

I, THE UNDERSIGNED, HAVE, THIS DAY, MADE A CAREFUL AND ACCURATE SURVEY OF THE PROPERTY LOCATED AT: 3305 DESERT WILLOW COVE, AUSTIN, TEXAS, BEING DESCRIBED AS FOLLOWS: LOT 52, BLOCK "A", THE ESTATES ABOVE LOST CREEK, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 81, PAGE(S) 286-294 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

REFERENCE: GF NO. 00201401

BUYER: JOHN BALIS AND MERRY BALIS

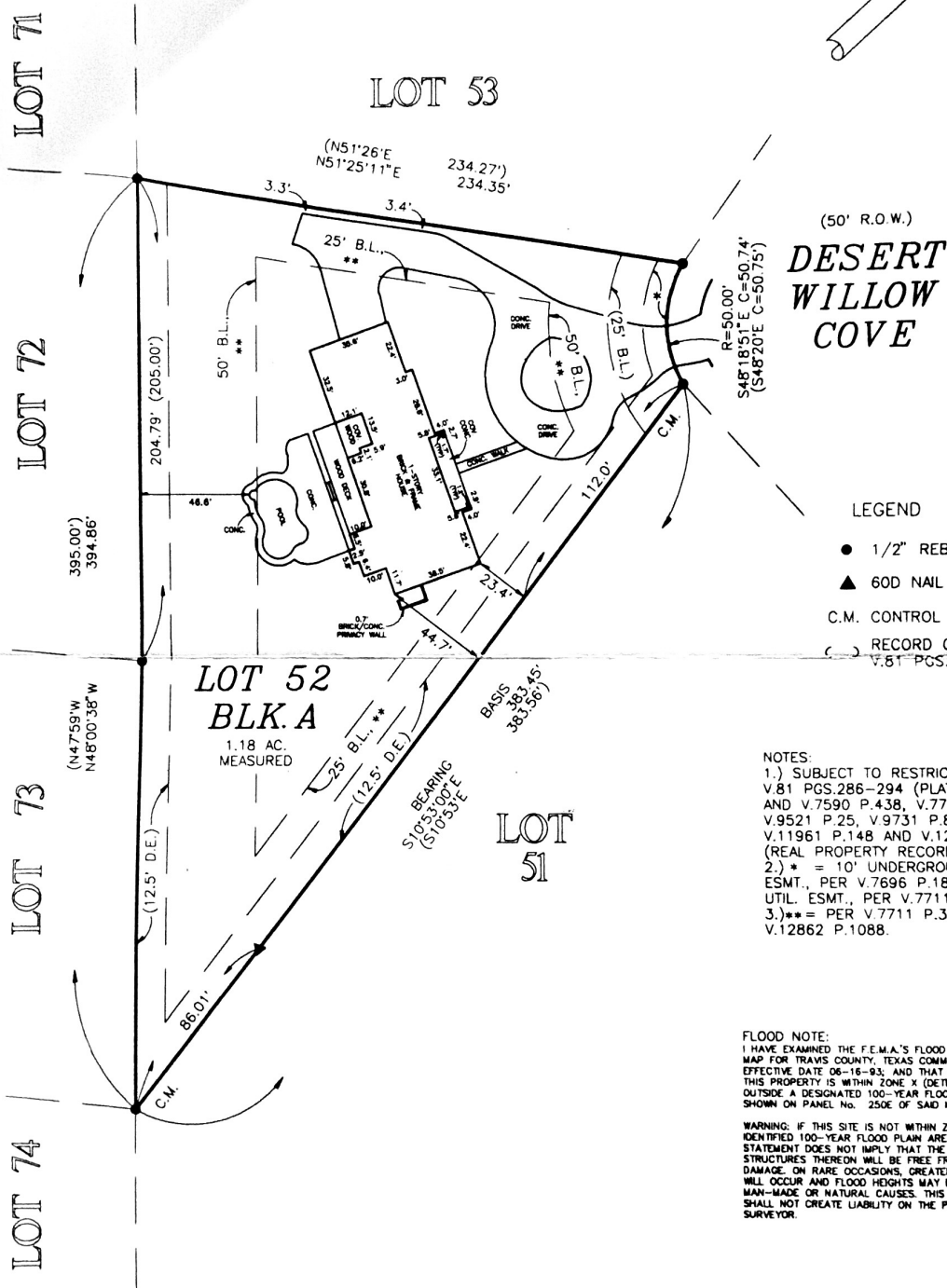
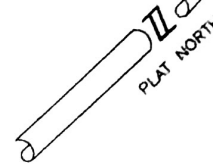
SELLER: LEO R. DUNN AND SANDRA A. DUNN

LENDER: N/A

TITLE COMPANY: HERITAGE TITLE COMPANY OF AUSTIN, INC.

UNDERWRITER: COMMONWEALTH LAND TITLE INSURANCE COMPANY

SCALE: 1" = 50'



NOTES:

- 1.) SUBJECT TO RESTRICTIONS:
V.81 PGS.286-294 (PLAT REC.)
AND V.7590 P.438, V.7711 P.366,
V.9521 P.25, V.9731 P.805,
V.11961 P.148 AND V.12862 P.1088
(REAL PROPERTY RECORDS).
- 2.) * = 10' UNDERGROUND ELEC./TELE.
ESMT., PER V.7696 P.186 AND A 10'
UTIL. ESMT., PER V.7711 P.366
- 3.) ** = PER V.7711 P.366 AND
V.12862 P.1088.

FLOOD NOTE:

I HAVE EXAMINED THE F.E.M.A.'S FLOOD INSURANCE RATE MAP FOR TRAVIS COUNTY, TEXAS COMMUNITY No. 48453C; EFFECTIVE DATE 06-18-93; AND THAT MAP INDICATED THAT THIS PROPERTY IS WITHIN ZONE X (DETERMINED TO BE OUTSIDE A DESIGNATED 100-YEAR FLOOD PLAIN AREA) AS SHOWN ON PANEL No. 250E OF SAID MAP.

WARNING: IF THIS SITE IS NOT WITHIN ZONE AE (AN IDENTIFIED 100-YEAR FLOOD PLAIN AREA), THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

THE UNDERSIGNED DOES HEREBY CERTIFY TO TITLE COMPANY, UNDERWRITER, LENDER, BUYER AND SELLER ABOVE-NAMED THAT THIS SURVEY WAS THIS DAY MADE BY ME OR UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY DESCRIBED HEREON AND IS ACCURATE, AND THAT THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY EASEMENTS OR ROADWAYS, EXCEPT AS SHOWN HEREON, AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON. THIS PLAT IS NOT VALID UNLESS ACCOMPANIED BY AN ORIGINAL SEAL.



RALPH HARRIS SURVEYOR, INC.

1406 HETHER, AUSTIN, TEXAS 78704 - (512) 444-1781

James M. Grant

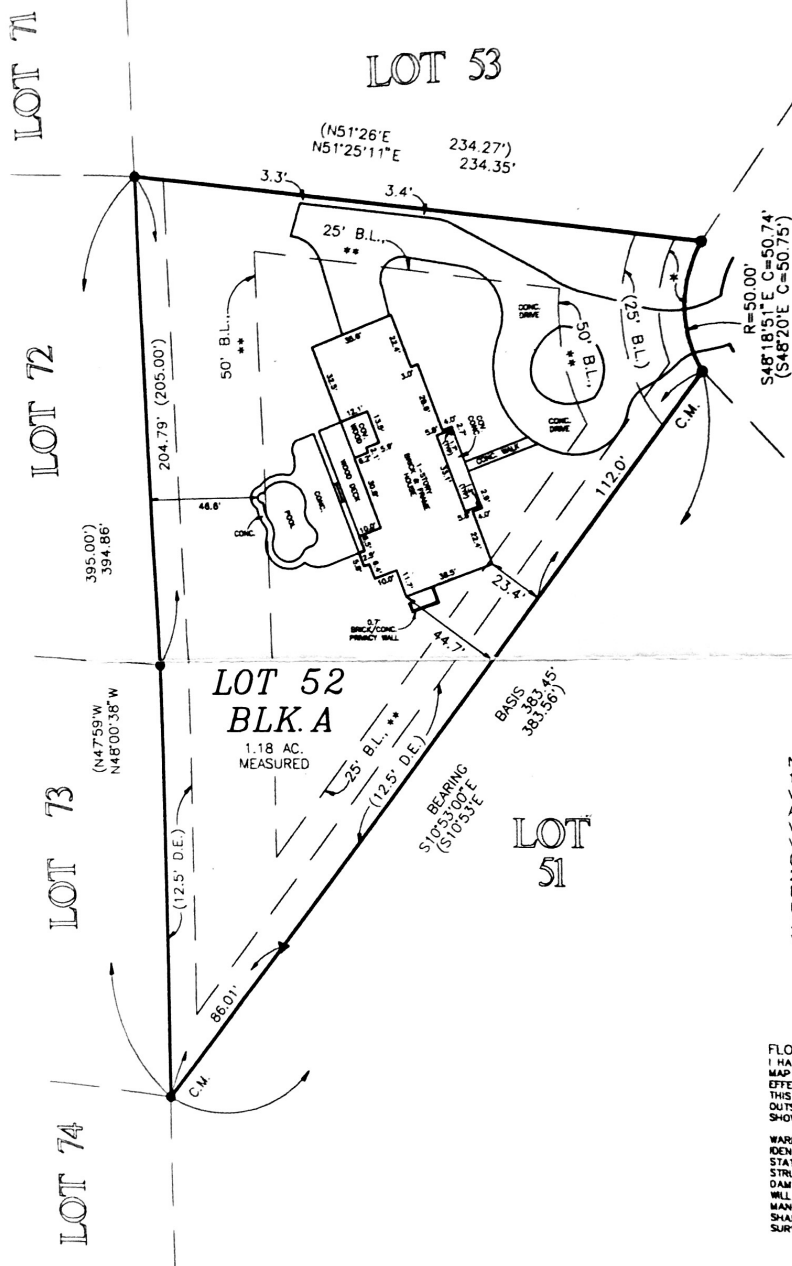
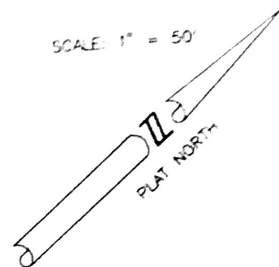
JAMES M. GRANT
VOICE NO.: 37909

R.P.L.S. NO. 1919 08-22-00
WORK ORDER NO.: 36489 - R. HANSEN

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SCALE: 1" = 50'

REFERENCE: GF NO. 00201401
BUYER: JOHN BALIS AND MERRY BALIS
SELLER: LEO R. DUNN AND SANDRA A. DUNN
LENDER: N/A
TITLE COMPANY: HERITAGE TITLE COMPANY OF AUSTIN, INC.
UNDERWRITER: COMMONWEALTH LAND TITLE INSURANCE COMPANY



(50' R.O.W.)
**DESERT
WILLOW
COVE**

LEGEND

- 1/2" REBAR FOUND
- ▲ 60D NAIL FOUND
- C.M. CONTROL MONUMENT
- RECORD CALL, 7.5' PGS.286-294

NOTES:

- 1.) SUBJECT TO RESTRICTIONS:
V.81 PGS.286-294 (PLAT REC.)
AND V.7590 P.438, V.7711 P.366,
V.9521 P.25, V.9731 P.805,
V.11961 P.148 AND V.12862 P.1088
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ESMT., PER V.7696 P.186 AND A 10'
UTIL. ESMT., PER V.7711 P.366
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V.12862 P.1088.

FLOOD NOTE:

I HAVE EXAMINED THE F.E.M.A.'S FLOOD INSURANCE RATE MAP FOR TRAVIS COUNTY, TEXAS COMMUNITY No. 48453C, EFFECTIVE DATE 06-16-93, AND THAT MAP INDICATED THAT THIS PROPERTY IS WITHIN ZONE X (DETERMINED TO BE OUTSIDE A DESIGNATED 100-YEAR FLOOD PLAIN AREA) AS SHOWN ON PANEL No. 2506 OF SAID MAP.

WARNING: IF THIS SITE IS NOT WITHIN ZONE AE (AN IDENTIFIED 100-YEAR FLOOD PLAIN AREA), THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

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1406 HETHER, AUSTIN, TEXAS 78704 - (512) 444-1781

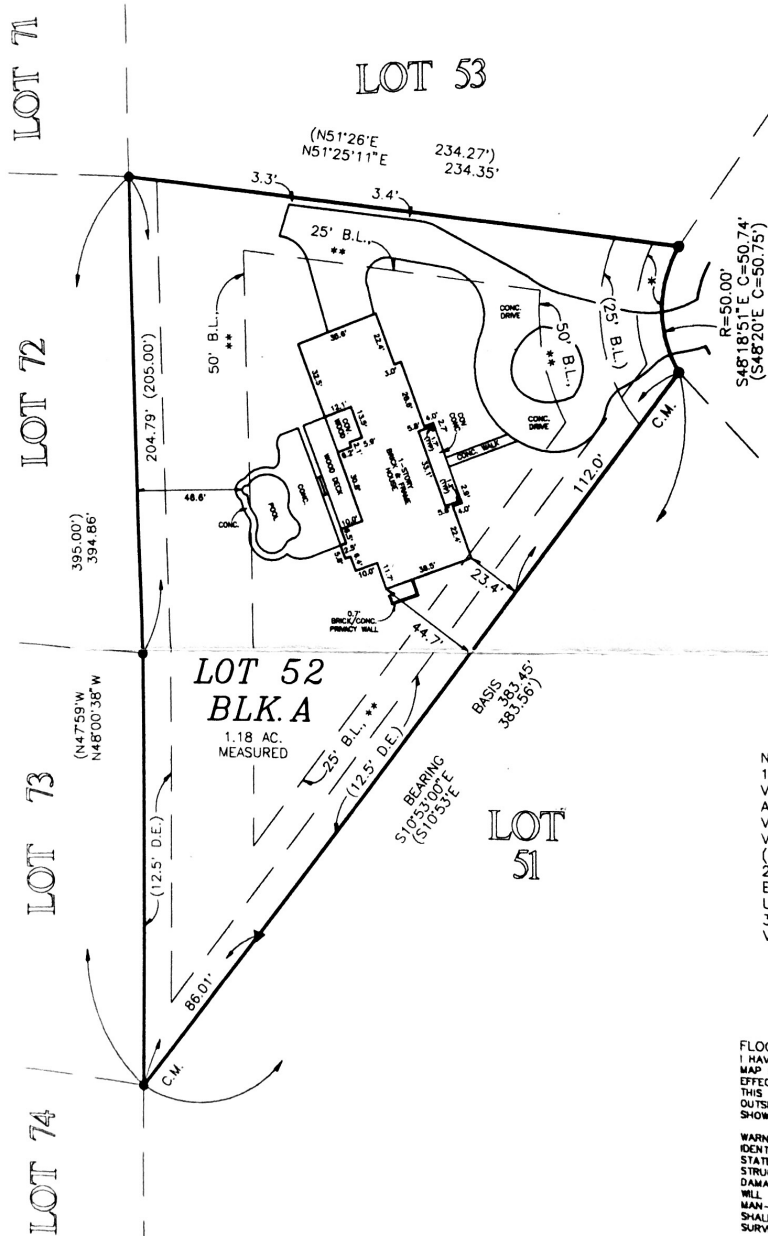
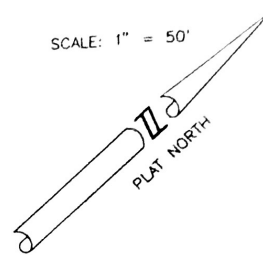


James M. Grant
JAMES M. GRANT
PLAT NO. 37909
R.P.L.S. NO. 1919
WORK ORDER NO. 36489
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 LENDER: N/A
 TITLE COMPANY: HERITAGE TITLE COMPANY OF AUSTIN, INC.
 UNDERWRITER: COMMONWEALTH LAND TITLE INSURANCE COMPANY

SCALE: 1" = 50'



(50' R.O.W.)
DESERT WILLOW COVE

LEGEND

- 1/2" REBAR FOUND
- ▲ 60D NAIL FOUND
- C.M. CONTROL MONUMENT
- RECORD CALL, V.81 PGS.286-294

NOTES:

- 1.) SUBJECT TO RESTRICTIONS: V.81 PGS.286-294 (PLAT REC.) AND V.7590 P.438, V.7711 P.366, V.9521 P.25, V.9731 P.805, V.11961 P.148 AND V.12862 P.1088 (REAL PROPERTY RECORDS).
- 2.) * = 10' UNDERGROUND ELEC./TELE. ESMT., PER V.7696 P.186 AND A 10' UTIL. ESMT., PER V.7711 P.366
- 3.)** = PER V.7711 P.366 AND V.12862 P.1088.

FLOOD NOTE:

I HAVE EXAMINED THE F.E.M.A.'S FLOOD INSURANCE RATE MAP FOR TRAVIS COUNTY, TEXAS COMMUNITY No. 48433C, EFFECTIVE DATE 06-16-93, AND THAT MAP INDICATED THAT THIS PROPERTY IS WITHIN ZONE X (DETERMINED TO BE OUTSIDE A DESIGNATED 100-YEAR FLOOD PLAIN AREA) AS SHOWN ON PANEL No. 250E OF SAID MAP.

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RALPH HARRIS SURVEYOR, INC.

James M. Grant
 JAMES M. GRANT
 LICENSE NO: 37909

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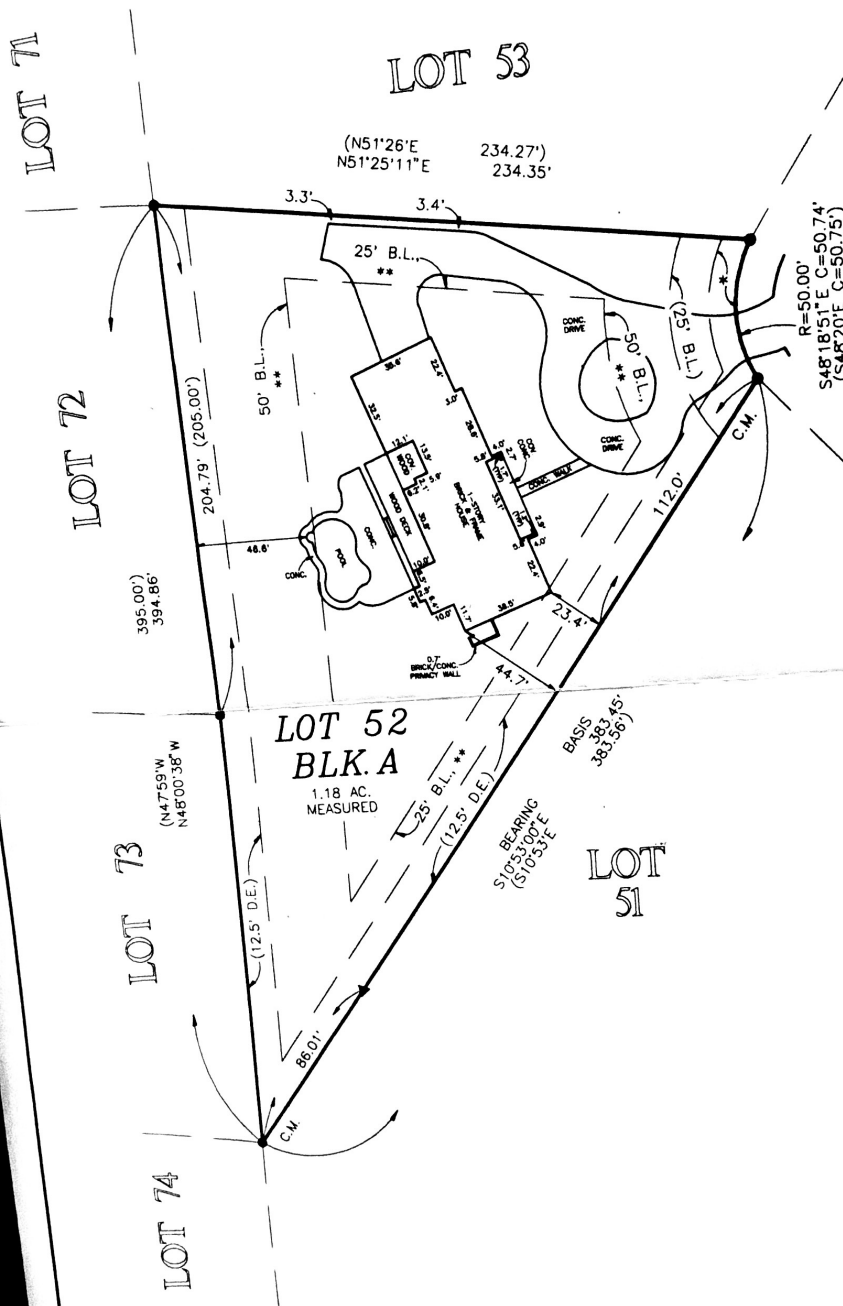
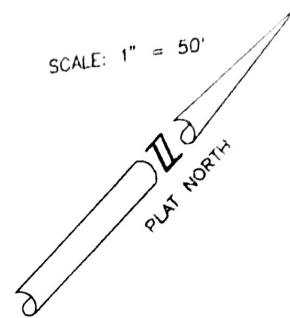
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 LENDER: N/A
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 UNDERWRITER: COMMONWEALTH LAND TITLE INSURANCE COMPANY

SCALE: 1" = 50'



(50' R.O.W.)
DESERT WILLOW COVE

LEGEND

- 1/2" REBAR FOUND
- ▲ 60D NAIL FOUND
- C.M. CONTROL MONUMENT
- RECORD CALL, V.81 PGS.286-294

NOTES:

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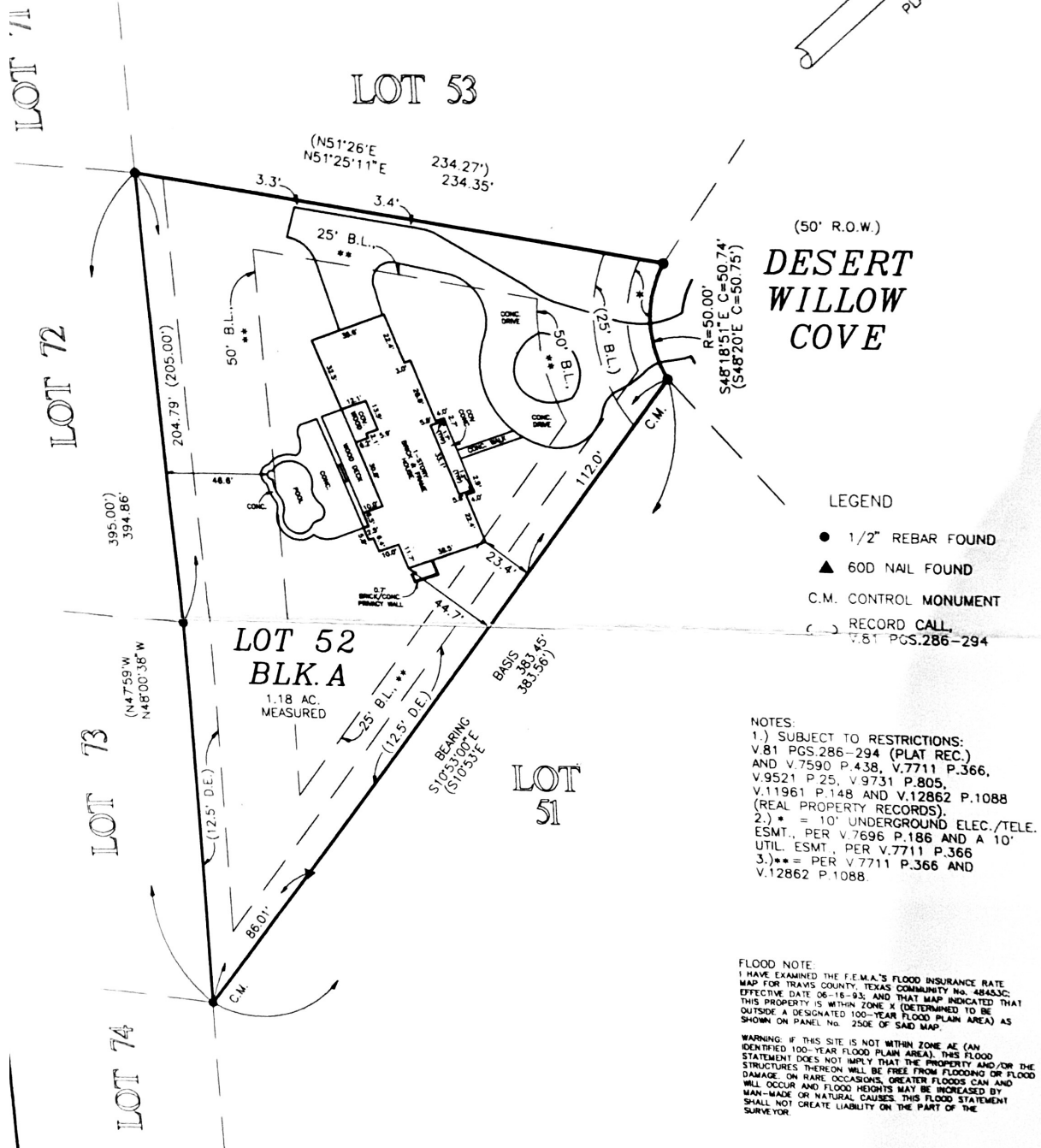
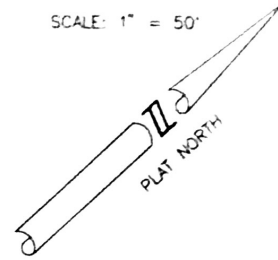
James M. Grant
 JAMES M. GRANT
 LICENSE NO. 37909

R.P.L.S. NO. 1919
 WORK ORDER NO. 36489 - R. HANSEN

RESIGNED, HAVE, THIS DAY, MADE A CAREFUL AND ACCURATE
THE PROPERTY LOCATED AT: 3305 DESERT WILLOW COVE, AUSTIN, TEXAS,
RIBED AS FOLLOWS: LOT 52, BLOCK "A", THE ESTATES ABOVE LOST CREEK, A
IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED
81, PAGE(S) 286-294 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

OF NO. 00201401
IN BALIS AND MERRY BALIS
O R. DUNN AND SANDRA A. DUNN
/A
PANY: HERITAGE TITLE COMPANY OF AUSTIN, INC.
TER: COMMONWEALTH LAND TITLE INSURANCE COMPANY

SCALE: 1" = 50'



LEGEND

- 1/2" REBAR FOUND
- ▲ 60D NAIL FOUND
- C.M. CONTROL MONUMENT
- () RECORD CALL, PGS. 286-294

NOTES

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MAP FOR TRAVIS COUNTY, TEXAS COMMUNITY No. 48433C,
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RALPH HARRIS SURVEYOR, INC.

1406 HETHER, AUSTIN, TEXAS 78704 - (512) 444-1781

James M. Grant
JAMES M. GRANT
PLAT NO. 57909

R.P.L.S. NO. 1919
WORK ORDER NO. 36489 - R. HANSEN
08-22-00

