. It moves through the ground and into your home through cracks and other holes in the foundation where it can accumulate to unsafe levels. Because it is odorless, colorless, and tasteless, testing is the only way to know if you and your family are at risk from radon. There are simple ways to fix a problem if needed. (source; Pa Department of Environmental Protection website) The radon test you requested was performed by HomeTeam, a state certified radon testing firm.. An active radon mitigation system was not installed. The radon inspection report will be available as an attachment to your home inspection file upon completion of the test period. HomeTeam uses EPA and Pa DEP compliant continuous radon monitors manufactured by Sun Nuclear. Radon monitor number 10 was used to perform this test. All pertinent information related to the test is included in the official radon report which is an attachment to your file, and is available using the link to your home inspection report provided via email.

REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent or concealed problems: Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No clues: These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We always miss some minor things: Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

Contractor's advice: A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

"Last man in" theory: While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most recent advice is best: There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

Why didn't we see it?: Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem." There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not insurance: In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on **page 2**.

Section I. General Information

Inspection Company, Address & Phone
Quality Pest Services, Inc.
PO Box 15626,
Pittsburgh, PA. 15244
412-427-3322
qualitypestservices15@gmail.com

Company's Pest Control Business Lic. No.

BU8214

Date of Inspection

6/17/26

Address of Property Inspected

244 East Jefferson Street,
Pittsburgh, PA. 15212

Inspector's Name, Signature & Certification, Registration, or Lic. #

James Diggins T38967

Structure(s) Inspected

single family

Section II. Inspection Findings This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or wood destroying insect damage. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

☒ **A. No visible** evidence of wood destroying insects was observed.

☐ **B. Visible** evidence of wood destroying insects was observed as follows:

☐ 1. Live insects (description and location): _____

☐ 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): _____

☐ 3. **Visible** damage from wood destroying insects was noted as follows (description and location): _____

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Section III. Recommendations

☒ No action and/or treatment recommended: (Explain if Box B in Section II is checked) _____

☐ Recommend action(s) and/or treatment(s) for the control of: _____

Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

☒ Basement **1 3 5 6 7 8 9 11 13 24**

☐ Crawlspace

☒ Main Level **1 3 4 6 7 8 9 11 13**

☐ Attic

☐ Garage

☒ Exterior **11 13 17 24**

☒ Porch **11 13 17**

☐ Addition

☐ Other

The inspector may write out obstructions or use the following optional key:

- | | |
|-------------------------|--|
| 1. Fixed ceiling | 15. Standing water |
| 2. Suspended ceiling | 16. Dense vegetation |
| 3. Fixed wall covering | 17. Exterior siding |
| 4. Floor covering | 18. Window well covers |
| 5. Insulation | 19. Wood pile |
| 6. Cabinets or shelving | 20. Snow |
| 7. Stored items | 21. Unsafe conditions |
| 8. Furnishings | 22. Rigid foam board |
| 9. Appliances | 23. Synthetic stucco |
| 10. No access or entry | 24. Duct work, wiring, and/or plumbing |
| 11. Limited access | 25. Spray foam insulation |
| 12. No access beneath | 26. Equipment |
| 13. Only visual access | |
| 14. Cluttered condition | |

Section V. Additional Comments and Attachments (these are an integral part of the report)

Attachments _____

Signature of Seller(s) or Owner(s) if refinancing. Seller discloses to the buyer all information, to their knowledge, regarding W.D.I. infestation, damage, repair, and treatment history.

X

Signature of Buyer. The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- 1. About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. **For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.** This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. **This shall not be construed as a 90-day warranty.** There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.
- 2. Treatment Recommendation Guidelines Regarding Subterranean Termites:** Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.
For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.
- 3. Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- 4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- 5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**

**HomeTeam Inspection Service
Radon Test Results Report**

Client	Sharon Pickup	Average radon level during test period	2.2 pCi/l		
Test Address	244 E Jefferson St	Mitigation Sys	NO		
City	Pittsburgh	State	Pa	Zip Code	15212
Test location	BASEMENT		Test Unit Serial #10 87830014	Calibration expiration date: 5/21/27	
Date Analyzed: 6/17/2026					
Start Time	3:00 AM	Start Date	6/15/2026	Stop Time	3:30 AM
		Stop Date	6/17/2026		
Placed By: Michael Pucci DEP Cert # 9019 Retrieved By: Patrick Earley DEP Cert #8885					

Comments about this test: There was no abnormal weather during the duration of the test. The device does not appear to be tampered with.
Closed house conditions appear to have been observed for the duration of the testing period.

PURPOSE OF THIS INSPECTION REPORT

To provide a professional opinion of a structure's radon levels at the time of the test period, limited to the conditions identified in this report.

EPA EXPLANATION OF TEST RESULTS

Radon is the second leading cause of lung cancer, after smoking. The U.S. Environmental Protection Agency (EPA) and the Surgeon General strongly recommend taking further action when the home's radon test results are **4.0 pCi/l** (picocuries per liter of air) or greater. Radon levels less than 4.0 pCi/l still pose some risk and in many cases may be reduced. The national average indoor radon level is about 1.3 pCi/l while outdoor radon levels average 0.4 pCi/l. The higher a home's radon level, the greater the health risk to you and your family. Smokers and former smokers are at especially high risk. EPA recommends that you use an EPA or State-approved contractor trained to fix radon problems. You can call your state radon office to obtain information, including a list of EPA or State-approved radon contractors who can fix or can help you develop a plan for fixing the radon problem.

LIMITATIONS OF LIABILITY

The HomeTeam and/or Kyle Pattison cannot guarantee the necessary conditions were maintained during the test period. There can be uncertainty with any radon measurement due to statistical variations and other factors such as changes in the weather and operation of the dwelling. While we and our agents make every effort to maintain the highest possible quality control and include checks and verification steps in our procedures, we make **NO WARRANTY OF ANY KIND, EXPRESSED OR IMPLIED**, for the consequences of erroneous test results. The HomeTeam and/or Kyle Pattison nor its employees or agents shall not be liable under any claim, charge or demand, whether in contract, tort, or otherwise, for any and all loss, cost, charge, claim, demand, fee, or expense of any nature or kind arising out of, connected with, resulting from, or sustained as a result of any radon test.

RADON TEST DATA

A copy of the actual test data taken from the testing device is available upon request. This test was done with a *Stn Nuclear Model 1027*, an EPA approved testing device. The test was performed in accordance with the current standards and guidelines accepted for radon testing.

NOTICE

THE RADON CERTIFICATION ACT REQUIRES THAT ANYONE WHO PROVIDES ANY RADON RELATED SERVICE OR PRODUCT TO THE GENERAL PUBLIC MUST BE CERTIFIED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION. YOU ARE ENTITLED TO EVIDENCE OF CERTIFICATION FROM ANY PERSON WHO PROVIDES SUCH SERVICES OR PRODUCTS. YOU ARE ALSO ENTITLED TO A PRICE LIST OF SERVICES OR PRODUCTS OFFERED. ALL RADON MEASUREMENT DATA WILL BE SENT TO THE DEPARTMENT AS REQUIRED IN THE ACT AND WILL BE KEPT CONFIDENTIAL. IF YOU HAVE ANY QUESTIONS, COMMENTS OR COMPLAINTS CONCERNING THE PERSONS WHO PROVIDE RADON RELATED SERVICES, PLEASE CONTACT THE DEPARTMENT AT THE BUREAU OF RADIATION PROTECTION, DEPARTMENT OF ENVIRONMENTAL PROTECTION, P.O. BOX 5469, HARRISBURG, PA, 17105-8469, (717) 783-3594 OR (800) 237-2366

Testing Firm: HomeTeam Inspection Service
441 Butler St
Springdale, PA 15044
(412)461-8273

License/certification number: 2915