

TREE LIST

TAG#	SIZE	DESCRIPTION	TAG#	SIZE	DESCRIPTION
142	20"	CEDAR	333	15"	CEDAR 5-BOLE
143	20"	CEDAR 7-BOLE	335	15"	CEDAR 2-BOLE
144	14"	CEDAR 3-BOLE	336	8"	CEDAR 2-BOLE
145	12"	LIVE OAK	337	19"	CEDAR
146	15"	CEDAR 4-BOLE	338	9"	DURAND OAK 2-BOLE
147	13"	CEDAR 2-BOLE	339	17"	CEDAR 4-BOLE
148	12"	CEDAR CLUSTER 6' RAD.	340	7"	CEDAR
149	10"	CEDAR	341	6"	CEBAR
150	10"	LIVE OAK-2-BOLE	342	16"	CEBAR
151	10"	CEDAR 2-BOLE	343	18"	CEBAR 5-BOLE
152	16"	CEBAR 2-BOLE	344	12"	CEBAR 2-BOLE
153	20"	CEDAR 4-BOLE	345	16"	CEDAR 4-BOLE
154	12"	CEDAR	346	5"	CEDAR
155	13"	SPANISH OAK	347	9"	CEDAR
156	11"	LIVE OAK	348	12"	CEDAR 5-BOLE
157	9"	CEDAR	349	11"	CEDAR 5-BOLE
158	8"	CEBAR	350	6"	CEDAR
159	11"	CEBAR 2-BOLE	351	15"	CEDAR 3-BOLE
160	13"	CEBAR 2-BOLE	352	18"	CEDAR 5-BOLE
161	10"	CEDAR	353	17"	CEDAR 4-BOLE
162	10"	CEDAR	354	10"	CEDAR
163	10"	CEDAR	355	10"	CEDAR 2-BOLE
164	10"	CEDAR	356	10"	CEDAR 2-BOLE
165	11"	CEDAR	357	16"	CEDAR 4-BOLE
166	9"	CEDAR 2-BOLE	358	10"	CEDAR
167	8"	CEDAR	359	9"	CEDAR 2-BOLE
168	12"	CEDAR	360	11"	CEDAR 2-BOLE
170	9"	CEDAR 2-BOLE	361	10"	CEDAR 2-BOLE
171	8"	CEDAR	362	10"	CEDAR
172	10"	CEDAR	363	12"	CEDAR 2-BOLE
173	11"	CEDAR	364	10"	CEDAR
174	10"	CEDAR	365	10"	CEDAR 2-BOLE
175	8"	LIVE OAK	366	9"	CEDAR 2-BOLE
176	8"	CEDAR	367	26"	CEDAR 7-BOLE
177	8"	CEDAR	368	18"	CEDAR 4-BOLE
178	8"	CEBAR	369	19"	CEDAR 4-BOLE
179	10"	CEBAR 2-BOLE	370	6"	CEDAR
180	10"	CEBAR	371	19"	CEDAR 5-BOLE
181	10"	CEDAR	372	16"	CEDAR 6-BOLE
182	6"	CEDAR	373	11"	CEDAR
183	6"	CEDAR	374	24"	LIVE OAK
184	7"	CEDAR	375	12"	CEDAR
185	12"	CEDAR	376	12"	CEDAR
186	6"	LIVE OAK	377	12"	CEDAR
187	6"	CEBAR	378	12"	CEDAR
188	16"	CEDAR 3-BOLE	379	12"	CEDAR
189	19"	CEDAR 4-BOLE	380	13"	CEDAR 3-BOLE
190	7"	CEBAR	381	15"	CEDAR 4-BOLE
191	8"	LIVE OAK	382	15"	CEDAR 2-BOLE
192	13"	CEBAR	383	9"	CEDAR 2-BOLE
193	13"	CEBAR	384	10"	CEDAR 3-BOLE
194	8"	CEBAR	385	10"	CEDAR
195	13"	CEBAR	386	7"	CEDAR
196	10"	CEBAR 2-BOLE	387	20"	CEDAR 3-BOLE
197	11"	CEBAR	388	7"	LIVE OAK
198	6"	CEDAR	389	9"	CEDAR
199	8"	CEDAR 2-BOLE	390	18"	CEDAR 3-BOLE
200	9"	CEDAR	391	17"	CEDAR 2-BOLE
201	10"	CEBAR	392	10"	CEDAR
202	10"	CEDAR 2-BOLE	393	9"	CEDAR
203	8"	CEDAR 2-BOLE	394	18"	CEDAR 3-BOLE
204	10"	CEDAR 2-BOLE	395	17"	CEDAR 2-BOLE
205	6"	CEDAR	396	13"	CEDAR 3-BOLE
206	7"	CEDAR	397	9"	CEDAR
207	6"	CEDAR 2-BOLE	398	10"	CEDAR
208	12"	CEDAR 2-BOLE	399	8"	CEDAR
209	15"	CEDAR 4-BOLE	400	4"	SPANISH OAK
210	10"	CEDAR	401	16"	CEDAR
211	15"	CEDAR 3-BOLE	402	12"	CEBAR
212	16"	CEDAR 4-BOLE	403	13"	SPANISH OAK
213	10"	CEDAR	404	10"	CEDAR 2-BOLE
214	10"	CEBAR 2-BOLE	405	10"	CEDAR 2-BOLE
215	8"	CEDAR	406	9"	CEDAR 2-BOLE
216	12"	LIVE OAK	407	12"	CEDAR 3-BOLE
217	12"	CEDAR	408	12"	CEDAR
218	6"	CEDAR 2-BOLE	409	10"	CEDAR 2-BOLE
219	8"	CEDAR	410	12"	CEDAR 2-BOLE
220	6"	CEDAR	411	14"	CEDAR 2-BOLE
221	7"	CEDAR	412	12"	CEDAR 2-BOLE
222	12"	CEDAR 2-BOLE	413	11"	CEDAR
223	8"	CEDAR	414	8"	CEDAR
224	6"	CEDAR	415	9"	CEDAR
225	6"	LIVE OAK 3-BOLE	416	8"	CEDAR
226	8"	CEDAR 2-BOLE	417	9"	CEDAR
227	6"	CEDAR 2-BOLE	418	8"	CEDAR
228	6"	CEDAR	419	10"	CEDAR
229	6"	CEDAR	420	10"	CEDAR
230	7"	CEDAR	421	10"	CEDAR
231	9"	CEDAR	422	10"	CEDAR
232	8"	CEDAR	423	10"	CEDAR
233	6"	CEDAR	424	10"	CEDAR
234	13"	CEDAR	425	10"	CEDAR
235	13"	CEDAR	426	10"	CEDAR
236	10"	CEDAR 2-BOLE	427	12"	CEDAR
237	13"	CEDAR	428	14"	CEDAR 2-BOLE
238	8"	CEDAR	429	12"	CEDAR 2-BOLE
239	8"	CEDAR	430	11"	CEDAR
240	8"	CEDAR	431	8"	CEDAR
241	8"	CEDAR	432	9"	CEDAR
242	8"	CEDAR	433	8"	CEDAR
243	8"	CEDAR	434	9"	CEDAR
244	8"	CEDAR	435	10"	CEDAR
245	8"	CEDAR	436	10"	CEDAR
246	8"	CEDAR	437	12"	CEBAR
247	16"	CEDAR 2-BOLE	438	10"	CEBAR
248	11"	SPANISH OAK	439	11"	DURAND OAK
249	3"	DURAND OAK	440	9"	CHINA BERRY 3-BOLE
250	11"	DURAND OAK 3-BOLE	441	8"	LIVE OAK
251	11"	CEBAR	442	5"	SPANISH OAK
252	11"	CEBAR	443	21"	LIVE OAK
253	11"	CEBAR	444	8"	CEDAR
254	11"	CEBAR	445	12"	SPANISH OAK 2-BOLE
255	11"	CEBAR	446	12"	CEDAR
256	11"	CEBAR	447	10"	CEDAR
257	12"	CEDAR	448	7"	CEDAR
258	6"	DURAND OAK	449	20"	CEDAR
259	13"	CEDAR 2-BOLE	450	19"	CEDAR
260	8"	CEDAR	451	10"	SPANISH OAK
261	14"	CEDAR	452	7"	CEDAR
262	11"	CEDAR 2-BOLE	453	11"	CEDAR 2-BOLE
263	11"	CEDAR	454	12"	CEDAR
264	11"	CEDAR	455	9"	LIVE OAK
265	11"	CEDAR	456	11"	CEDAR 2-BOLE
266	10"	CEDAR	457	12"	CEDAR
267	11"	CEDAR	458	14"	CEDAR 3-BOLE
268	12"	CEDAR	459	13"	CEDAR 2-BOLE
269	10"	CEDAR	460	8"	CEDAR
270	10"	CEDAR	461	13"	CEDAR
271	9"	CEDAR	462	12"	CEDAR
272	3"	DURAND OAK	463	9"	CEDAR
273	10"	CEDAR	464	13"	CEDAR
274	13"	CEDAR 3-BOLE	465	12"	CEDAR
275	21"	CEDAR 4-BOLE	466	9"	CEDAR
276	10"	CEDAR 2-BOLE	467	15"	DURAND OAK 4-BOLE
277	11"	CEDAR	468	10"	CEDAR
278	11"	CEDAR	469	8"	DURAND OAK 2-BOLE
279	11"	CEDAR	470	9"	CEDAR
280	9"	CEDAR	471	15"	CEDAR
281	9"	CEDAR	472	16"	CEDAR 2-BOLE
282	9"	CEDAR	473	10"	CEDAR 2-BOLE
283	9"	CEDAR	474	9"	CEDAR 2-BOLE
284	8"	CEDAR	475	11"	CEDAR 2-BOLE
285	15"	CEDAR	476	12"	CEDAR
286	8"	CEDAR	477	14"	CEDAR 3-BOLE
287	10"	CEDAR	478	8"	CEDAR 2-BOLE
288	8"	CEDAR	479	9"	CEDAR
289	8"	CEDAR	480	11"	CEDAR
290	11"	CEDAR	481	13"	CEDAR
291	9"	CEDAR	482	11"	CEDAR
292	19"	CEDAR 3-BOLE	483	8"	CEDAR
293	19"	CEDAR	484	7"	CEDAR
294	10"	CEDAR	485	9"	CEDAR
295	19"	CEDAR 5-BOLE	486	12"	SPANISH OAK
296	10"	CEDAR	487	10"	CEDAR
297	12"	CEDAR	488	8"	CEDAR
298	8"	DURAND OAK	489	7"	CEDAR
299	22"	CEDAR	490	10"	CEDAR
300	23"	CEDAR	491	10"	CEDAR
301	10"	CEDAR	492	10"	CEDAR
302	12"	CEDAR	493	10"	CEDAR
303	13"	CEDAR	494	12"	CEDAR
304	15"	CEDAR 3-BOLE	495	7"	LIVE OAK
305	6"	DURAND OAK	496	14"	SPANISH OAK
306	5"	DURAND OAK			
307	5"	DURAND OAK			
308	12"	CEDAR			
309	7"	CEDAR			
310	10"	CEDAR			
311	12"	CEDAR			
312	9"	CEDAR			
313	10"	CEDAR			
314	10"	CEDAR 2-BOLE			
315	10"	CEDAR 3-BOLE			
316	11"	CEDAR 3-BOLE			
317	11"	CEDAR 4-BOLE			

LEGEND

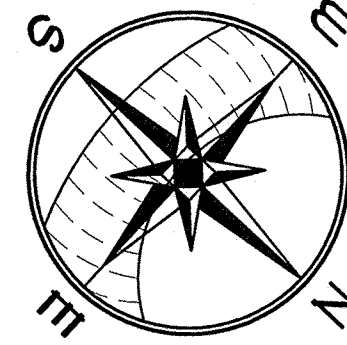
- 1/2" IRON ROD FOUND WITH PLASTIC CAP
- MARKED 'CHAPARRAL BOUND' FOUND
- 5/8" IRON ROD FOUND
- IRON ROD (PER FLAT)
- FLOOD LIGHT
- ELECTRIC PULL BOX
- ELECTRIC MANHOLE
- WATER METER
- WATER VALVE
- CABLE BOX
- WATER QUALITY EASEMENT
- WATER QUALITY TRANSITION ZONE

NOTE: OWNER/BLDR IS RESPONSIBLE FOR VERIFICATION OF MINIMUM FINISHED FLOOR ELEVATIONS FOR PLUMBING ACCESS TO GRAVITY WASTEWATER SERVICE

NOTE: LOT 10 IS A PRESSURE SERVICE LOT. OWNER/BLDR SHALL CONFIRM APPROPRIATE PUMP SIZE AND LOCATION, SEE 23.6, DESIGN REQUIREMENTS

GENERAL SITE NOTES:

- BUILDER TO RECONFIGURE TOPO/FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.
- EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS, UNDERPIN ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE SIDE PROPERTY LINES.
- UTILITY LINE LOCATIONS ARE APPROXIMATES- GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- GARAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHTS TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

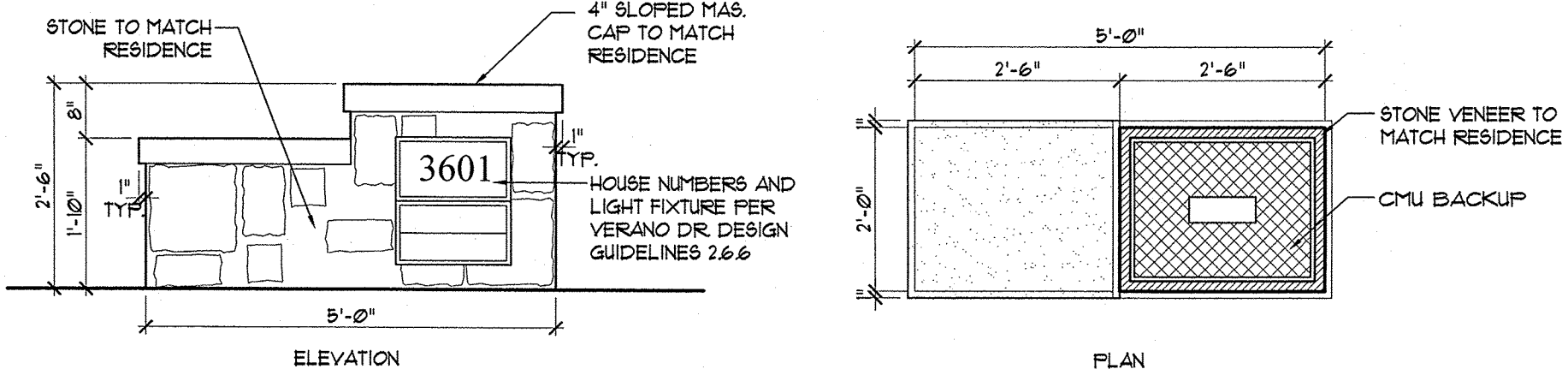
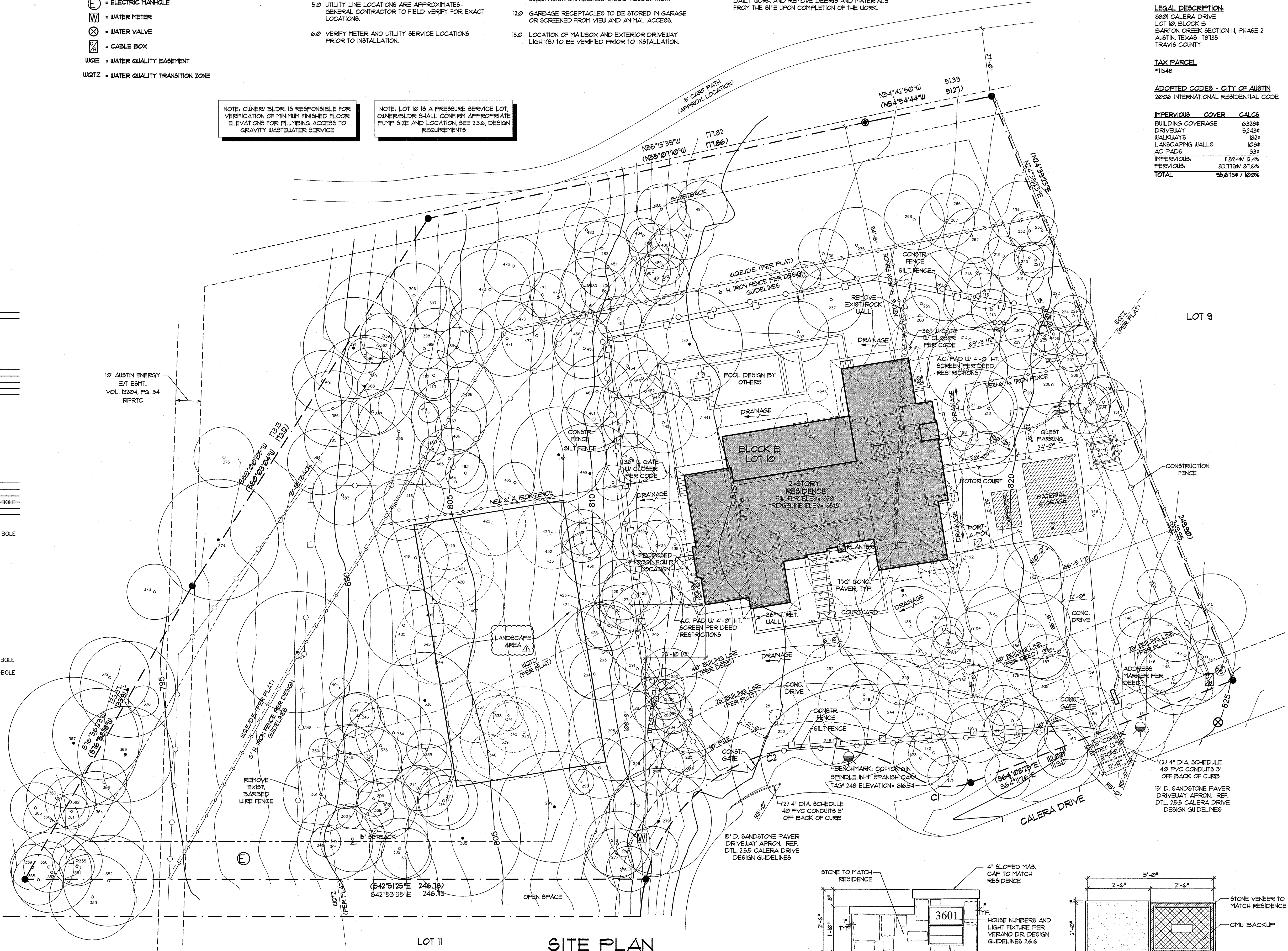


LEGAL DESCRIPTION:
8801 CALERA DRIVE
LOT 10, BLOCK B
BARTON CREEK SECTION 4, PHASE 2
AUSTIN, TEXAS 78735
TRAVIS COUNTY

TAX PARCEL
#1348

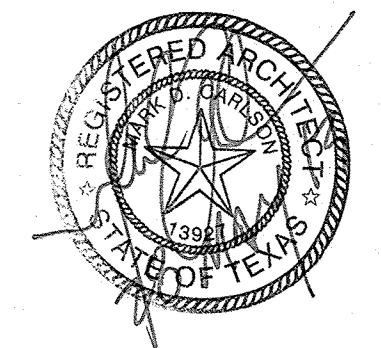
ADOPTED CODES - CITY OF AUSTIN
2006 INTERNATIONAL RESIDENTIAL CODE

INTERVIEWS	COVER	CALCS
BUILDING COVERAGE	63284	
DRIVEWAY	52434	
WALKWAYS	1024	
LANDSCAPING WALLS	1024	
AC PADS	334	
INTERVIEWS:	118944/ 12.4%	
PERVIOUS:	83,7754/ 81.6%	
TOTAL	95,6747 / 100%	



A CUSTOM RESIDENCE FOR:
THE SCHNEIDER FAMILY
8801 CALERA DRIVE
AUSTIN, TEXAS 78735

REVISION: 5/28/13



SCHNEIDER RESIDENCE
8801 CALERA DRIVE

SHEET A-1
1 of 10

PROJECT NO. 13012
DRAWN BY: CV
DATE: 5/20/13
CHECKED BY: PC
PROJECT MGR: CV

GENERAL PROJECT NOTES:

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR ANY CHANGES.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (B2)158-1363.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS 4/OR SPECS.
- PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAIN BY A REGISTERED ARCHITECT.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT IS EXECUTED OR NOT, THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING 4/OR WATERPROOFING.
- THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

GENERAL PLAN NOTES:

- ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUBS/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
- WINDOW MANUFACTURER 4 BUILDER TO VERIFY EGRESSIBLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- PROVIDE ELECTRIC FOR POOL 4/OR SPA EQUIP. 4 LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL 4/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES 4 RELATED COMPONENTS.
- WEATHERSTRIP ATTIC ACCESS DOOR(S).
- CONTRACTOR TO PROVIDE A 3/4" FLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- IN VENTED ROOF ASSEMBLIES PROVIDE 1 SF. NET FREE AREA OF ATTIC VENTILATION PER 50 SF. OF TOTAL COVERED ROOF AREA AS PER CODE.
- ALL DOORS AND CASED OPENINGS TO BE 8'-0" HT. UNLESS NOTED OTHERWISE.
- ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- PROVIDE WEATHERSEAL AND A 3/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- UNLESS NOTED OTHERWISE STANDARD PANTRY SHELVEING TO BE AS FOLLOWS:
LOUDEST 2 SHELVEING TO BE 16" D. WITH HEIGHT SPACING OF 14" CLEAR.
REMAINING SHELVEING TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
- THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- ALL FIREPLACES HAVE TO HAVE 20" DEEP HEARTH 12" NON-COMBUSTIBLE SURROUND.

LEGEND:
 ○ GAS KEY
 ○ GAS
 ○ SHOWER HEAD
 ○ HOSE BIBB

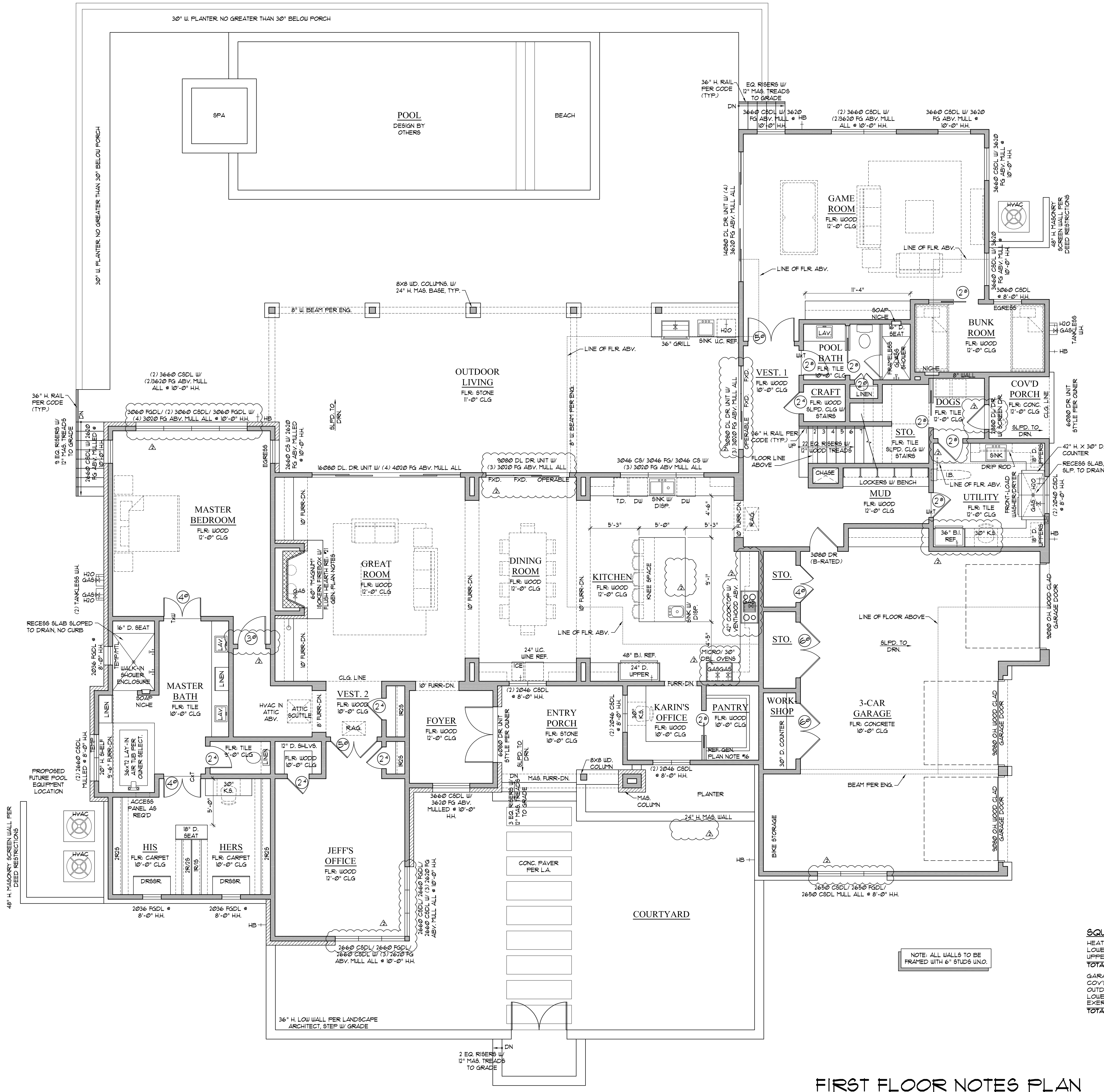
SQUARE FOOTAGE CALCS.

HEATED	4,098#
LOWER HEATED	1,782#
UPPER HEATED	5,880#
TOTAL HEATED	5,880#
GARAGE	1,005#
COVD. ENTRIES	21#
OUTDOOR LIVING	921#
LOWER MASONRY	86#
EXERCISE/WORKSHOP	310#
TOTAL AREA	8,480#

NOTE: ALL WALLS TO BE FRAMED WITH 6" STUDS UNO.

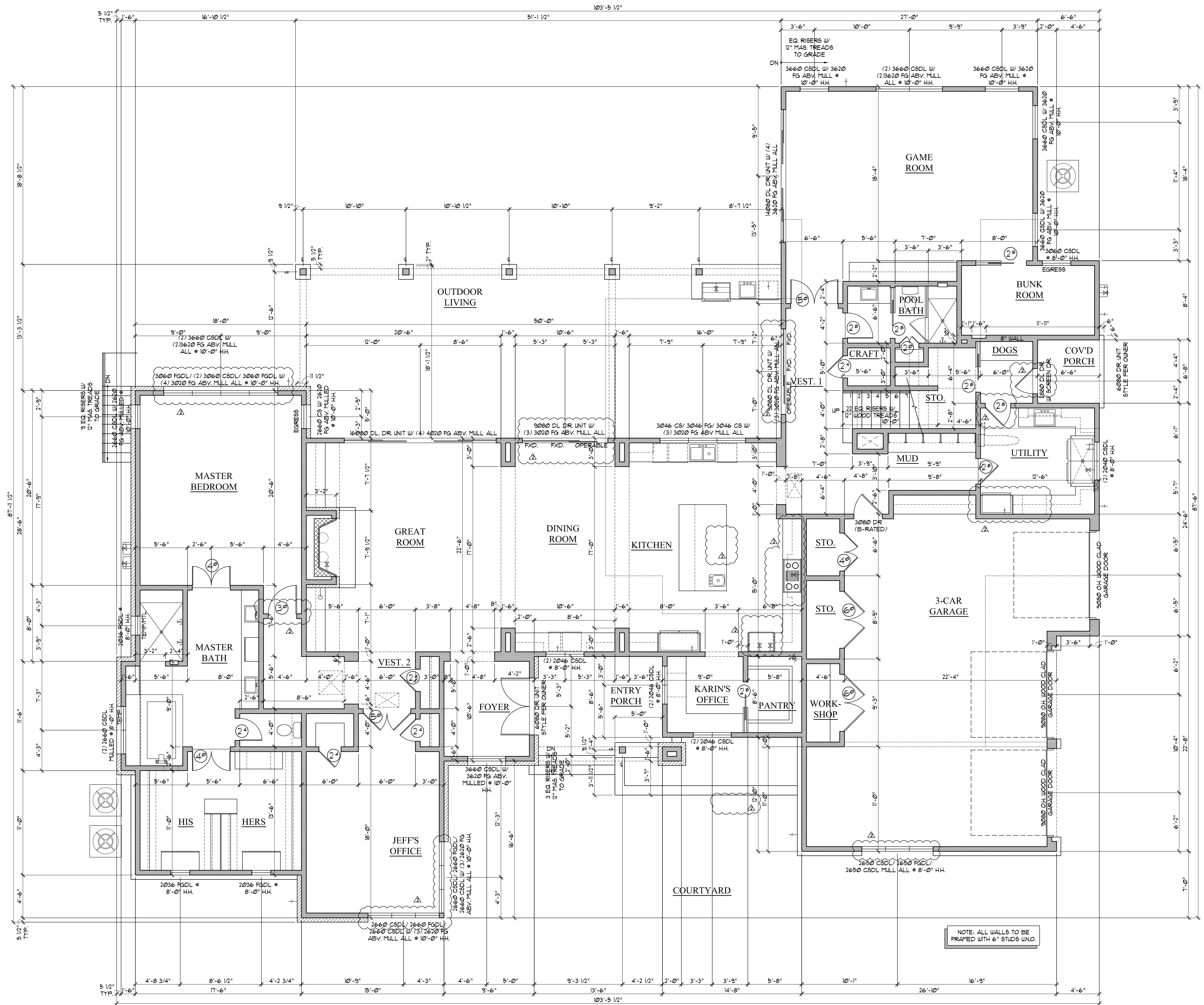
FIRST FLOOR NOTES PLAN

SCALE 3/16" = 1'-0"



CG PARTNERS
 A LIMITED LIABILITY PARTNERSHIP
 CORNERSTONE GROUP ARCHITECTS

COPYRIGHT © 2013. ALL RIGHTS RESERVED.
 THESE DESIGN'S DRAWINGS ARE THE SOLE PROPERTY OF CORNERSTONE GROUP ARCHITECTS AND MAY NOT BE REPRODUCED IN ANY FORM BY ANY METHOD, FOR ANY PURPOSE WITHOUT PREVIOUS WRITTEN PERMISSION.
 REVISION: 7/9/13
 SHEET A-2
 2 of 10
 PROJECT NO. 13012
 DRAWN BY: CV
 DATE: 5/20/13
 CHECKED BY: CV
 PROJECT MGR: PC
 SCHNEIDER RESIDENCE
 8801 CALERA DRIVE



NOTE: ALL WALLS TO BE
FRAMED WITH 6" STUDS UNO.

FIRST FLOOR DIMENSION PLAN

SCALE 3/16" = 1'-0"

CGAPARTNERS
A LIMITED LIABILITY PARTNERSHIP

CORNERSTONE GROUP ARCHITECTS

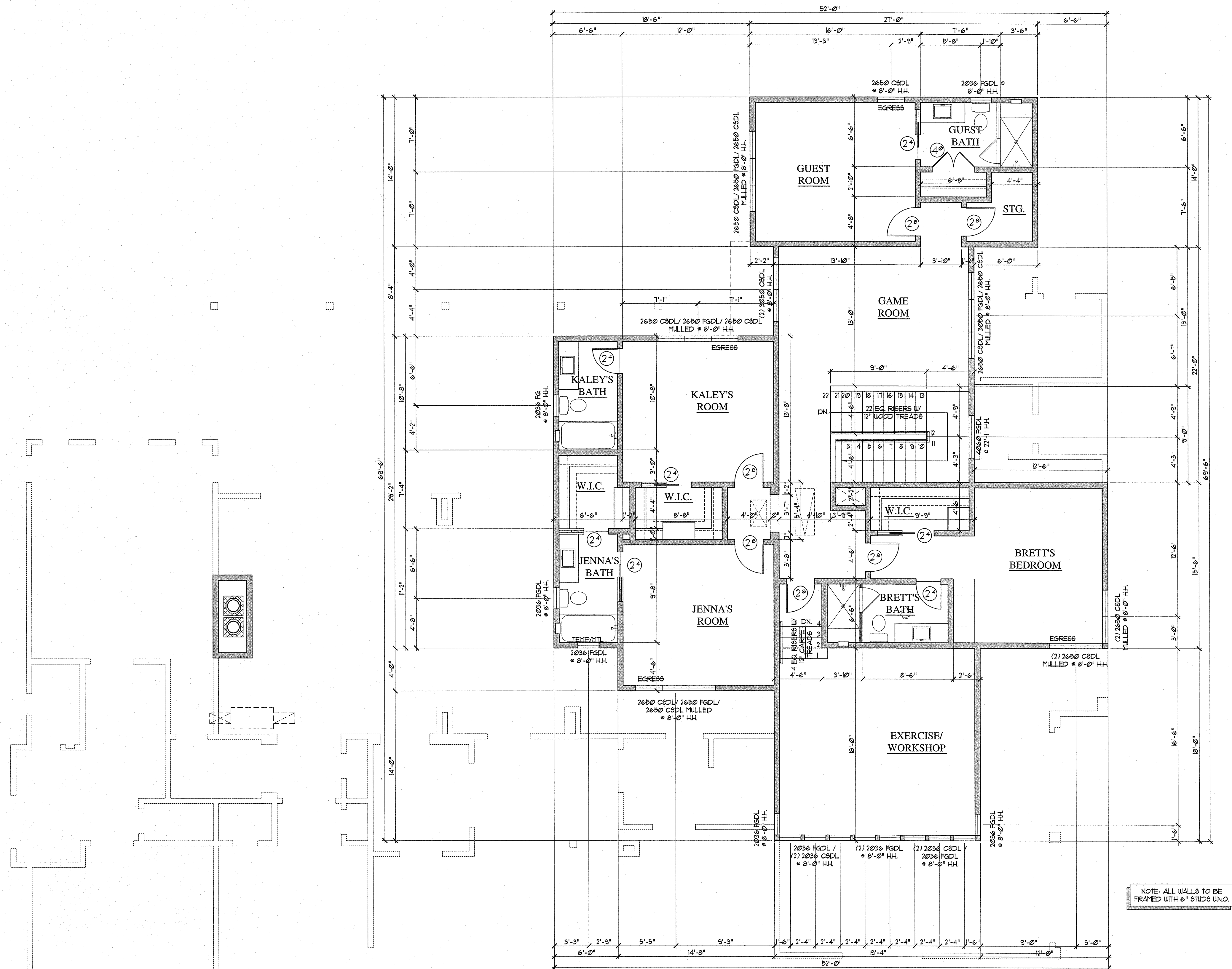
COPYRIGHT © 2013. ALL RIGHTS RESERVED.
THESE DESIGNS/ DRAWINGS ARE THE SOLE
PROPERTY OF CORNERSTONE GROUP
ARCHITECTS AND MAY NOT BE
REPRODUCED IN ANY FORM BY ANY
METHOD, FOR ANY PURPOSE WITHOUT
PREVIOUS WRITTEN PERMISSION.

REVISION: 7/9/13

SCHNEIDER RESIDENCE
8801 CALERA DRIVE

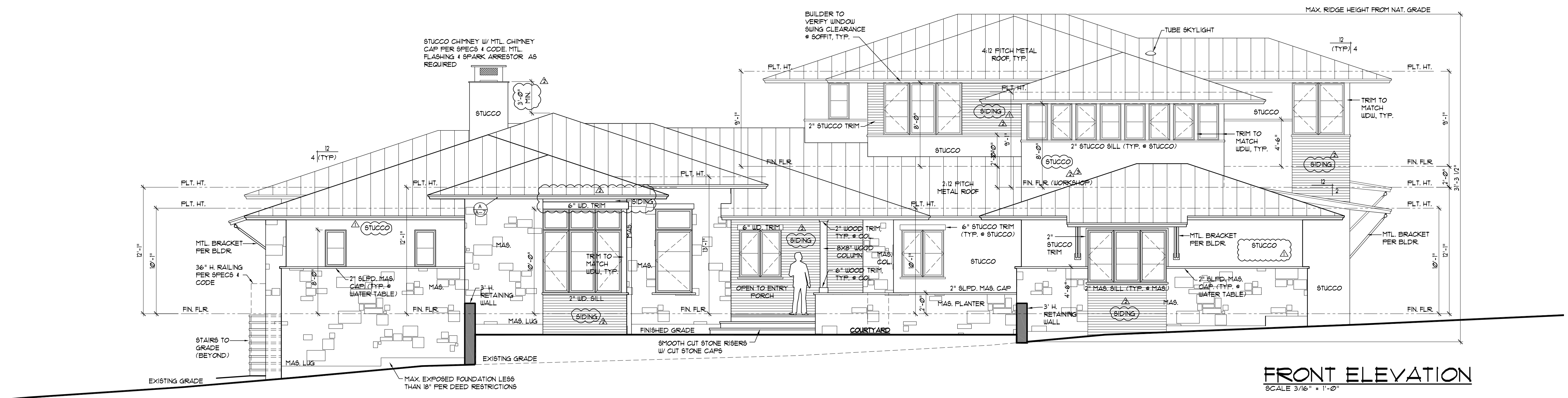
A-3
3 of 10

PROJECT NO. 13012
DRAWN BY: CV
DATE: 5/20/13
CHECKED BY: PC
PROJECT MGR: CV



SECOND FLOOR DIMENSION PLAN

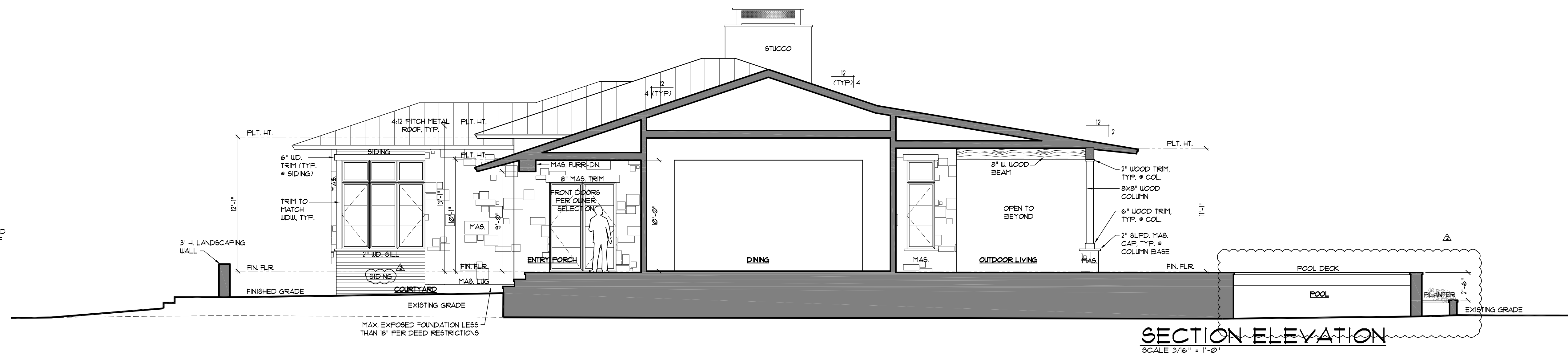
SCALE 3/16" = 1'-0"



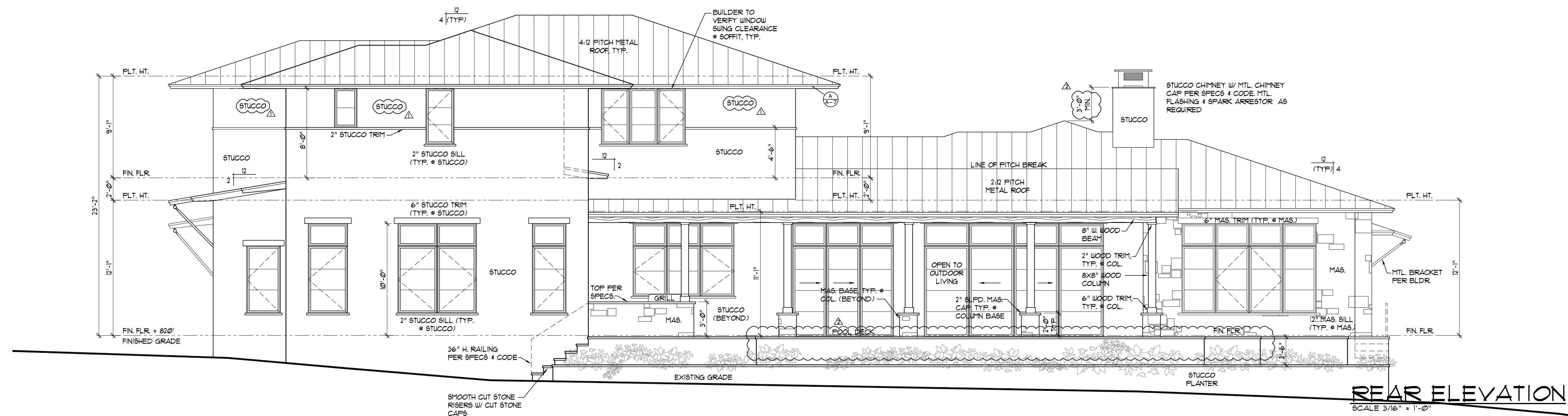
FRONT ELEVATION
SCALE 3/16" = 1'-0"

GENERAL ELEVATION NOTES

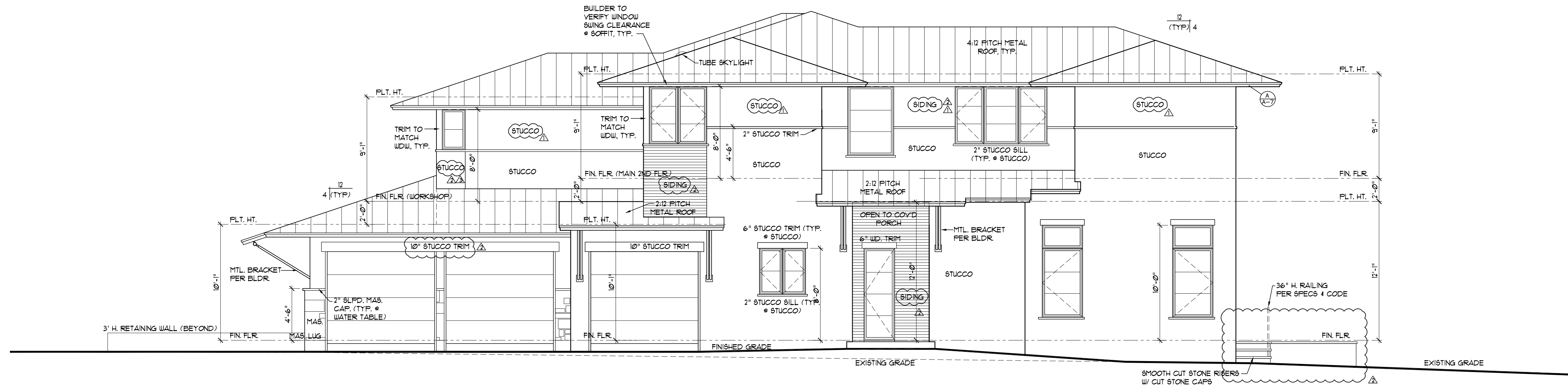
- 1.0 ALL WINDOW HDR, HTS. LOWER FLOOR TO BE 8'-0" AFF. UNLESS NOTED OTHERWISE ON FLOOR PLANS. ALL WINDOW HDR, HTS. UPPER FLOOR TO BE 6'-8" AFF. UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- 2.0 PROVIDE MIN. 4" W. TRIM AT ALL SIDES OF ALUMINUM WINDOWS. STUCCO TRIM AT STUCCO WALL VENEER AND 1X4 UD. TRIM AT SIDING/WOOD VENEERS.
- 3.0 EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 18" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- 4.0 GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
- 5.0 ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
- 6.0 ALL PLUMBING, AFFLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- 7.0 CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
- 8.0 CONTRACTOR TO PROVIDE RAINSCREEN AND FLASHING BEHIND ALL STUCCO / SIDING VENEERS TO ASSURE ADEQUATE DRAINAGE.



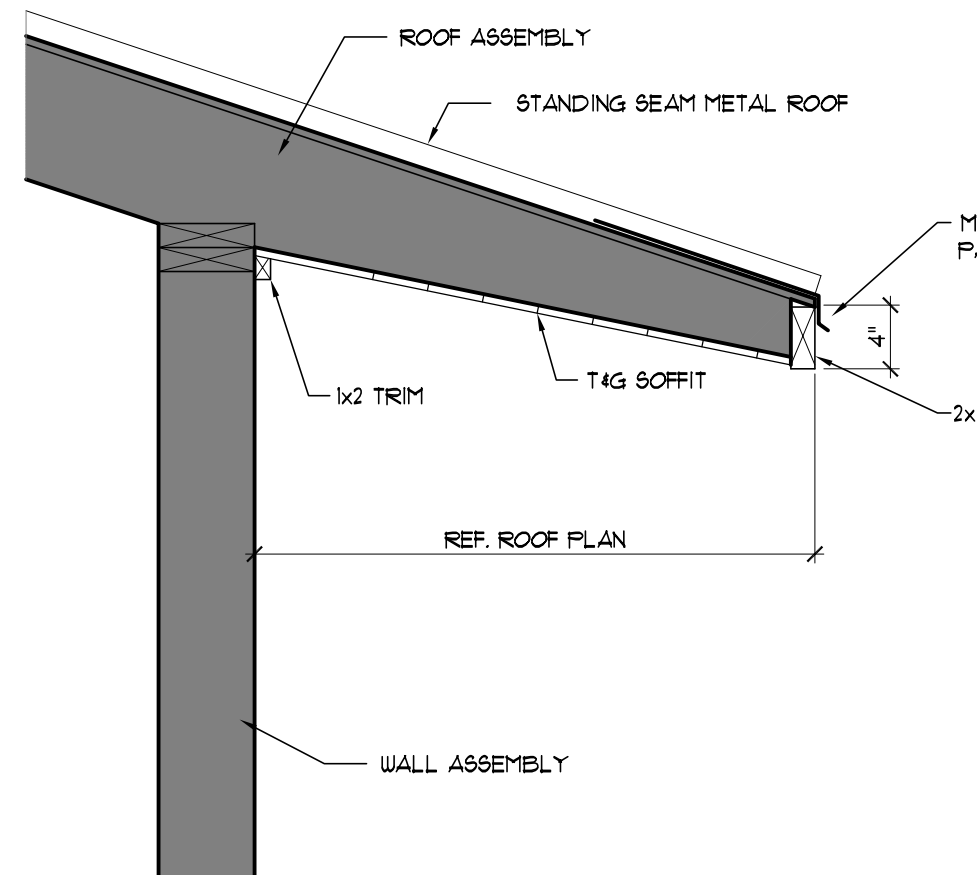
SECTION ELEVATION
SCALE 3/16" = 1'-0"



REAR ELEVATION
SCALE 3/16" = 1'-0"

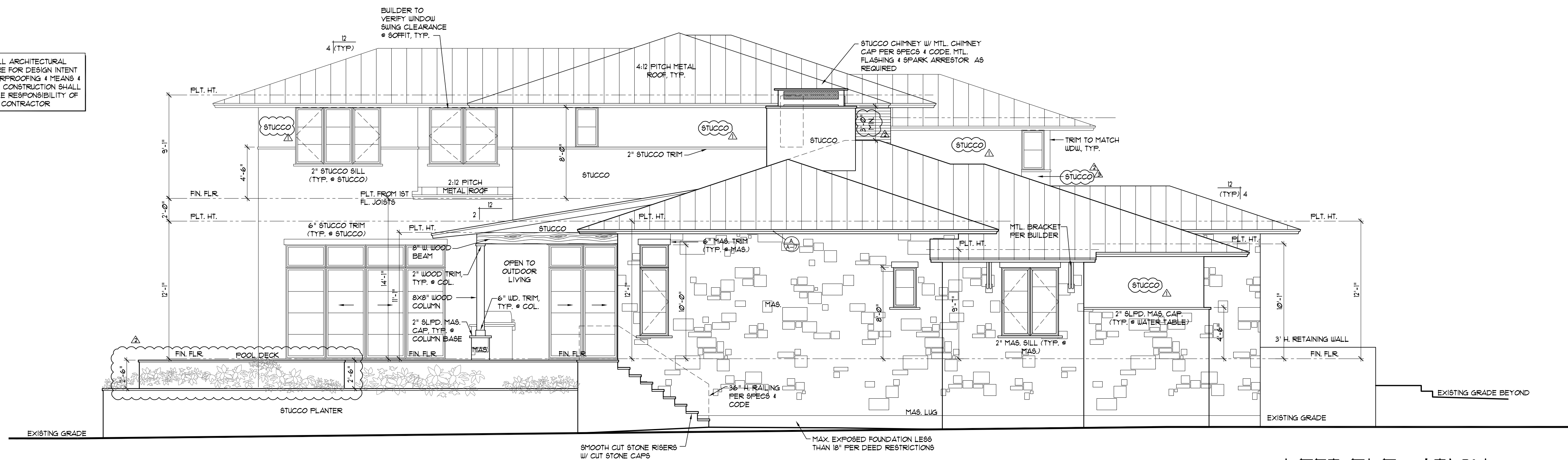


RIGHT ELEVATION
SCALE 3/16" = 1'-0"



NOTE: ALL ARCHITECTURAL DETAILS ARE FOR DESIGN INTENT ONLY. WATERPROOFING & MEANS & METHODS OF CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

DETAIL
SCALE 1" = 1'-0"



LEFT ELEVATION
SCALE 3/16" = 1'-0"

- 10 PITCHES TO BE AS NOTED ON PLANS.
- 20 HIP, VALLEY'S & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
- 30 ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 40 ALL OVERHANGS TO BE 48" FROM THE FRAMEWALL. UNLESS NOTED OTHERWISE.
- 50 UNO. ALL INTERIOR WALLS OF ONE STORY FLANS TO BE LOAD BEARING.
- 60 ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- 70 WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.

- 8.0 ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" OC.
- 9.0 BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO ALL APPLICABLE LOCAL AND STATE CODES. ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- 10.0 THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.

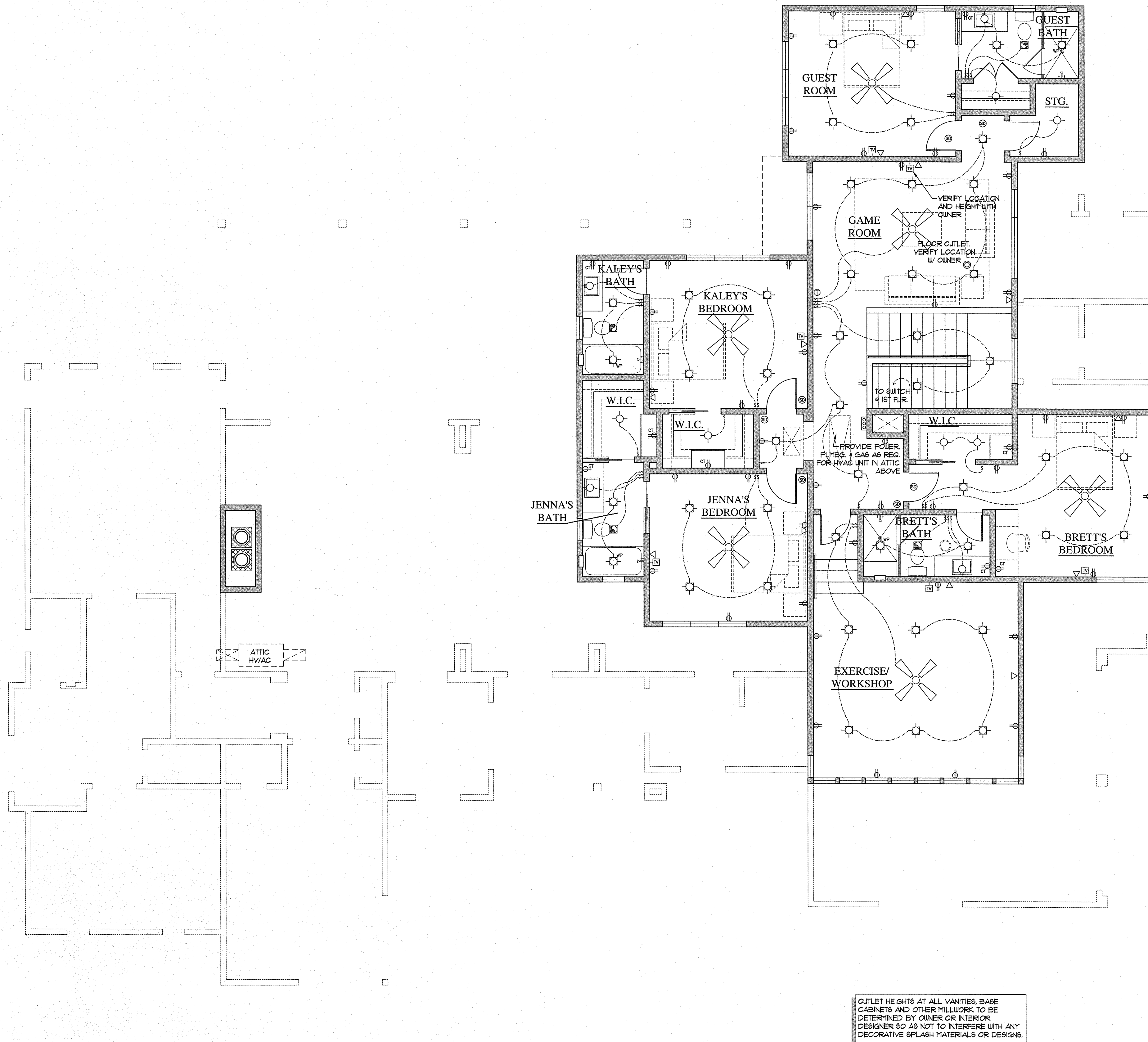


10. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL REPERFECT ALL WORK IN CONFORMITY WITH THESE REGULATIONS UNLESS OTHERWISE NOTED. SUCH WORK IS SPECIALLY SHOWN ON DRAWINGS.
20. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
30. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
50. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
60. ALL RECESSED DOWNLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
70. ALL SWITCHES TO BE 3'-0" AFF. TO CENTER LINE OF SWITCH PLATE UNLESS NOTED OTHERWISE.
80. PREPARE FOR SECURITY SYSTEM PER OWNER REQUEST.
90. GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
100. VERIFY LOCATION HEIGHT & TYPE OF POWER TO ALL APPLIANCES. COORDINATE WITH MILLWORK, OWNER, & INTERIOR DESIGNER.
110. OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A GFI CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
120. NO SWITCHES TO BE WITHIN 5'-0" OF A TUB OR SHOWER.
130. HEIGHT OF OUTLETS FROM FLOOR TO CENTER LINE OF OUTLET TO BE 2" TYPICAL UNLESS NOTED OTHERWISE.
140. LOCATION OF ALL FLOOR OUTLETS & FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
150. PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
160. NOTE TO SUBCONTRACTOR: CENTER LIGHT OVER FEDESTAL LAMP WHERE SHOWN.
170. SUPPLY 220V & 110V OR GAS & 110V TO HVAC UNITS IN ATTIC. (REFER TO SPECS). PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
180. PROVIDE FOR LIGHT NEAR HVAC UNITS IN ATTIC.
190. OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.
200. PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES & ENTRENCH. CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
210. MEDIA COMBINATION OUTLETS/9 TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS.
220. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
230. PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS WITH OPENERS.
240. PROVIDE ELECTRIC FOR POOL, &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
250. SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRING TO FRESH AIR ELECTRICAL SERVICES WITH BATTERY BACKUP.



OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.

	SWITCH		DOORBELL CHIMES
	SWITCH - DIMMER		INTERCOM / SPEAKER
	SWITCH - WATERPROOF		KEYPAD / AUTOMATION CONTROL PAD
	SWITCH - PUSH BUTTON		MOTION DETECTOR
	JUNCTION BOX		LIGHT - CEILING MOUNT
	OUTLET - 110V DUPLEX		LIGHT - WALL MOUNT
	OUTLET - ABOVE COUNTER (VERIFY HEIGHT)		LIGHT - RECESSED CAN
	OUTLET - 110V WATERPROOF		LIGHT - RECESSED DIRECTIONAL
	OUTLET - 110V SET BELOW COUNTERTOP		LIGHT - RECESSED CAN WATERPROOF
	OUTLET - 110V SPLIT WIRE SWITCH TOP PLUG ONLY		LIGHT - MINI RECESSED CAN
	FLOOR OUTLET - 110V		LIGHT - WALLWASH TRIM or ADJ. APERTURE
	CEILING OUTLET - 110V		LIGHT - PENDANT
	OUTLET - 110V QUADPLEX		LIGHT - RECESSED PIN SPOT
	OUTLET - 220V		LIGHT - WALLWASH FIXTURE
	OUTLET - CAT5 CONNECTION		LIGHT - MINI FLOOD
	OUTLET - PHONE		LIGHT - LOW VOLTAGE UPLIGHT
	OUTLET - FLOOR PHONE		LIGHT - LOW VOLTAGE HALOGEN
	OUTLET - TELEVISION		LIGHT - LOW VOLTAGE DIRECTIONAL SPOT
	OUTLET - COMBINATION MEDIA		LIGHT - FLUORESCENT
	GAS BIB		LIGHT - UNDER CABINET (TYPE PER SPECS)
	GAS SHUT-OFF KEY		LIGHT - TRACK
	ELECTRICAL SERVICE PANEL		LIGHT - FLOOD
	THERMOSTAT		LIGHT - RECESSED IN RISER
	SMOKE DETECTOR		EXHAUST / VENT
	HEAT DETECTOR		HEAT LAMP
	CARBON MONOXIDE DETECTOR		VENT / LIGHT COMBO
	CEILING FAN (WITHOUT LIGHT)		VENT / LIGHT / HEAT COMBO
			CEILING FAN w/ LIGHT KIT



SECOND FLOOR ELECTRICAL PLAN
SCALE 3/16" = 1'-0"

CG PARTNERS
A LIMITED LIABILITY PARTNERSHIP
CORNERSTONE GROUP ARCHITECTS

COPYRIGHT © 2013. ALL RIGHTS RESERVED.
THESE DESIGNS/DRAWINGS ARE THE SOLE
PROPERTY OF CORNERSTONE GROUP
ARCHITECTS AND MAY NOT BE
REPRODUCED IN ANY FORM, BY ANY
METHOD, FOR ANY PURPOSE WITHOUT
PREVIOUS WRITTEN PERMISSION.

REVISION:

SCHNEIDER RESIDENCE
8801 CALERA DRIVE

SHEET **A-10**
10 of 10

PROJECT NO. 13012
DRAWN BY: CV
DATE: 5/20/13
CHECKED BY: PC
PROJECT MGR: CV

REGISTERED ARCHITECT
STATE OF ALABAMA