

GENERAL PLAN NOTES:

- 1) USE 2X6 OR (DBL. 2X4 @ 12" O.C.) FRAMING AT ALL WALLS OVER 10'-0" IN HEIGHT.
- 2) 8'-0" DOORS @ 10'-0" OR HIGHER PLATE HEIGHTS. (UNO.) 6'-8" DOORS @ 9'-0" FL. HT. (UNO.)
- 3) ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNO. GLASS SIZE PER MFR. SPECS.
- 4) ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. ALL WINDOWS ABOVE BATHTUBS TO BE TEMPERED. ANY WINDOW AT STAIRWAY HAVING A SILL HT. BELOW 36" TO BE TEMPERED. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 5) WINDOW MANUFACTURER & THE CONTRACTOR TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- 6) PROVIDE 1-3/8" THICK, FIRE RATED OR 20 MINUTE, SOLID CORE, SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
- 7) HINGED SHOWER DOORS SHALL SWING OUTWARD, ANY GLAZING IN SHOWER OR BATHTUB DOORS, PANELS OR OTHER ENCLOSURES SHALL BE TEMPERED.
- 8) WEATHERSEAL ALL EXTERIOR DOOR THRESHOLDS, INCLUDING DOOR TO GARAGE (IF APPLICABLE). WEATHER-STRIP ALL ATTIC ACCESS DOOR(S) OR ACCESS PANELS INTO VOIDS.
- 9) HANDRAILS SHALL BE PROVIDED FOR ALL STAIRS WITH 4 OR MORE RISERS UNO. OR PER CURRENT CODE (IRC). STAIR RAILINGS SHALL BE 36" HT. ABOVE THE STAIR NOSING (NOT LESS THAN 34" NOR ABOVE 38" ABV. STAIR NOSING OF TREADS). THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AS NECESSARY.
- 10) GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SUCH THAT NO OBJECT 4" OR LARGER MAY PASS THROUGH. PROVIDE BLOCKING FOR GUARDRAIL MOUNTING AT STAIRS AS NECESSARY. PROVIDE GUARDRAILS AT PATIOS, PORCHES AND RETAINING WALLS IF DROP EXCEEDS 30" TO FINISHED GRADE.
- 11) FIREPLACE CHIMNEYS SHALL EXTEND 24" (MIN.) ABOVE THE HIGHEST POINT OF THE ROOF WITHIN A 10'-0" RADIUS OR UNLESS NOTED OTHERWISE
- 12) CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATAWK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- 13) ATTIC VENTING AS REQUIRED PER INSULATION TYPE. SPRAY FOAM VENTING IS NOT REQUIRED. (BLOCK ALL DECORATIVE GABLE/ATTIC VENTS FOR SPRAY FOAM) BATT INSULATION PROVIDE 1 SF. NET FREE AREA OF ATTIC VENTILATION PER 150 SF. OF TOTAL COVERED ROOF AREA AS REQUIRED PER CODE.
- 14) THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF (1 1/2") UNO. CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- 15) STANDARD PANTRY SHELVING TO BE AS FOLLOWS: LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 14" CLEAR. REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- 16) MASONRY VENEER AT INTERIOR WALL. MASONRY TO MATCH EXTERIOR OR PER INTERIOR DESIGNER/ OWNER SELECTION.
- 17) SQUARE FOOTAGE CALCULATIONS GIVEN ARE BASED ON THESE CONSTRUCTION DRAWINGS NOT THE ACTUAL FINISHED BUILDING(S). ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONS OR CHANGES TO SQUARE FOOTAGES THAT ARE HANDLED IN THE FIELD DURING CONSTRUCTION.
- 18) ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 19) THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- 20) WATER HEATER TO BE INSTALLED ON 18" PLATFORM OR APPROVED PREFAB. STAND AS STIPULATED PER CODE. PROVIDE FOR ALL PLUMB, GAS, WATER, HARDWARE, PAN, DRAIN LINES AND VENTING AS REQ'D. TO ADEQUATELY OPERATE U.H. SIZE & QUANTITY OF U.H. PER SPECS.
- 21) TANKLESS WATER HEATER TO BE INSTALLED PER CODE. PROVIDE FOR ALL PLUMB, GAS, WATER, HARDWARE, PAN, DRAIN LINES AND VENTING AS REQ'D. TO ADEQUATELY OPERATE U.H. SIZE & QUANTITY OF U.H. PER SPECS.
- 22) THE CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, CEILING FANS, EQUIPMENT, CLOSET ROBS, MEDICINE CABINETS AND ANY OTHER ITEMS AS MAY BE REQUIRED.
- 23) UNO. HOSE BIB HT. SHALL NOT EXCEED 24" AFG. VERIFY EXACT LOCATION WITH BUILDER / OWNER.
- 24) UNO. DRYER VENTS TO BE VENTED DIRECTLY THROUGH WALL TO OUTSIDE, OTHERWISE, DOWN THROUGH SLAB AND OUT TO THE SIDE OF THE SLAB.
- 25) PROVIDE ANY/ALL ELECTRICAL REQUIREMENTS TO GAS LOG SET AT GAS FIREPLACES AS REQUIRED PER MANUF. SPECS.
- 26) PROVIDE ELECTRICAL FOR POOL, 4/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY FLOOR, WALL, CEILING, 4/OR SPA. VERIFY LOCATION WITH THE CONTRACTOR OR OWNER.
- 27) ALL EXTERIOR LIGHTING TO COMPLY W/ 'NIGHTSKY' COMMUNITY REQUIREMENTS AS REQUIRED.
- 28) ANY AND ALL METAL OBJECTS WITHIN (5') FIVE FEET OF A POOL MUST BE GROUNDED (BONDED) WITH THE POOL & POOL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO: METAL WINDOWS AND DOORS, HANDRAILS, STATUES, ETC.
- 29) BUILDER TO VERIFY ALL REQUIREMENTS FOR WHOLE-HOUSE FIRE SPRINKLER SYSTEM AS REQ'D. PER APPLICABLE CODES.
- 30) SLOPE DECK(S)/ PATIO(S)/ GARAGES AS REQ'D. TO DRAIN WATER. BUILDER TO ACCOUNT FOR 1/2" (MIN.) DROP FROM FF. TO EXTERIOR FINISHED SURFACE.
- 31) CUSTOM TILE SHOWER, WATERPROOF SHOWER BASE PER BUILDER SPECS. SLOPE TILE TO DRAIN. 20" HT. TILE SEAT. SLOPE SEAT TO DRAIN WATER. 2'-4" (UNO.) TEMP. GLASS DOOR WHERE REQ'D. PER PLANS.
- 32) VENTHOOD DESIGN PER OWNER AND/OR INT. DESIGNER. VENT-LINER PER SPECS. PROVIDE ELEC. AS REQ'D.
- 33) 20"x20"x2" DROPPED SLAB UNDER WASH-ER. SLOPE TILE TO DRAIN.
- 34) PROVIDE DRAIN @ ICE MAKER.
- 35) PROVIDE GAS & ELECTRIC @ BBQ GRILL.
- 36) BUILDER TO COORDINATE STUB-OUT LOCATION FOR POOL, ELECTRIC, GAS AND PLUMBING.
- 37) BUILDER TO COORDINATE DROP IN FLOOR SYSTEM TO ACCOMMODATE CURBLESS CONDITION AT ALL FLOOR DRAIN LOCATIONS.

ELECTRICAL NOTES:

- 1) ALL WORK DONE FOR THESE PLANS SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES APPLICABLE. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SHOWN ON DRAWINGS.
- 2) ELECTRICAL SUBCONTRACTOR TO PROVIDE ALL NECESSARY ELECTRICAL CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE REQUIREMENTS.
- 3) PROVIDE FOR ALL ELECTRICAL REQUIREMENTS TO HVAC UNITS AS REQ'D. PER MANUF. SPECS. PROVIDE LIGHTS NEAR HVAC UNITS IF LOCATED IN ATTIC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND APPROVAL OF WIRING, INSTALLATIONS OF FIXTURES, EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETED ELECTRICAL INSTALLATIONS BY THE LOCAL ELECTRICAL INSPECTORS.
- 5) VERIFY LOCATION OF ALL POWER REQUIREMENTS TO ALL APPLIANCES
- 6) HEIGHT OF FLOOR OUTLETS & PHONE OUTLETS TO BE 12" FROM FINISHED FLOOR TO TOP OF OUTLET. TYPICAL UNLESS NOTED OTHERWISE.
- 7) ALL OUTLETS WITHIN 6'-0" OF A SINK OR LAVATORY, ALL EXTERIOR OUTLETS AND ALL OUTLETS LOCATED IN GARAGE TO BE ON A GFI. CIRCUIT. PROVIDE WATERPROOF GFCI OUTLET WITHIN 5' (25' MAX.) OF EXTERIOR HVAC UNITS. VERIFY HT. W/ BUILDER.
- 8) TANKLESS U.H. AND/OR UH ON 18" HT. RAISED PLATFORM. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- 9) VERIFY ALL LOCATIONS OF FLOOR PLUGS & FLOOR PHONE OUTLETS WITH OWNER & BUILDER PRIOR TO INSTALLATION
- 10) HEIGHT OF LIGHT SWITCHES TO BE 48" FROM FINISHED FLOOR TO TOP OF SWITCH PLATE. GANG ALL SWITCHES WHENEVER POSSIBLE. TYPICAL UNLESS OTHERWISE NOTED.
- 11) RECEPTACLES SHALL NOT BE INSTALLED WITHIN A ZONE MEASURED 3' HORIZONTALLY AND 9' VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD. THE IDENTIFIED ZONE IS ALL ENCOMPASSING AND SHALL INCLUDE THE SPACE DIRECTLY OVER THE TUB OR SHOWER STALL.
- 12) WALL LIGHT FIXTURES IN BATHROOMS TO BE CENTERED OVER SINK WHEREVER APPLICABLE.
- 13) PROVIDE FOR LIGHTS IN ATTIC AND SWITCH CLOSE TO ATTIC ACCESS.
- 14) ALL RECESSED LIGHTING (CAN LIGHTS) TO BE THERMAL RATED AND INCLUDED IN BASE BID. VERIFY & COORDINATE WITH BUILDER AND ALLOWANCE SCHEDULE FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- 15) ALL BATHROOM VENTS TO BE VENTED TO OUTSIDE.
- 16) ALL ELECTRICAL PANELS TO COMPLY WITH APPLICABLE ELECTRICAL CODES. ALLOW FOR 30" CLEAR SPACE AROUND PANEL. TOP OF PANEL AT 12" UNLESS NOTED OTHERWISE.
- 17) SMOKE/ CARBON MONOXIDE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN PER ELECTRICAL PLANS. ALL SMOKE DETECTORS TO BE HARDWIRED TO PRIMARY ELECTRICAL SERVICE AND EACH OTHER. PROVIDE BATTERY BACK-UP. SHALL A SMOKE DETECTOR BE REQUIRED IN A KITCHEN THE CONTRACTOR SHALL DETERMINE THE APPROPRIATE UNIT TYPE AND LOCATION TO A COOKING APPLIANCE AS REQUIRED BY THE 2021 IRC SECTION R314.3.
- 18) ELECTRICAL METER TO BE LOCATED IN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER & ELEMENTS. VERIFY WITH BUILDER AS TO FINAL LOCATION OF PANEL.
- 19) PRE-WIRE FOR SECURITY SYSTEM. VERIFY WITH BUILDER FOR ADDITIONAL WIRING WITH BUILDER & OWNER.
- 20) PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- 21) PROVIDE ELECTRIC FOR POOL, 4/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- 22) ALL POOL EQUIPMENT MUST BE ON A GFCI PER CODE.
- 23) ANY AND ALL METAL OBJECTS WITHIN (5') FIVE FEET OF A POOL MUST BE GROUNDED (BONDED) WITH THE POOL & POOL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO: METAL WINDOWS AND DOORS, HANDRAILS, STATUES, ETC.

GENERAL PROJECT NOTES:

- 1) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND SITE CONDITIONS PRIOR TO STARTING THE WORK. ANY DISCREPANCIES, CONFLICTS OR NONCOMPLIANCE IN THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- 2) THE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL, CODES, ORDINANCES, LAWS, PERMITS AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- 3) DIMENSIONS INDICATED ON THE CONSTRUCTION DOCUMENTS ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE SHEETROCK, FURRINGS OR ANY OTHER WALL FINISHES. DIMENSIONS SHALL NOT BE SCALED FROM THESE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. ANY IMPORTANT DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 4) THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY THE CONTRACTOR OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE CONTRACTOR WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- 5) CONTRACTOR SHALL VERIFY ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES ARE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION AT THE SITE. CONTRACTOR SHALL VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- 6) THE CONTRACTOR SHALL PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY LOCATIONS WITH OWNER OR ARCHITECT PRIOR TO INSTALLATION.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, APPROVALS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE RELATED TO THIS WORK. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY THE CONSTRUCTION PRIOR TO COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- 8) CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND LABOR FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY.
- 9) CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE ALL DEBRIS AS A RESULT OF THEIR WORK. DEBRIS TO BE REMOVED TO DUMPSTER OR APPROVED DUMP SITES ONLY.
- 10) THESE CONSTRUCTION DOCUMENTS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- 11) THESE CONSTRUCTION DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- 12) ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, ALL FIREBLOCKING LOCATIONS & REQUIREMENTS, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
- 13) THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
- 14) ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS PHONE: (512) 305-3000.

GENERAL INTERIOR ELEVATION NOTES

- 1) WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
- 2) STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
- 3) STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
- 4) VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER.
- 5) LAVATORIES AND SINKS SHOWN DO NOT NECESSARILY REFLECT THE ACTUAL SIZE OF THE FIXTURE SELECTED. CABINET MAKER TO VERIFY WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- 6) APPLIANCES SHOWN DO NOT NECESSARILY REFLECT THE ACTUAL SIZE OF THE APPLIANCE SELECTED. CABINET MAKER TO VERIFY WITH BUILDER/DESIGNER/OWNER FOR ACTUAL APPLIANCE STYLE AND SIZE PRIOR TO COMMENCING THE JOB.
- 7) SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
- 8) ALL MIRRORS PER SPECS. MOUNTING HT. TO BE DETERMINED BY BUILDER AND VERIFIED BY OWNER OR INTERIOR DESIGNER.
- 9) CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
- 10) PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- 11) PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES & ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- 12) ENTERTAINMENT CABINET / MEDIA CENTER. CABINET MAKER TO VERIFY CABINET WILL ADEQUATELY ACCOMMODATE OWNERS PROPOSED TV & AUDIO / VIDEO EQUIPMENT. UNO. DRAWERS TO BE EXTENDIBLE "FULL-OUT" FOR EASY ACCESS TO REAR OF COMPONENTS/EQUIPMENT. PROVIDE THRUHOLES & GROMMETS AS REQ'D. FOR CABLE CONNECTIONS.
- 13) TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- 14) CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER SELECTIONS.
- 15) SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.
- 16) ALL MEDICINE CABINETS TO BE PER SPECS. AND MOUNTED PER MANUFACTURER'S RECOMMENDATIONS.
- 17) ALL INTERIOR WALL FINISHED TO BE GYP. BD. (UNO.)

GENERAL SITE NOTES:

- 1) BUILDER TO RESURFULATE TOPOGRAPHY AND/OR FINISHED GRADE AS REQ'D. TO PROVIDE POSITIVE DRAINAGE OF SURFACE WATER AWAY FROM BUILDING & TO PREVENT NEGATIVE IMPACT ON ADJACENT PROPERTY.
- 2) FINAL LOCATION OF RESIDENCE AND FINISHED FLOOR ELEVATION TO BE VERIFIED BY BUILDER AND APPROVED BY OWNER PRIOR TO SLAB FORMWORK BEING ERECTED.
- 3) MAXIMUM AMOUNT OF EXPOSED FOUNDATION TO BE 18" UNLESS NOTED OTHERWISE BY CITY, COUNTY OR SUBDIVISION REQUIREMENTS.
- 4) VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION. UTILITY LINE LOCATIONS ARE APPROXIMATES. - GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- 5) BUILDER TO PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- 6) BUILDER TO PROVIDE FOR EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7) BUILDER TO PROVIDE FOR STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 8) LOCATION OF MAILBOX (IF APPLICABLE) AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED BY OWNER & BUILDER PRIOR TO INSTALLATION.
- 9) ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- 10) ALL EXTERIOR MECH & HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- 11) TRASH CAN TO BE STORED IN GARAGE OR IN AN AREA SCREENED FROM PUBLIC VIEW AND PROTECTED FROM ANIMAL ACCESS.
- 12) ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- 13) CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.
- 14) LANDSCAPE PLAN & PERMITS BY OTHERS.
- 15) POOL, POOL DECK, BY OTHERS. BLDR. TO PROVIDE POOL FENCE W/ LOCKABLE GATE PER NATIONAL SAFETY CODE & BLDR. SPECS.

SPRINKLER SYSTEM (IF REQUIRED):

A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGN, INSTALLED AND TESTED IN ACCORDANCE WITH THE 2019 NFPA 13D OR THE 2021 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY IF REQUIRED. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE MULTIPURPOSE RESIDENTIAL FIRE PROTECTION SPRINKLER SPECIALIST (NFPAS) ENDORSEMENT. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED, AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

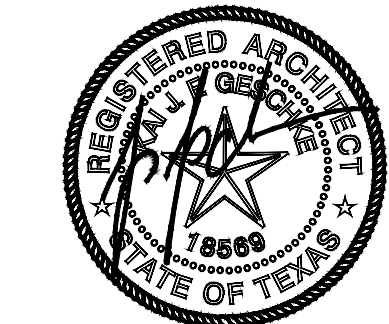
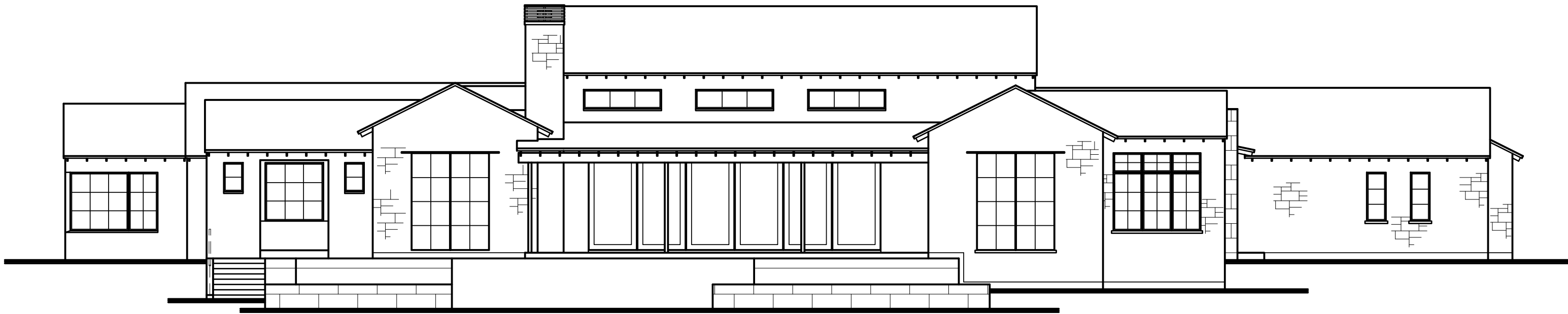
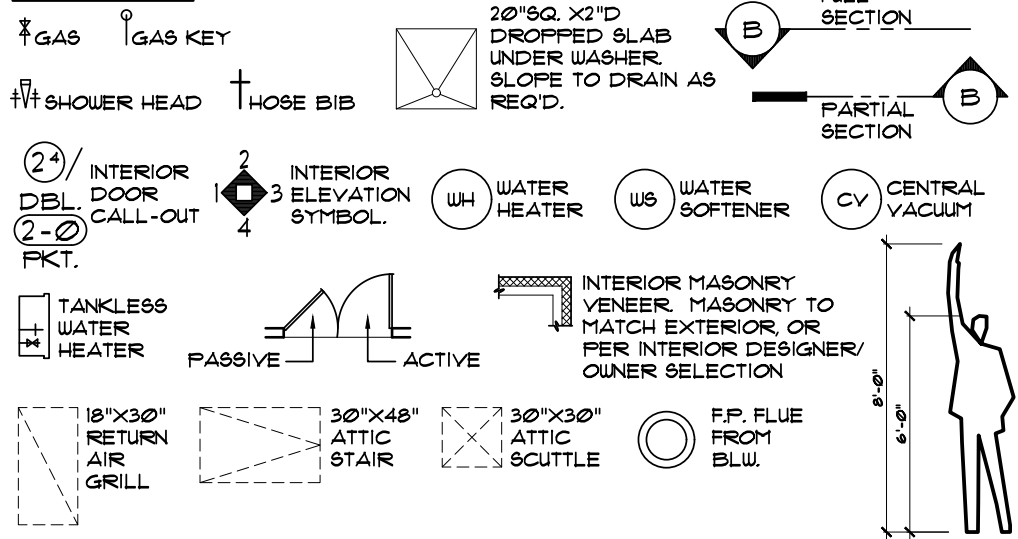
GENERAL ROOF FRAMING NOTES:

- 1) ROOF PITCH AND OVERHANG TO BE AS NOTED ON PLANS. RENOFF MATERIAL PER SPECIFICATIONS.
- 2) BUILDER TO VERIFY SIZE & SPACING OF ALL RAFTERS OR TRUSSES PRIOR TO CONSTRUCTION. RAFTER SPACING TO CONFORM TO ROOFING MATERIAL REQUIREMENTS (REFER TO ENGINEERING DOCUMENTS).
- 3) HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS, OR PER ENGINEER PLANS.
- 4) ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 5) UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
- 6) PURLIN BRACE RAFTERS AS REQUIRED AND PROVIDE COLLAR TIES 4'-0" O.C. ON ALL RIDGES. FLYOUT RAFTERS ARE NOT SHOWN ON PLANS. BUILDER/FRAMER TO INSTALL PER STANDARD FRAMING PRACTICES.
- 7) ALL LOAD BEARING HEADERS, CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER. ROOF AND FLOOR TRUSS DESIGN & SPACING PER ENGINEER'S SPECIFICATIONS.
- 8) WALLS OVER 10'-0" TO BE 2X6 FRAMED. USE DBL. 2X4 @ 12" O.C. FRAMING IF 6" WALLS ARE NOT POSSIBLE.
- 9) BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO ALL APPLICABLE BUILDING CODES.

TYP. ABBREVIATIONS:

- ABV. - ABOVE
ADJ. - ADJUSTABLE
A/C - AIR CONDITIONING
AFF. - ABOVE FINISHED FLOOR
A.F.G. - ABOVE FINISHED GRADE
APPRX. - APPROXIMATELY
ARCH. - ARCHED
B.I. - BUILT-IN
BLW. - BELOW
CLG. - CEILING
C.O. - CASED OPENING
COL. - COLUMN
CONC. - CONCRETE
CONT. - CONTINUOUS
CPT. - CARPET
CT. - CASEMENT WINDOW
CV. - CENTRAL VACUUM
DBL. - DOUBLE
DISP. - DISPOSAL
DH. - DBL. HUNG WINDOW
DL. - DIVIDED LT.
D.L. - DETAIL
DR. - DOOR
DRSS. - DRESSING
DRSSR. - DRESSER
DU. - DISH WASHER
DUG. - DRAWING
ELEC. - ELECTRICAL
ELEV. - ELEVATION
F.D. - FURR-DOWN
FF. - FINISHED FLOOR
FG. - FIXED GLASS
FIN. - FINISHED
FLR. - FLOOR
FR. DR. - FRENCH DOOR
H.B. - HOSE BIB
HDR. - HEADER
H.H. - HEADER HEIGHT
H.S. - HORIZONTAL SLIDER
HVAC - HEATING/VENTILATION/AIR CONDITIONING
HT. - HEIGHT
IB. - IRONING BOARD
K.S. - KNEE SPACE
- LN. - LINEN
LT. - LIGHT
M.A.S. - MASONRY
MAX. - MAXIMUM
MIN. - MINIMUM
MULL. - MULLED
OPER. - OPERABLE
MTL. - METAL
N.T.S. - NOT TO SCALE
PED. - FEDESTAL TYPE SINK
PKT. - POCKET
PL. HT. - PLATE HEIGHT
R/A - RETURN AIR GRILL
REF. - REFERENCE / REFER TO
REF. - REFRIGERATOR
SH - SINGLE HUNG
SHPH - SINGLE HUNG DIVIDED LT.
SH. - SHTILAR
SLDR. - SLIDER
SLPD. - SLOPED
SQ. - SQUARE
SQ. FT. - SQUARE FOOT
S.R. - SHEET ROCK
S.R.O. - SHEET ROCK OPENING
S.C. - STAINED CONC.
SSC - STAINED & SCORED CONC.
STOR. - STORAGE
TEMP. - TEMPERED
TG - TRASH COMPACTOR
TD - TRASH DRAWER
T.C. - TONGUE & GROOVE
TRSM. - TRANSOM
TYP. - TYPICAL
U.C.L. - UNDER CABINET LT'S
UNO. - UNLESS NOTED OTHERWISE
WC - WATER CLOSET
WC - WALK IN CLOSET
UD. - WOOD
UD.W. - WINDOW
W/ - WITH
W/O - WITHOUT
W.P. - WATERPROOF
WS - WATERSOFTENER

LEGEND:



02.20.25

REVISIONS:
7-31-25

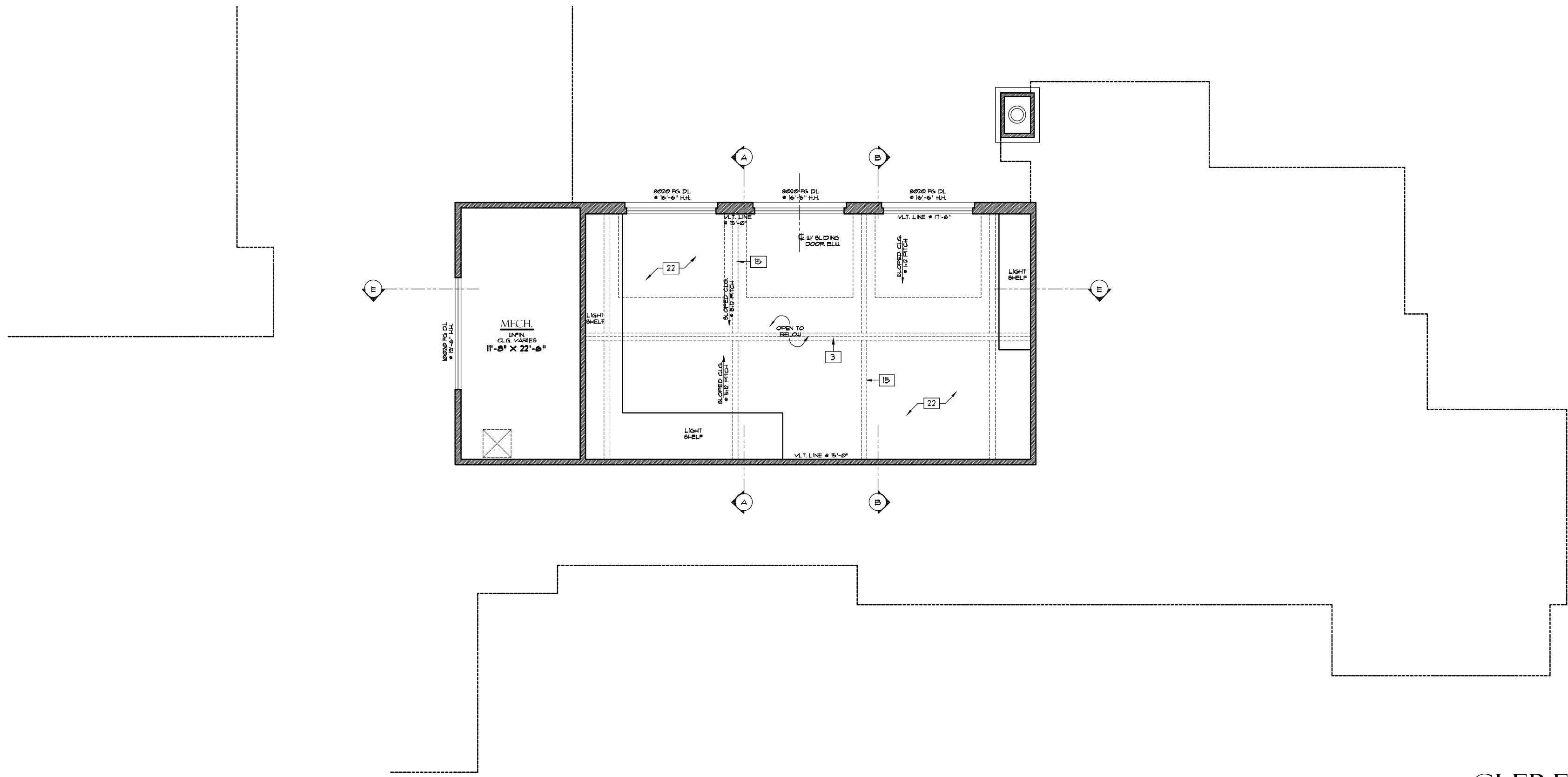
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COVES SPEC.

PROJ. NO.: 24057
DATE: 20 FEB. 2025

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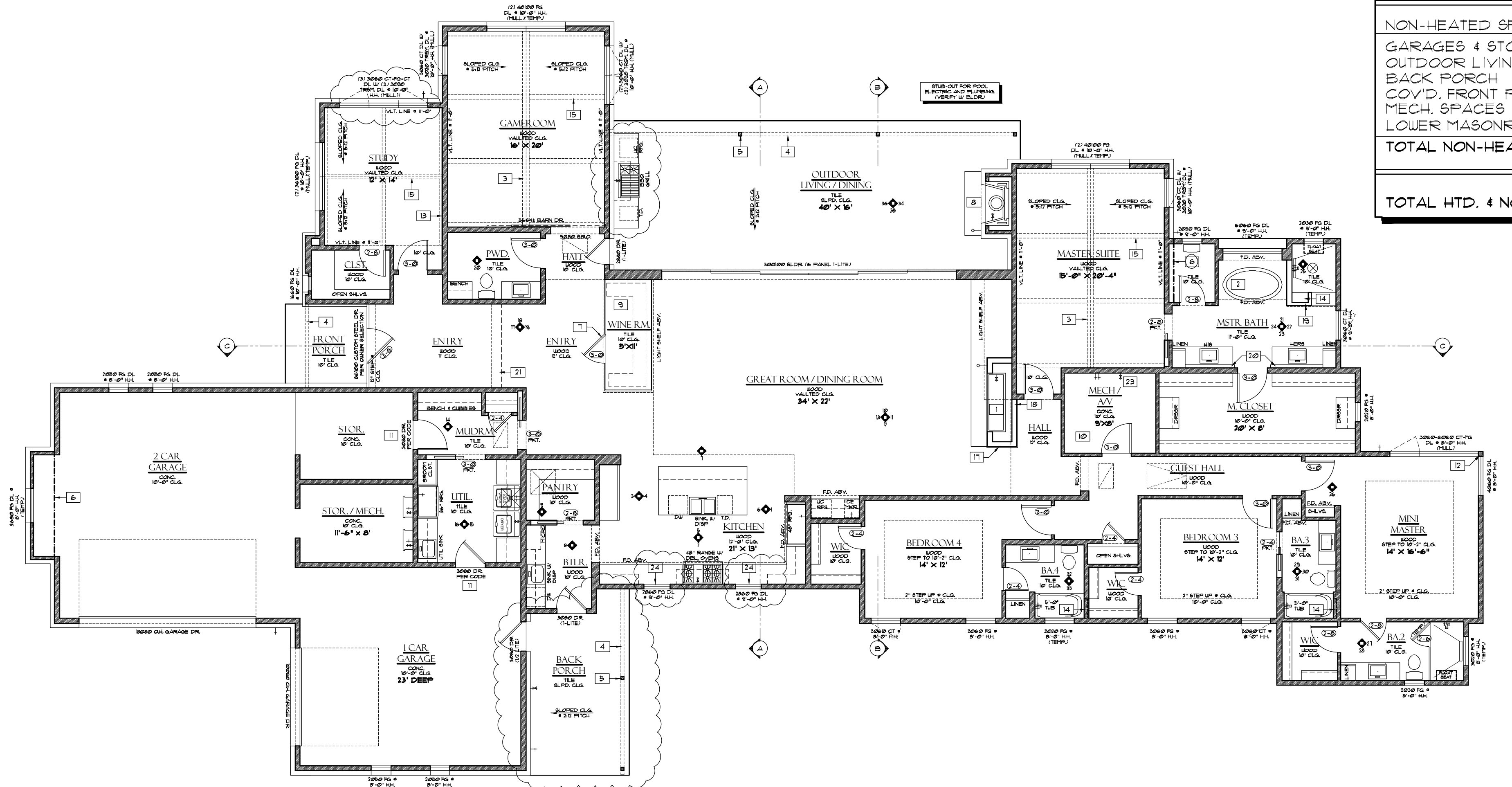


CLERESTORY PLAN

SCALE 1/8" = 1'-0"

SQUARE FOOTAGE CALCS.

HEATED AREA	SQ. FT.
TOTAL HEATED	4,491
NON-HEATED SF	
GARAGES & STORAGE	1,319
OUTDOOR LIVING	625
BACK PORCH	181
COVD. FRONT PORCH	68
MECH. SPACES	90
LOWER MASONRY LUG	88
TOTAL NON-HEATED	2,371
TOTAL HTD. & NON-HTD.	6,862



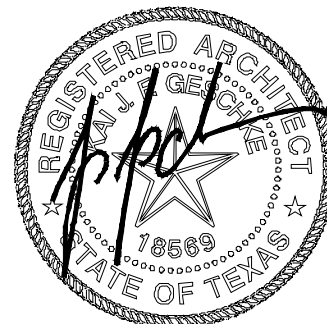
FLOOR PLAN

SCALE 1/8" = 1'-0"

SPECIAL CONSTRUCTION NOTES

NOTE TO BUILDER: REFER TO GENERAL PLAN NOTES ON SHEET A-1.

- 12" DIRECT VENT METAL F.P. INSTALL PER MANUF. SPECS. PROV GAS, 4" OR ELEC/ VENT AS REQ'D. PER SPECIFICATION. 20" DP, RAISED TILE HEARTH.
- FREE STANDING TUB PER SPECS. BUILDER TO COORDINATE PLUMBING LOCATIONS AS REQ'D. PER MANUF. SPECS.
- 8"X10" DECORATIVE WOOD BEAM PER SPECS.
- 4X STRUCTURAL WD. BEAM PER ENGINEER'S SPECS.
- 4" SQ. STEEL COLUMN PER SPECS.
- STRUCTURAL LINTEL TO SUPPORT MASONRY ABV. REFER TO ENGINEER'S SPECS.
- CUSTOM STEEL & GLASS DOOR & ENCLOSURE @ WINE CELLAR PER OWNER / BUILDER SELECTION. COORDINATE COOLING UNIT W/ BLDR.
- 48" FULL MASONRY F.P. INSTALL PER MANUF. SPECS. PROV GAS, 4" OR ELEC/ VENT AS REQ'D. PER SPECIFICATION. 20" DEEP RAISED MAS. HEARTH.
- WINE CELLAR TO BE REFRIGERATED. PROVIDE BLOCKING & FLOOR FOR COOLING UNIT AS REQ'D. PER MANUF. SPECS. INSULATE AND VAPOR WRAP WINE ROOM PER BLDR.
- BL HOME-RUN FOR MEDIA EQUIPMENT. PROVIDE ALL NECESSARY WIRING, CONDUITS, CHASES, AND HVAC AS REQ'D. PER BLDR. SPECS.
- PROVIDE 1-3/8" THICK, FIRE RATED OR 20 MINUTE, SOLID CORE, SELF-CLOSING DOOR FROM GARAGE TO INTERIOR OF HOUSE.
- STRUCT. STEEL POST IN CORNER BLOCK OUT AS REQ'D FOR WINDOW MULL. CAP @ CORNER PER WINDOW MANUF. MATCH WINDOW COLOR & MATERIAL.
- WOOD VENEER WALL PER BLDR. / INT. DESIGNER SPECS.
- SHAMPOO NICHE. REFER TO INT. ELEVATIONS.
- 6"X8" DECORATIVE WOOD BEAM PER SPECS.
- 4"X6" DECORATIVE WOOD BEAM PER SPECS.
- TILE VENEER PER BLDR. SPECS.
- 8'-6" HT. LOW WALL W/ TILE CAP ON TOP
- 8'-0" HT. LOW WALL W/ TILE CAP ON TOP.
- 42" HT. LEDGE W/ TILE CAP ON TOP.
- LIGHT COVE @ CEILING. REF. TO INT. ELEVATION.
- WOOD VENEER CEILING PER BLDR. SPECS.
- PROVIDE GAS, PLUMBING, ELEC. VENT AS REQ'D. FOR FUTURE WASHER & DRYER.
- BLDR. TO VERIFY THAT COUNTERTOP ALIGNS W/ WINDOW SILL.



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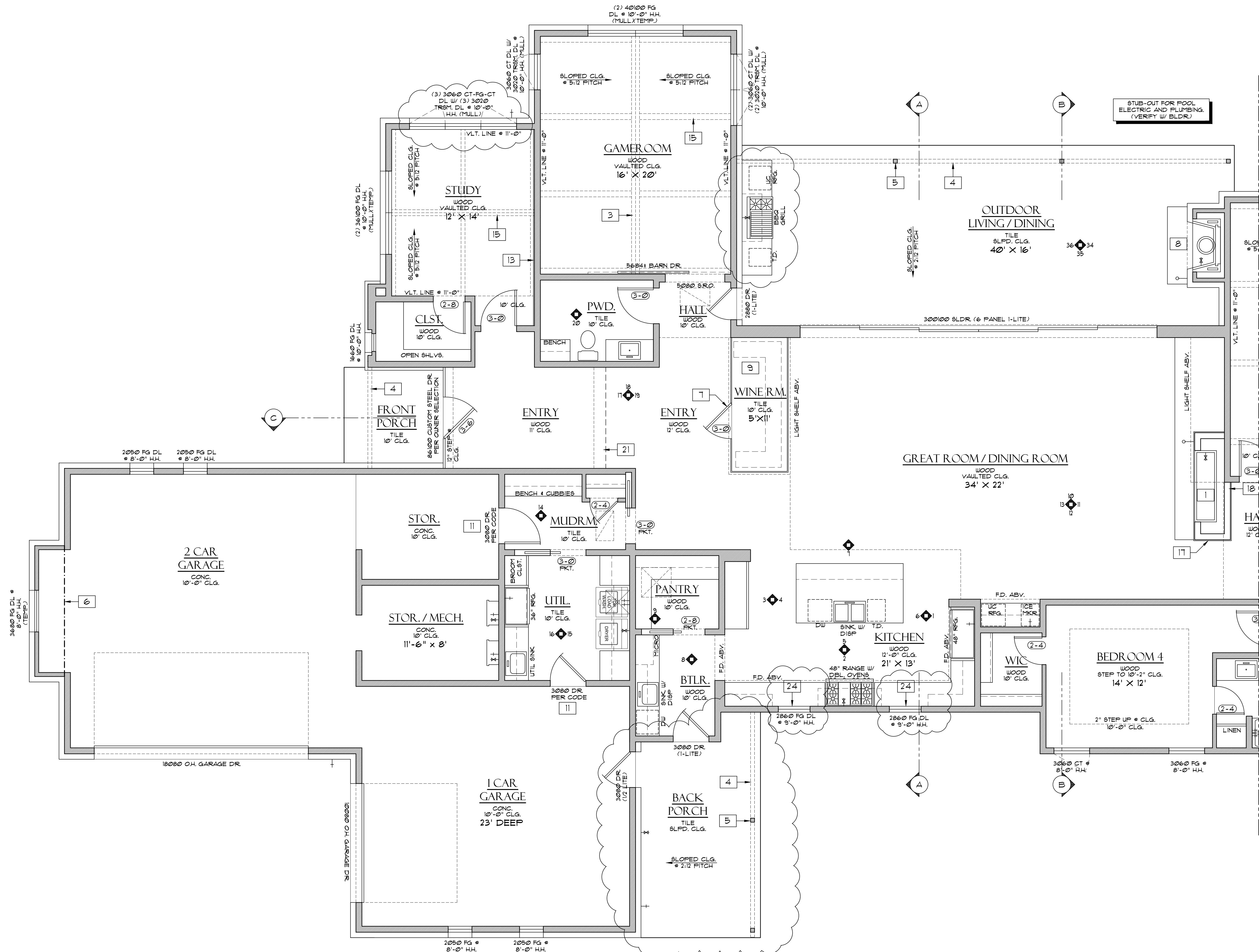
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PROJ. NO.: 24057
DATE: 20 FEB. 2025

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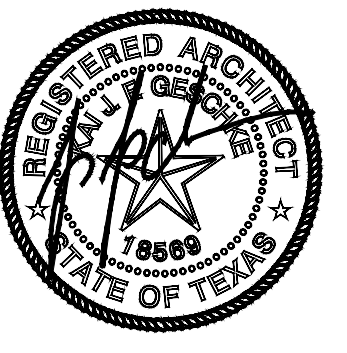
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SPECIAL CONSTRUCTION NOTES

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- BLDG. TO VERIFY THAT COUNTERTOP ALIGNS W/ WINDOW SILL.



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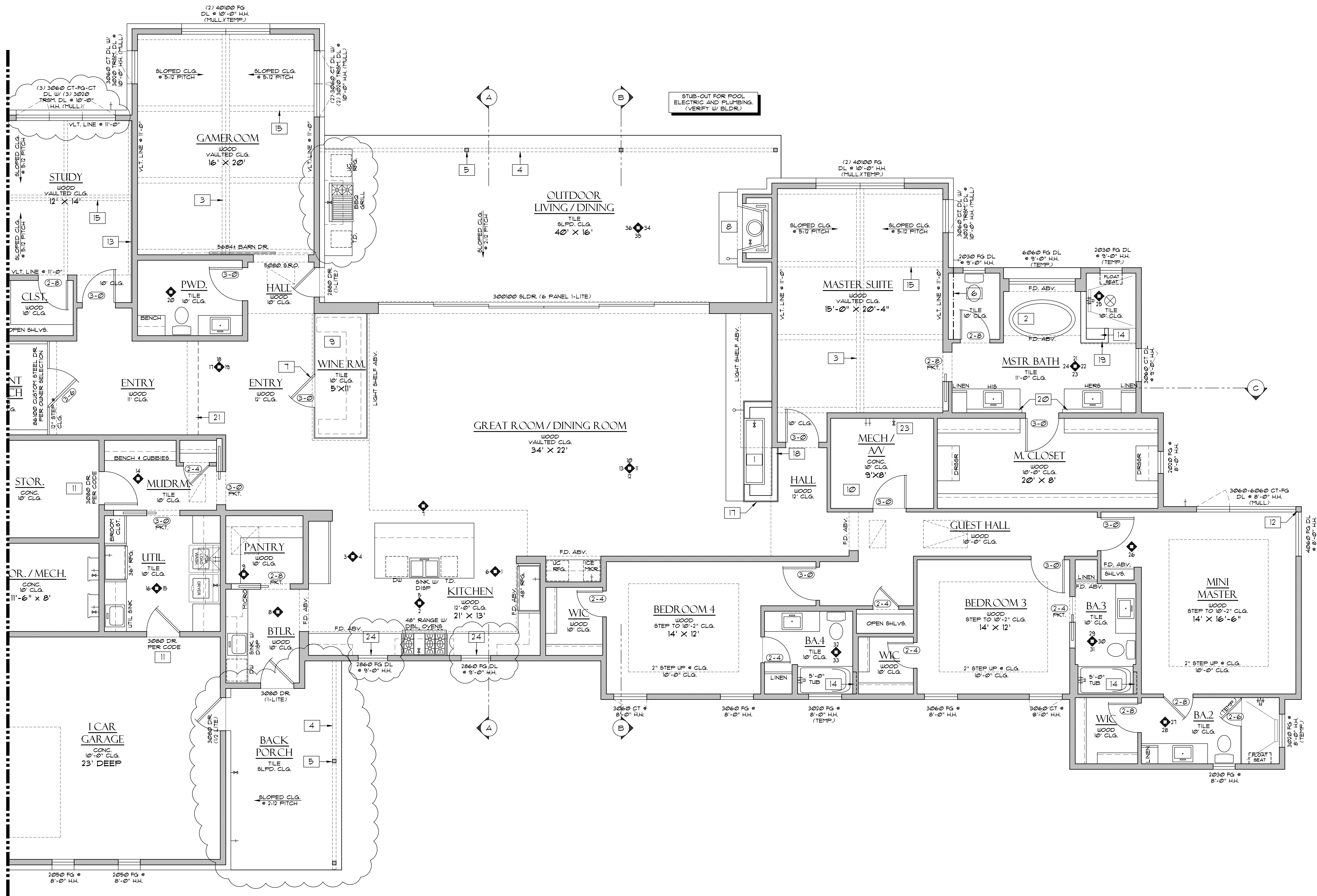
COVES SPEC.

PROJ. NO.: 24057
DATE: 20 FEB. 2025

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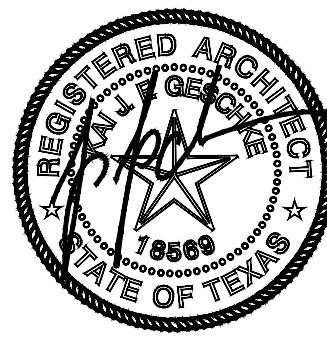
FLOOR PLAN (PARTIAL)
SCALE 1/4" = 1'-0"

DM



SPECIAL CONSTRUCTION NOTES
NOTE TO BUILDER: REFER TO GENERAL PLAN NOTES ON SHEET A-1.

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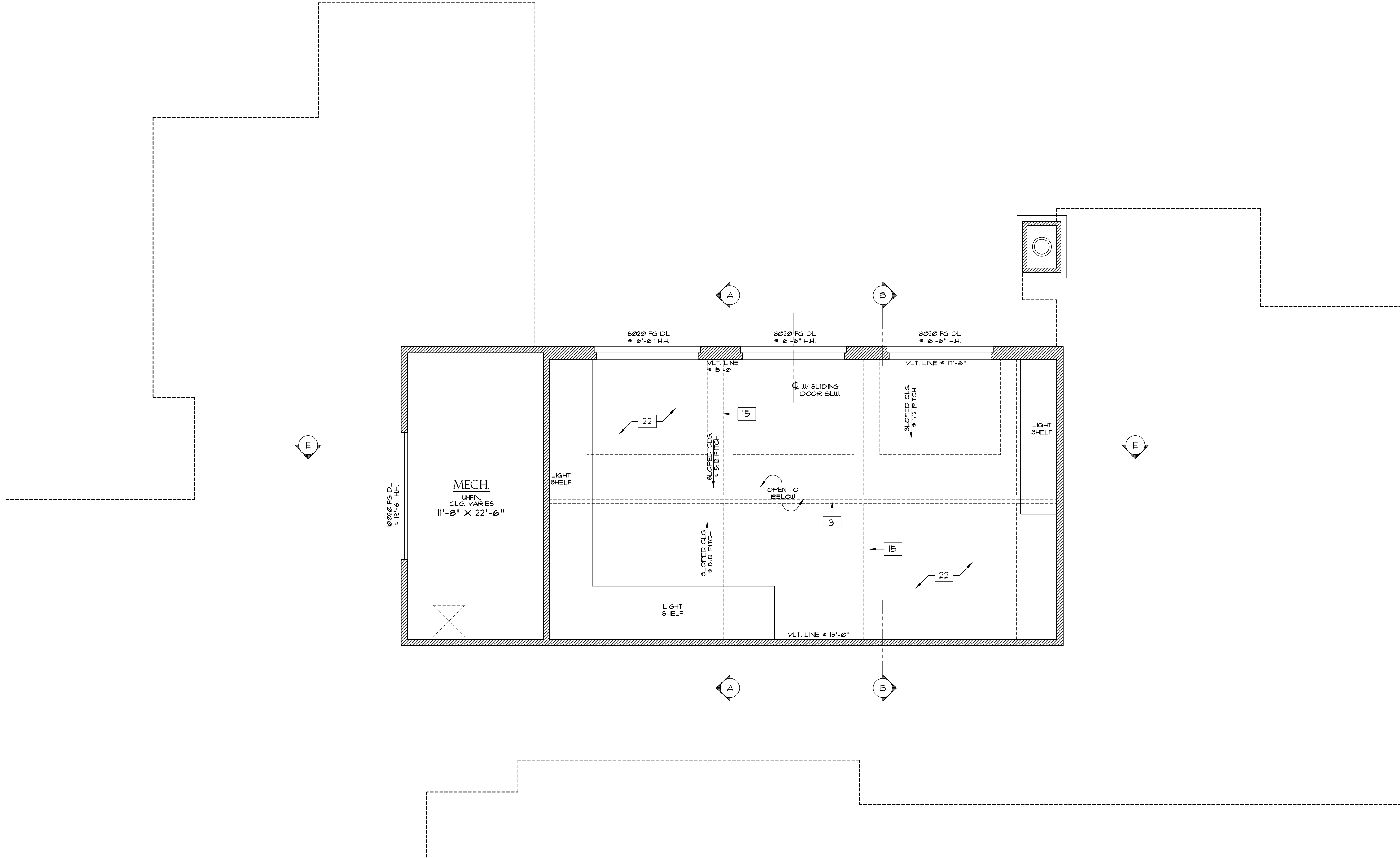
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PROJ. NO.: 24057
DATE: 20 FEB. 2025

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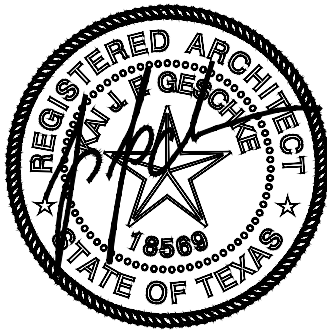
FLOOR PLAN (PARTIAL)
SCALE 1/4" = 1'-0"



- SPECIAL CONSTRUCTION NOTES**
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 - TILE VENEER PER BLDG. SPECS.
 - 8'-6" HT. LOW WALL W/ TILE CAP ON TOP.
 - 8'-0" HT. LOW WALL W/ TILE CAP ON TOP.
 - 42" HT. LEDGE W/ TILE CAP ON TOP.
 - LIGHT COVE 4 CEILING. REF. TO INT. ELEVATION.
 - WOOD VENEER CEILING PER BLDG. SPECS.
 - PROVIDE GAS, PLUMBING, ELEC. VENT AS REQ'D. FOR FUTURE WASHER 4 DRYER.
 - BLDG. TO VERIFY THAT COUNTERTOP ALIGNS W/ WINDOW SILL.

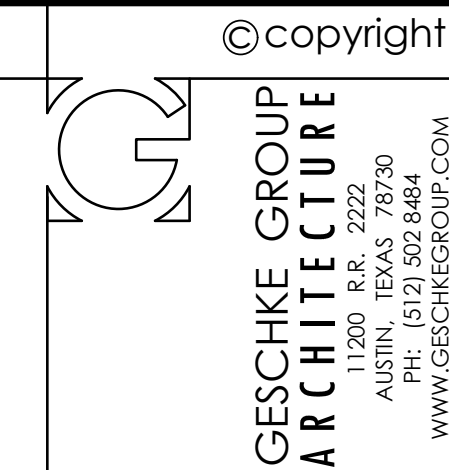
CLERESTORY PLAN

SCALE 1/4" = 1'-0"



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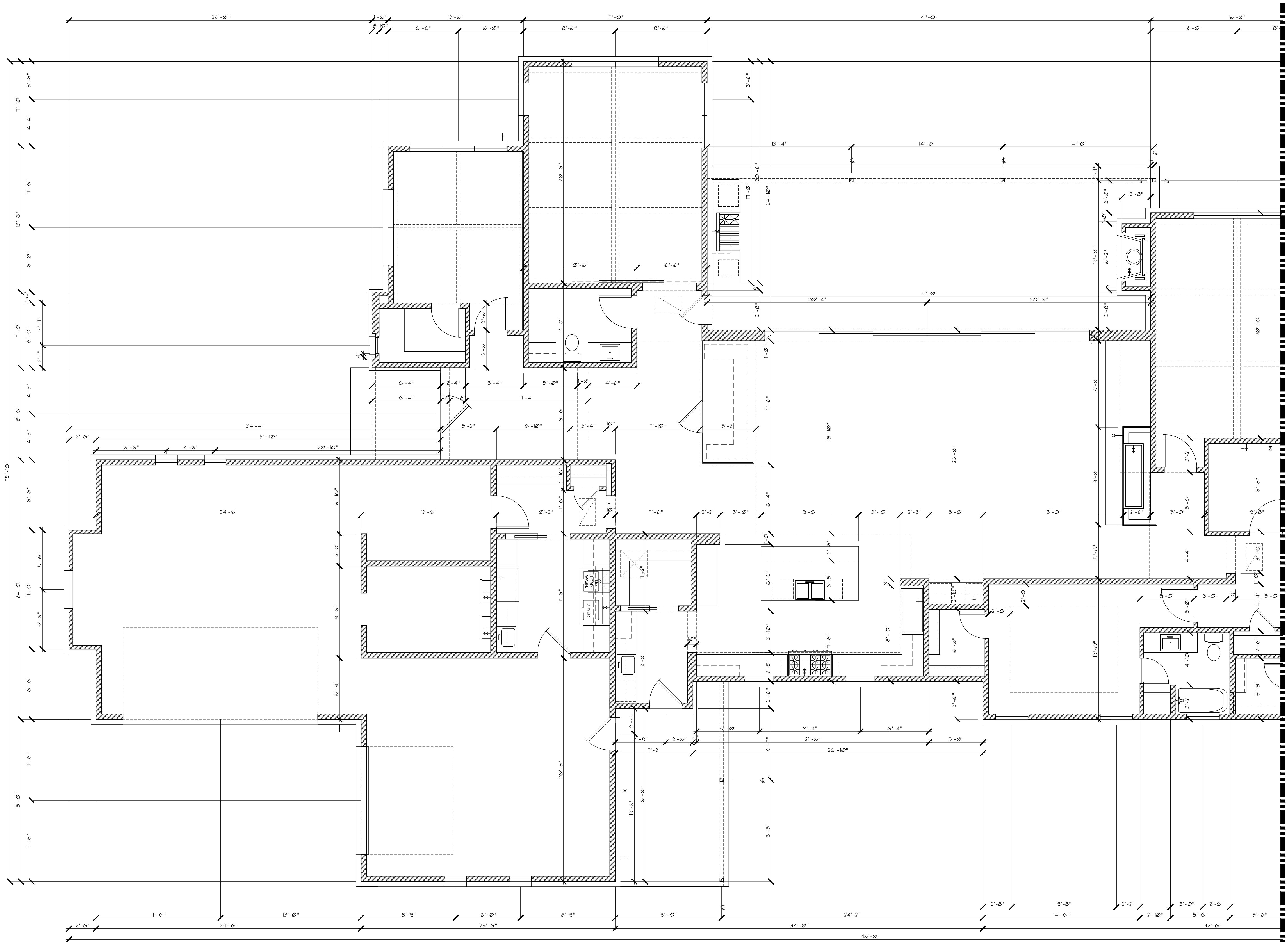


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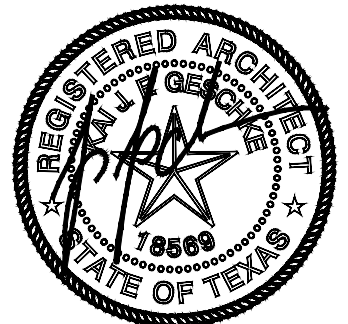
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DIMENSION PLAN (PARTIAL)
SCALE 1/4" = 1'-0"



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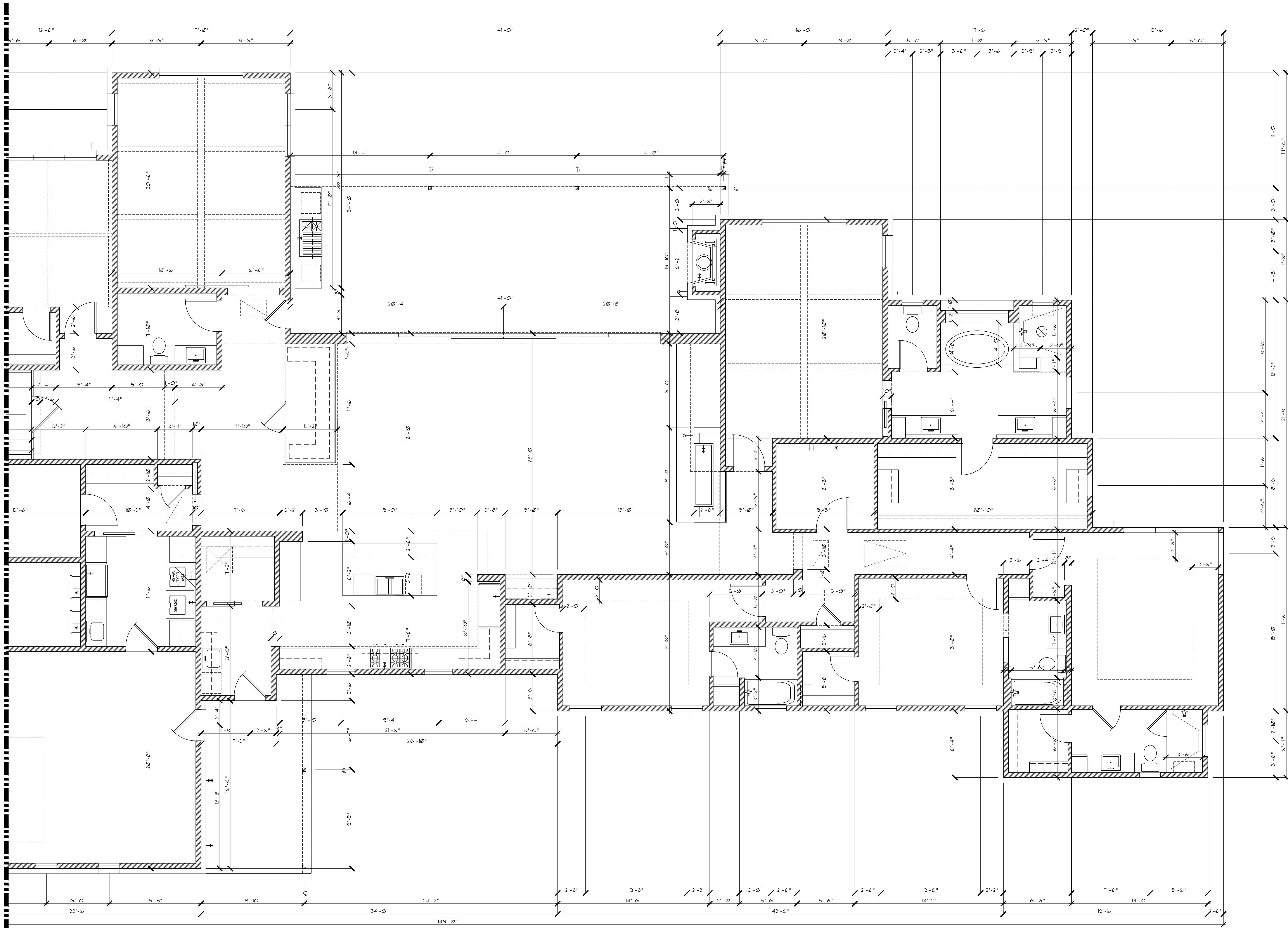
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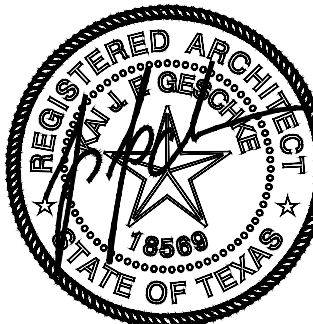
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DIMENSION PLAN (PARTIAL)
SCALE 1/4" = 1'-0"



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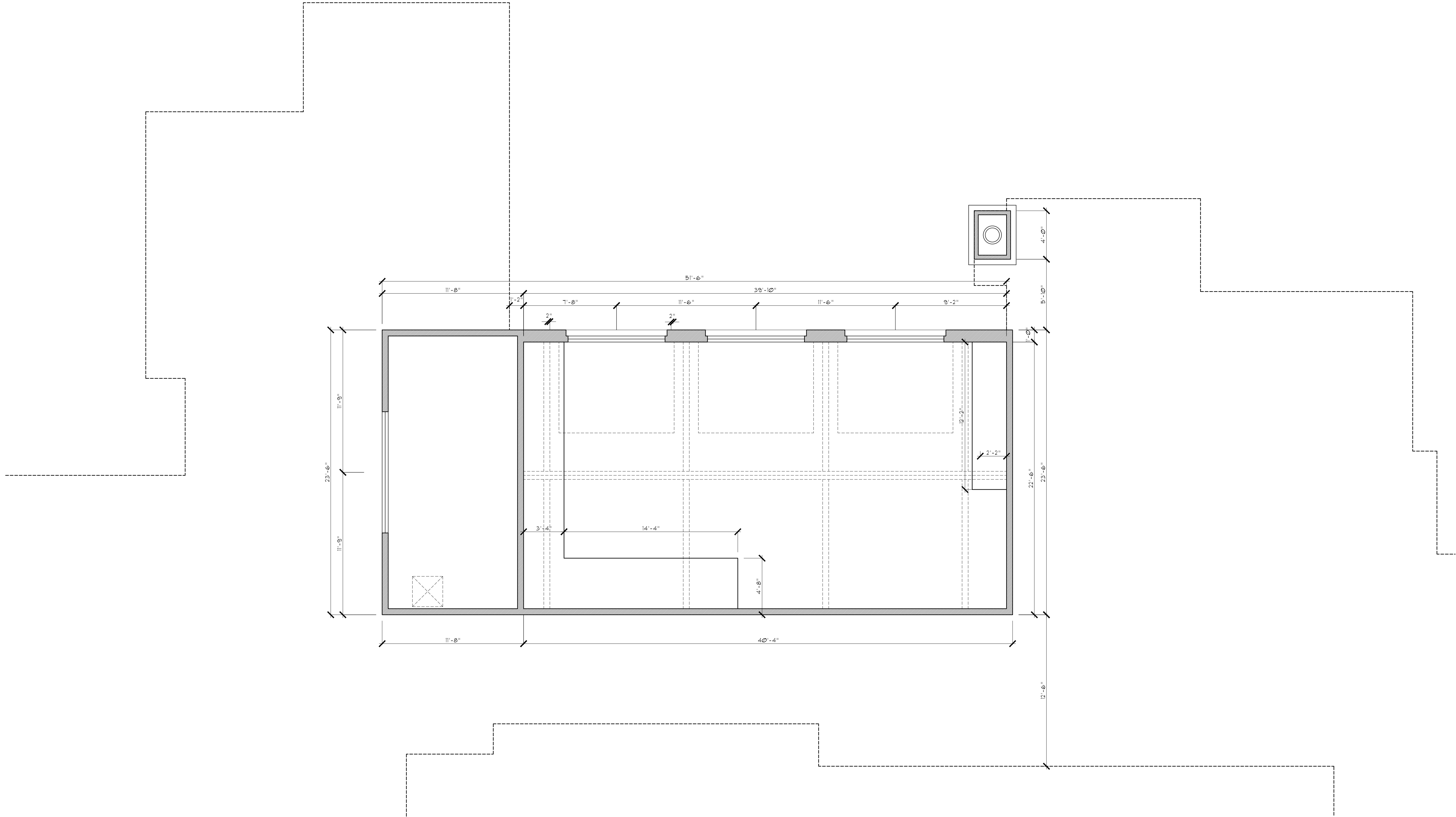
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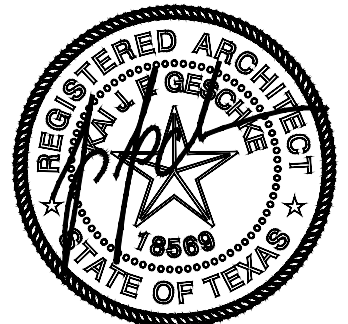
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CLERESTORY DIMENSION PLAN

SCALE 1/4" = 1'-0"



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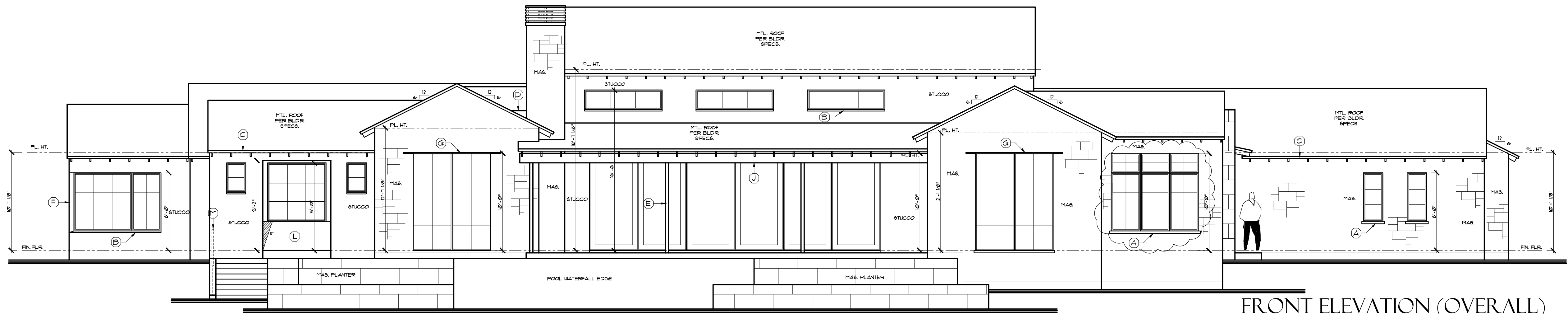
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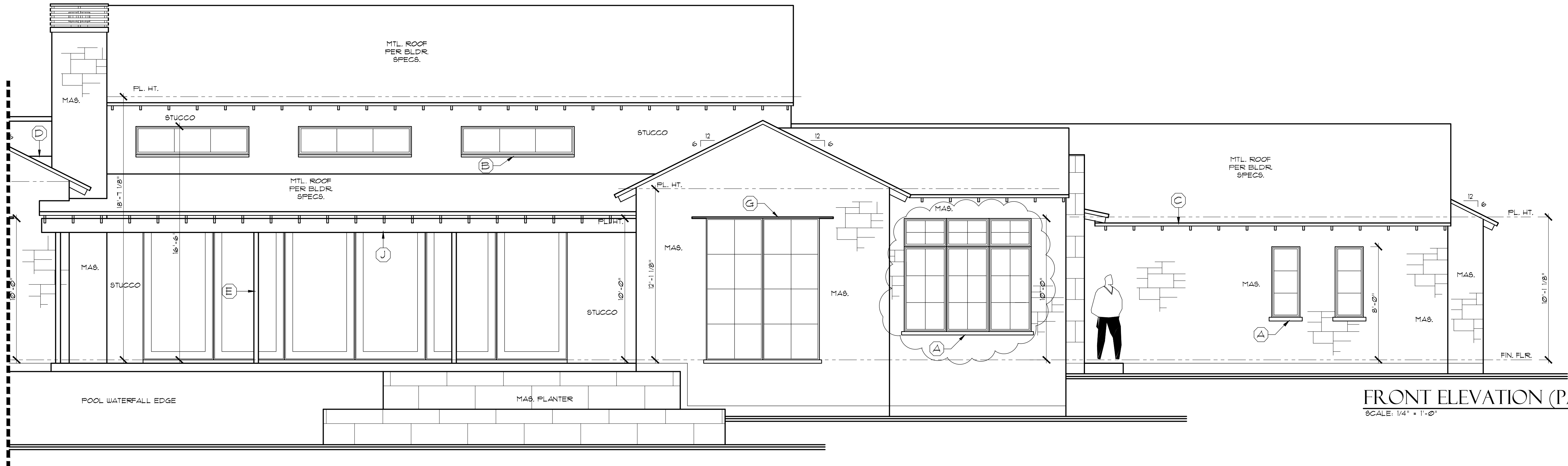
FRONT ELEVATION (OVERALL)

SCALE: NOT TO SCALE

EXTERIOR ELEVATION NOTES

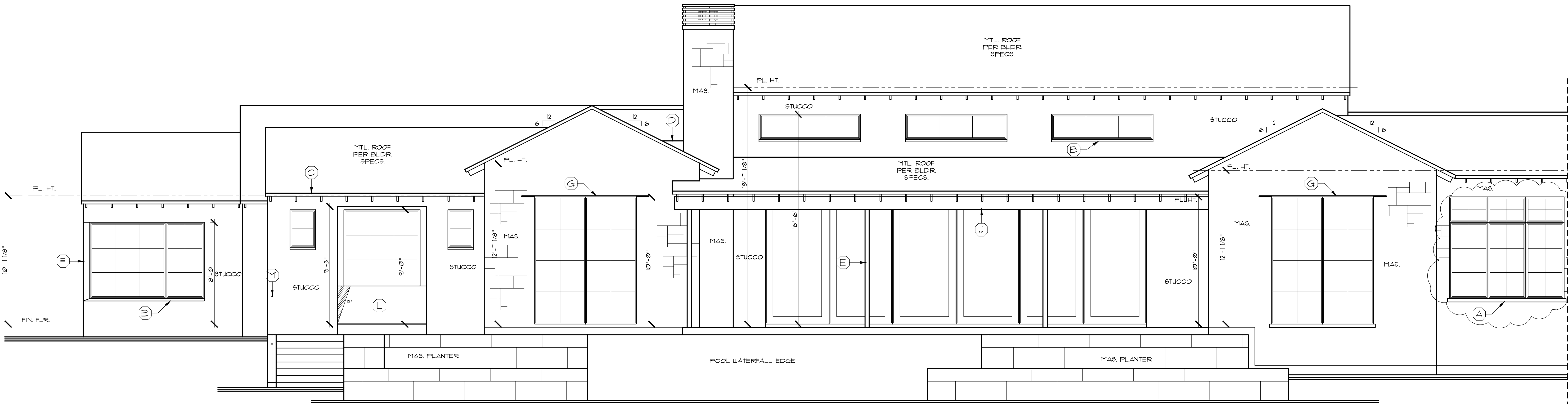
- (A) 3" MAS. TRIM/SILL. SLOPE TO ADEQUATELY DRAIN WATER.
- (B) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (C) FASCIA 4" OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP.)
- (D) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- (E) STRUCTURAL POST W/ MULL. CAP 6" ENGINEER'S SPECS.
- (F) CORNER WINDOW/ DR PER MANUF.
- (G) DECO. STEEL PLATE PER BLDG. SPECS. COLOR PER BLDG. (TYP.) PROJECT 6" FROM FACE OF FIELD 4" 12" BEYOND EDGE OF WINDOW. SLIGHT SLOPE TO DRAIN WATER.
- (H) SLOPED MASONRY RETURN AT WINDOW. FLASH AS REQ'D.
- (J) 4"X WOOD BEAM PER ENGINEER/ BLDG. SPECS.
- (K) CUT STONE CAP ON PARAPET WALL PER BLDG. SPECS. FLASHING PER BLDG. SPECS.
- (L) TAPERED SILL AT DEEP SET WINDOW. SLOPE FROM WINDOW SILL TO EDGE OF SLAB PER BLDG.
- (M) RAILING PER SPECS 4 CODE (TYP.). SEE GENERAL PLAN NOTES.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 12" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS)
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.
- 5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.



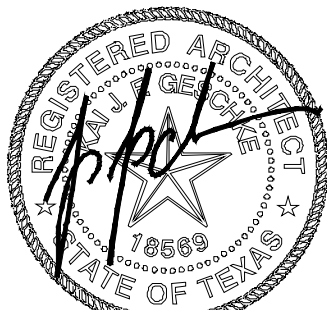
FRONT ELEVATION (PARTIAL)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION (PARTIAL)

SCALE: 1/4" = 1'-0"



02.20.25

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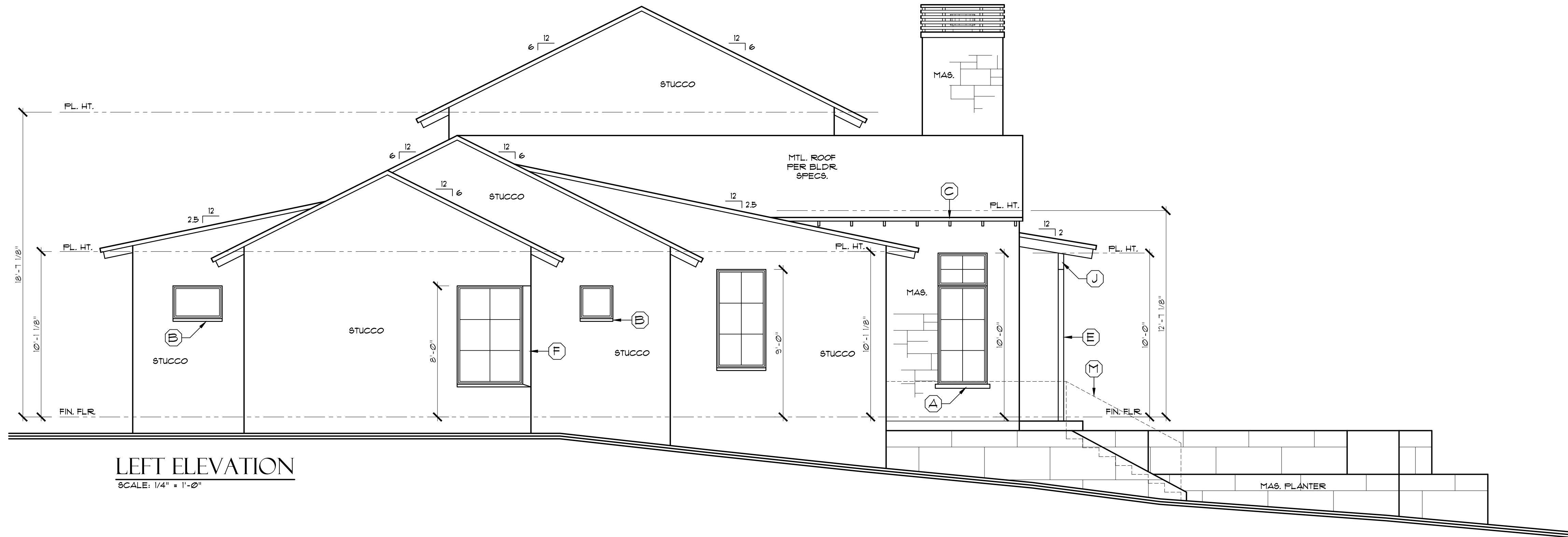
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EXTERIOR ELEVATION NOTES

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- (B) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (C) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP)
- (D) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- (E) 4"X4" ARCHITECTURAL GRADE STEEL POST PER ENGINEER'S SPECS.
- (F) STRUCTURAL POST W/ MULL. CAP @ CORNER WINDOW/ DR PER MANUF.
- (G) DECO. STEEL PLATE PER BLDG. SPECS. COLOR PER BLDG. (TYP). PROJECT 6" FROM FACE OF FIELD & 12" BEYOND EDGE OF WINDOW. SLIGHT SLOPE TO DRAIN WATER.
- (H) SLOPED MASONRY RETURN AT WINDOW. FLASH AS REQ'D.
- (J) 4"X WOOD BEAM PER ENGINEER/ BLDG. SPECS.
- (K) CUT STONE CAP ON PARAPET WALL PER BLDG. SPECS. FLASHING PER BLDG. SPECS.
- (L) TAPERED SILL AT DEEP SET WINDOW. SLOPE FROM WINDOW SILL TO EDGE OF SLAB PER BLDG.
- (M) RAILING PER SPECS & CODE (TYP). SEE GENERAL PLAN NOTES.

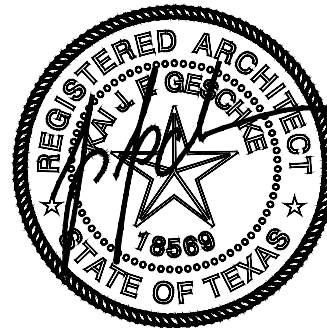
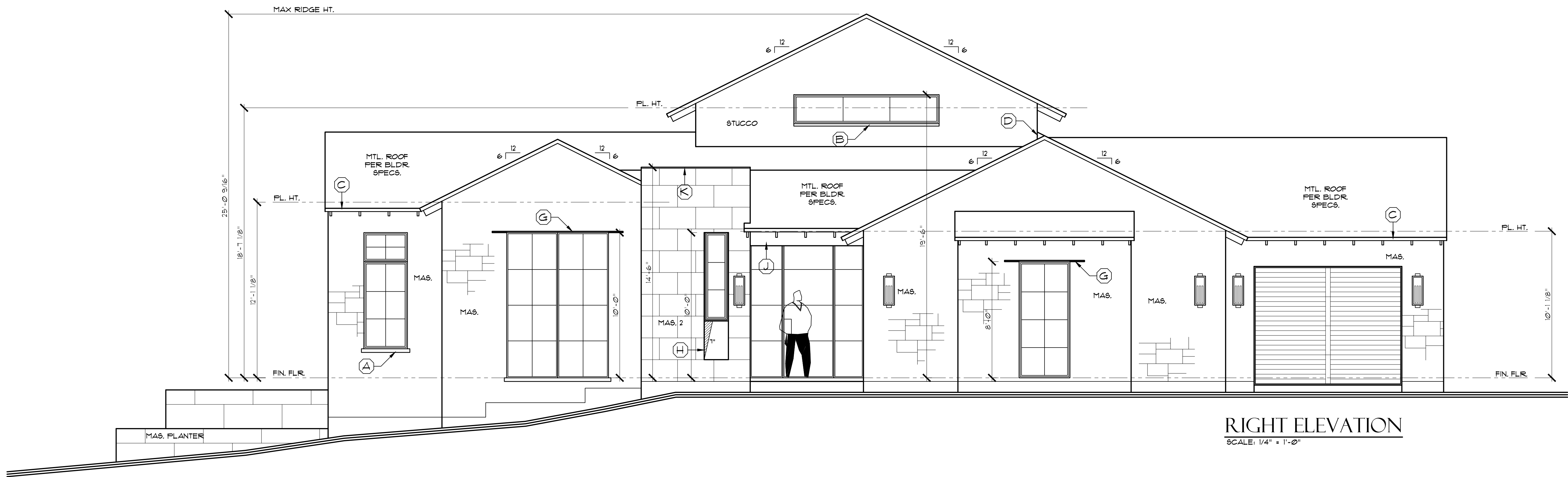
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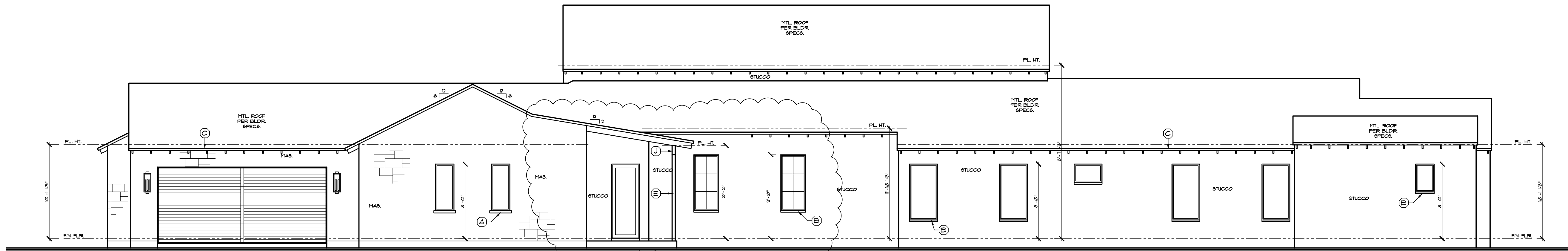
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COVES SPEC.

PROJ. NO.: 24057
DATE: 20 FEB. 2025

A-11

DM

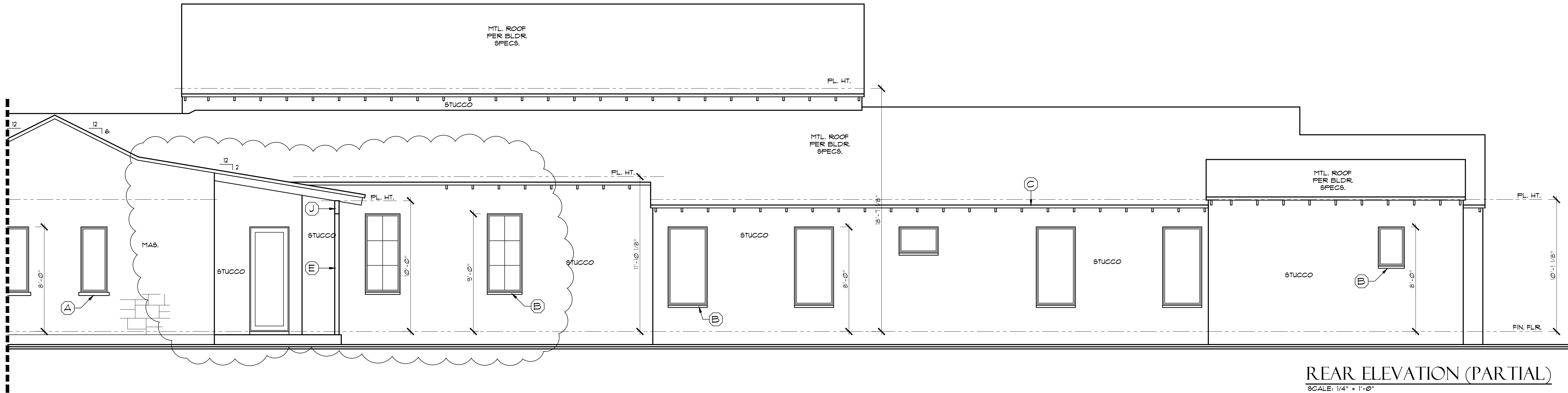


REAR ELEVATION (OVERALL)

SCALE: NOT TO SCALE

EXTERIOR ELEVATION NOTES

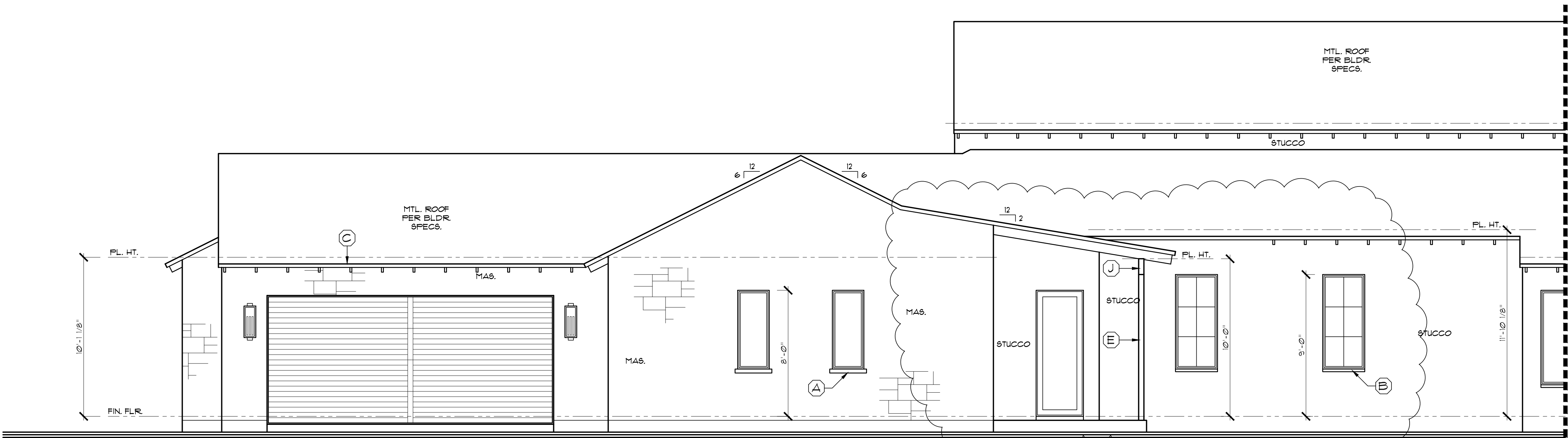
- (A) 3" M.A.S. TRIM/SILL. SLOPE TO ADEQUATELY DRAIN WATER.
- (B) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (C) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP)
- (D) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- (E) 4"x4" ARCHITECTURAL GRADE STEEL POST PER ENGINEER'S SPECS.
- (F) CORNER WINDOW/ DR PER MANUF.
- (G) DECO. STEEL PLATE PER BLDG. SPECS. COLOR PER BLDG. (TYP); PROJECT 6" FROM FACE OF FIELD & 1/2" BEYOND EDGE OF WINDOW. SLIGHT SLOPE TO DRAIN WATER.
- (H) SLOPED MASONRY RETURN AT WINDOW. FLASH AS REQ'D.
- (J) 4"x WOOD BEAM PER ENGINEER/ BLDG. SPECS.
- (K) CUT STONE CAP ON PARAPET WALL PER BLDG. SPECS. FLASHING PER BLDG. SPECS.
- (L) TAPERED SILL AT DEEP SET WINDOW. SLOPE FROM WINDOW SILL TO EDGE OF SLAB PER BLDG.
- (M) RAILING PER SPECS & CODE (TYP). SEE GENERAL PLAN NOTES.



REAR ELEVATION (PARTIAL)

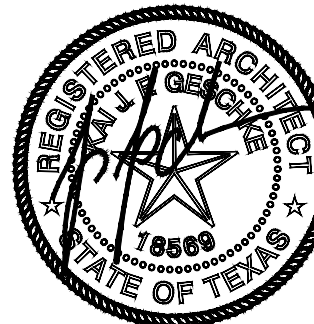
SCALE: 1/4" = 1'-0"

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 12" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS)
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.
- 5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.



REAR ELEVATION (PARTIAL)

SCALE: 1/4" = 1'-0"



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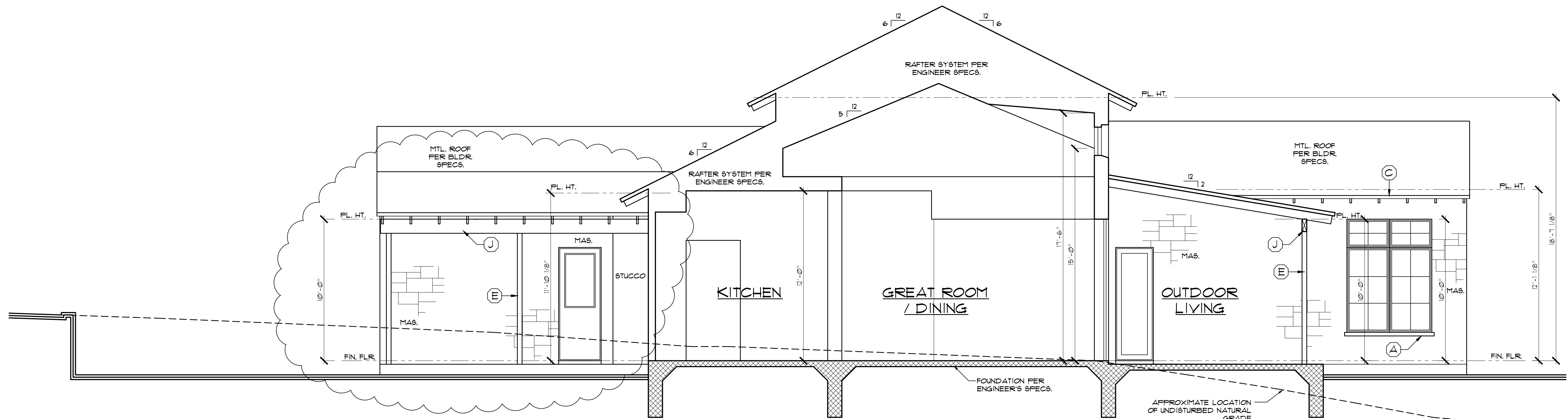
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COVES SPEC.

PROJ. NO.: 24057
DATE: 20 FEB. 2025

A-12

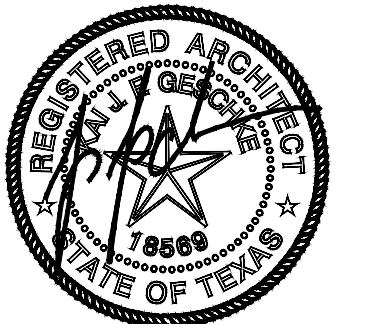
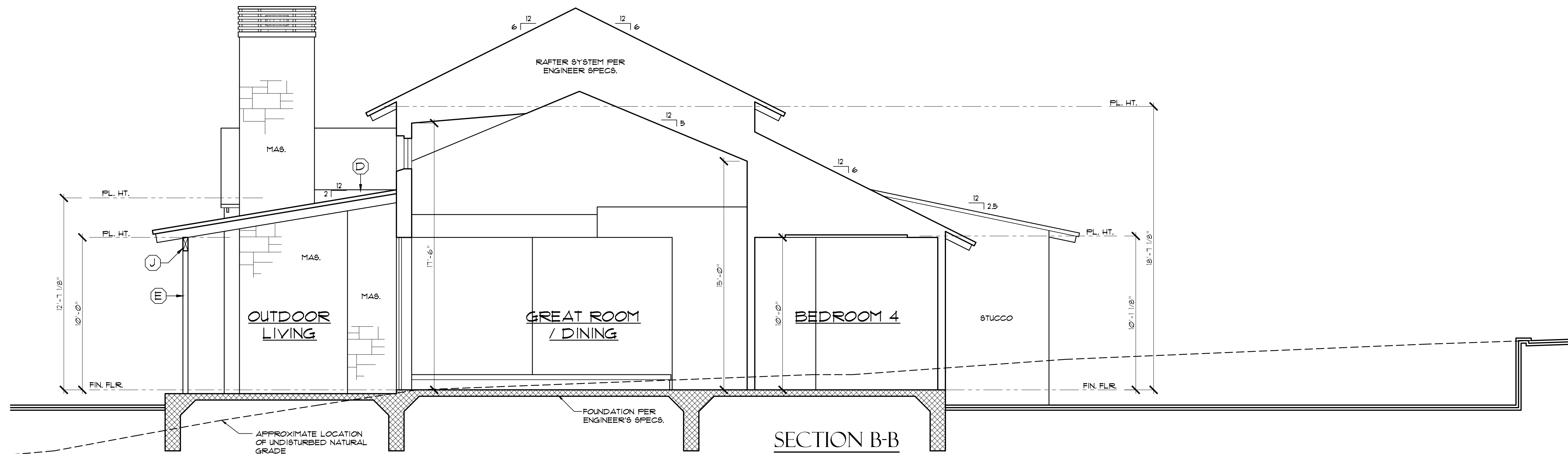
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- EXTERIOR ELEVATION NOTES**
- (A) 3" MAS. TRIM/SILL. SLOPE TO ADEQUATELY DRAIN WATER.
 - (B) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
 - (C) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP)
 - (D) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
 - (E) 4"X4" ARCHITECTURAL GRADE STEEL POST PER ENGINEER'S SPECS.
 - (F) 6"X6" ARCHITECTURAL GRADE STEEL POST PER ENGINEER'S SPECS.
 - (G) 6"X6" ARCHITECTURAL GRADE STEEL POST PER ENGINEER'S SPECS.
 - (H) DECOR. STEEL PLATE PER BLDG. SPECS. COLOR PER BLDG. (TYP). PROJECT 6" FROM FACE OF FIELD & 12" BEYOND EDGE OF WINDOW. SLIGHT SLOPE TO DRAIN WATER.
 - (I) SLOPED MASONRY RETURN AT WINDOW. FLASH AS REQ'D.
 - (J) 4"X4" WOOD BEAM PER ENGINEER/ BLDG. SPECS.
 - (K) CUT STONE CAP ON PARAPET WALL PER BLDG. SPECS. FLASHING PER BLDG. SPECS.
 - (L) TAPERED SILL AT DEEP SET WINDOW. SLOPE FROM WINDOW SILL TO EDGE OF SLAB PER BLDG.
 - (M) RAILING PER SPECS & CODE (TYP). SEE GENERAL PLAN NOTES.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 12" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS).
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.
- 5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.

SECTION A-A
SCALE: 1/4" = 1'-0"



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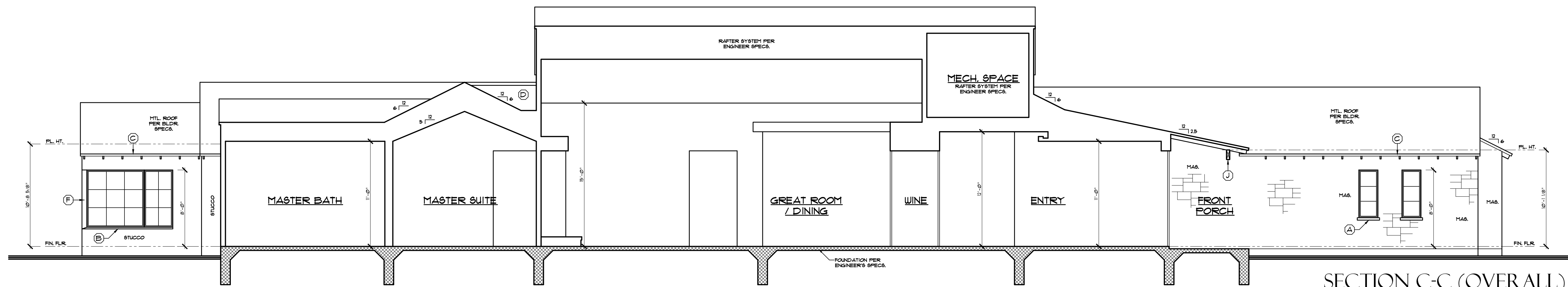
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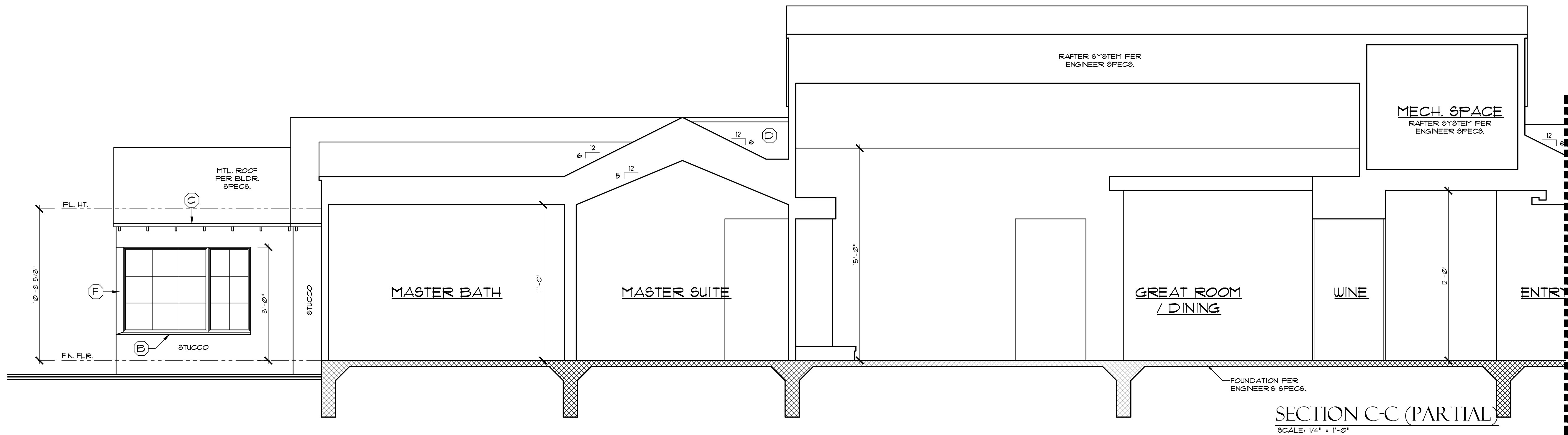
PROJ. NO.: 24057
DATE: 20 FEB. 2025

A-13

DM



SECTION C-C (OVERALL)
SCALE: NOT TO SCALE

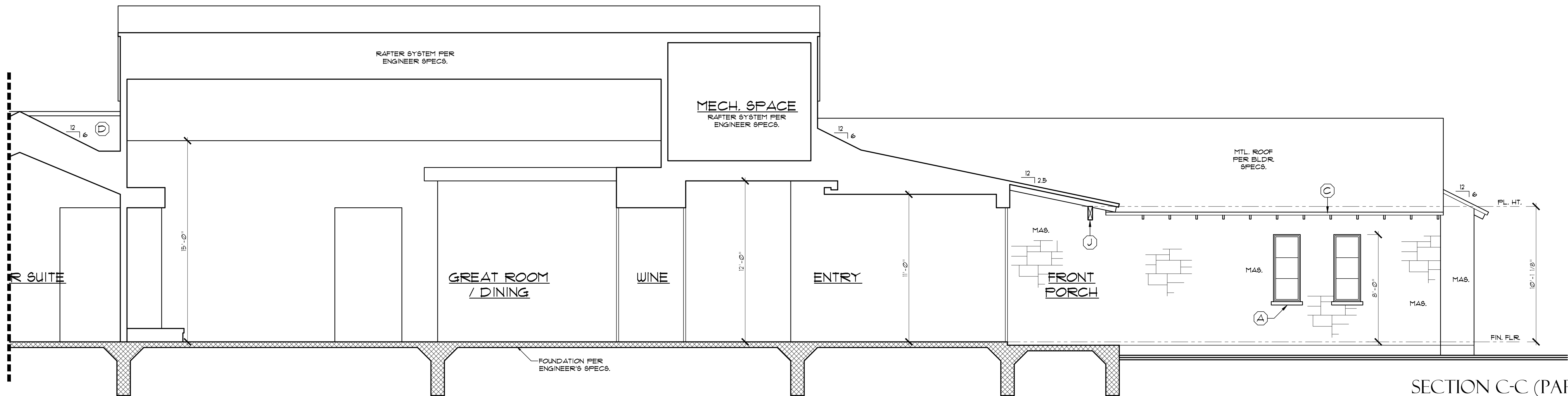


SECTION C-C (PARTIAL)
SCALE: 1/4" = 1'-0"

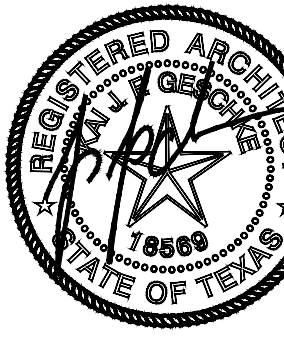
EXTERIOR ELEVATION NOTES

- (A) 3" MAS. TRIM/SILL. SLOPE TO ADEQUATELY DRAIN WATER.
- (B) NO TRIM AT WINDOW. SLOPE RETURN TO ADEQUATELY DRAIN WATER. FLASH AS REQ'D.
- (C) FASCIA & OVERHANG PER DETAIL AND/OR BLDG. SPECS (TYP)
- (D) SADDLE AND FLASH AS REQ'D. AT DEAD VALLEY.
- (E) 4"X4" ARCHITECTURAL GRADE STEEL POST PER ENGINEER'S SPECS.
- (F) STRUCTURAL POST W/ MULL. CAP & CORNER WINDOW/ DR PER MANUF.
- (G) DECO. STEEL PLATE PER BLDG. SPECS. COLOR PER BLDG. (TYP). PROJECT 6" FROM FACE OF FIELD & 12" BEYOND EDGE OF WINDOW. SLIGHT SLOPE TO DRAIN WATER.
- (H) SLOPED MASONRY RETURN AT WINDOW. FLASH AS REQ'D.
- (J) 4"X WOOD BEAM PER ENGINEER/ BLDG. SPECS.
- (K) CUT STONE CAP ON PARAPET WALL PER BLDG. SPECS. FLASHING PER BLDG. SPECS.
- (L) TAPERED SILL AT DEEP SET WINDOW. SLOPE FROM WINDOW SILL TO EDGE OF SLAB PER BLDG.
- (M) RAILING PER SPECS & CODE (TYP). SEE GENERAL PLAN NOTES.

- 1) GROUND GRADE LINES SHOWN ON ELEVATIONS MAY VARY FROM ACTUAL FINISHED GRADE. BUILDER TO VERIFY ACTUAL SITE CONDITIONS ON SITE.
- 2) MAX. EXPOSED FOUNDATIONS TO BE 12" OR PER APPLICABLE DEED RESTRICTIONS (WHICHEVER IS LESS)
- 3) CHIMNEY IS SHOWN AT MINIMAL HEIGHT REQUIREMENTS PER CODE. BUILDER TO VERIFY ADDITIONAL HEIGHT REQUIREMENTS BASED ON SITE AND WIND CONDITIONS.
- 4) ALL MASONRY OR STUCCO TRIM/BANDING TO PROJECT 1 1/2" FROM FACE OF FIELD UNLESS NOTED OTHERWISE IN DETAILS. SLOPE TO DRAIN WATER ADEQUATELY.
- 5) ALL EXPANSION JOINTS LOCATED PER BUILDER AND TO MEET ALL LOCAL CODES.



SECTION C-C (PARTIAL)
SCALE: 1/4" = 1'-0"



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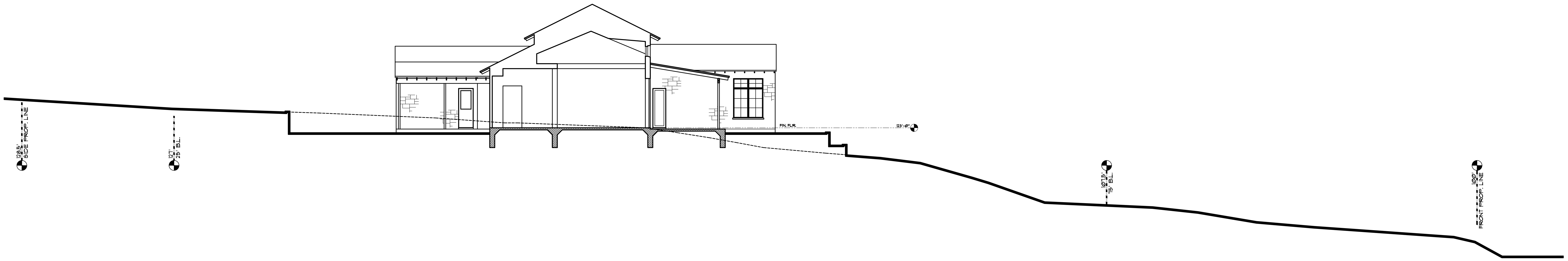
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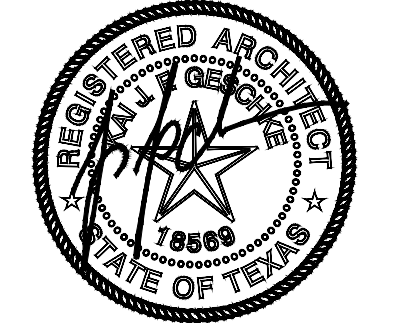
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A-14

DM



SITE SECTION
SCALE: N.T.S.



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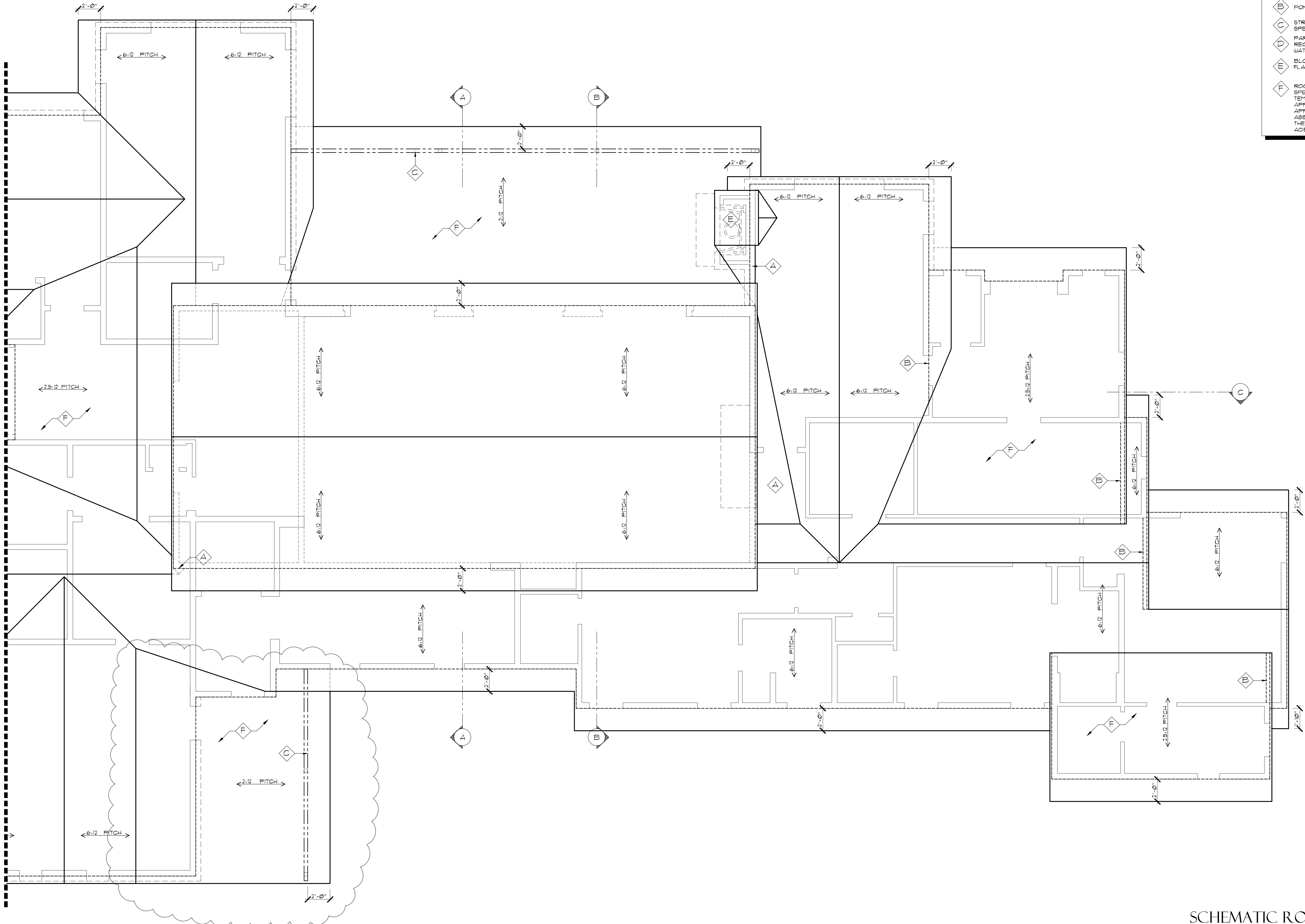
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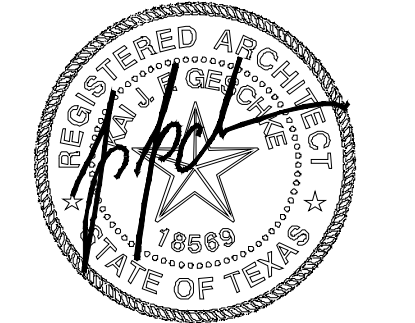
A-15

DM



- SCHEMATIC ROOF SPECIAL NOTES**
- A SADDLE AND FLASH AS REQ'D. AT VALLEY.
 - B PONY WALL PER BLDG. SPECS.
 - C STRUCTURAL BEAM PER ENGINEER'S SPECS.
 - D PARAPET WALL, FLASH & WATER PROOF AS REQ'D. CUT STONE CAP. SLOPE TO DRAIN WATER.
 - E BLOCK OUT FOR CHIMNEY, SADDLE & FLASH AS REQ'D.
 - F ROOF PITCH FOR 3:12 & UNDER REQUIRES SPECIAL WATERPROOFING MEMBRANE (HIGH TEMP. RATED, ICE AND WATER SHIELD AND/OR APPROVED EQUAL) BELOW ROOF APPLICATION. BUILDER TO VERIFY ROOF ASSEMBLY FOR WATERPROOFING INCLUDING THE NEED FOR ADDITIONAL SHEATHING FOR ADEQUATE NAILING.

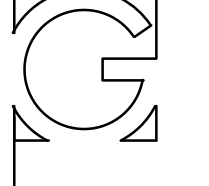
SCHEMATIC ROOF PLAN
SCALE: 1/4" = 1'-0"



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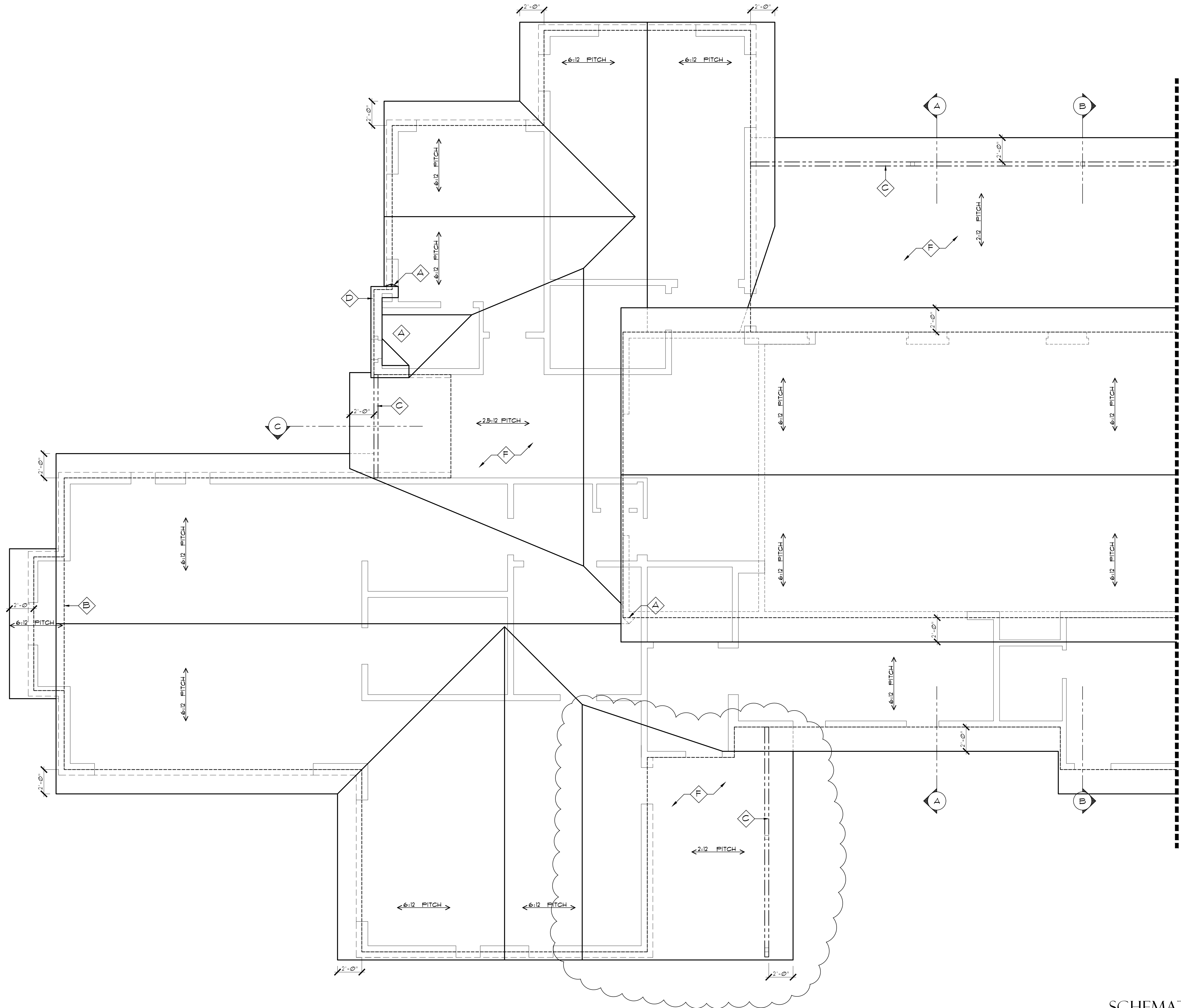
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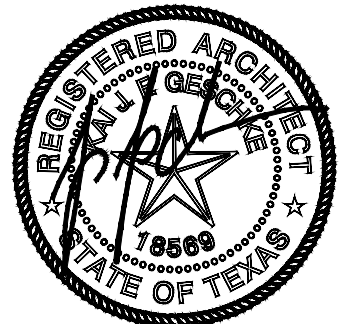
A-16

DM



- SCHEMATIC ROOF SPECIAL NOTES**
- A** SADDLE AND FLASH AS REQ'D. AT VALLEY.
 - B** PONY WALL PER BLDG. SPECS.
 - C** STRUCTURAL BEAM PER ENGINEER'S SPECS.
 - D** PARAPET WALL, FLASH & WATER PROOF AS REQ'D. CUT STONE CAP. SLOPE TO DRAIN WATER.
 - E** BLOCK OUT FOR CHIMNEY. SADDLE & FLASH AS REQ'D.
 - F** ROOF PITCH FOR 3:12 & UNDER REQUIRES SPECIAL WATERPROOFING MEMBRANE (HIGH TEMP. RATED, ICE AND WATER SHIELD AND/OR APPROVED EQUAL.) BELOW ROOF APPLICATION. BUILDER TO VERIFY ROOF ASSEMBLY FOR WATERPROOFING INCLUDING THE NEED FOR ADDITIONAL SHEATHING FOR ADEQUATE NAILING.

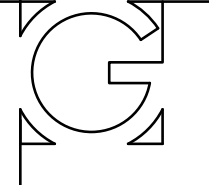
SCHEMATIC ROOF PLAN
SCALE: 1/4" = 1'-0"



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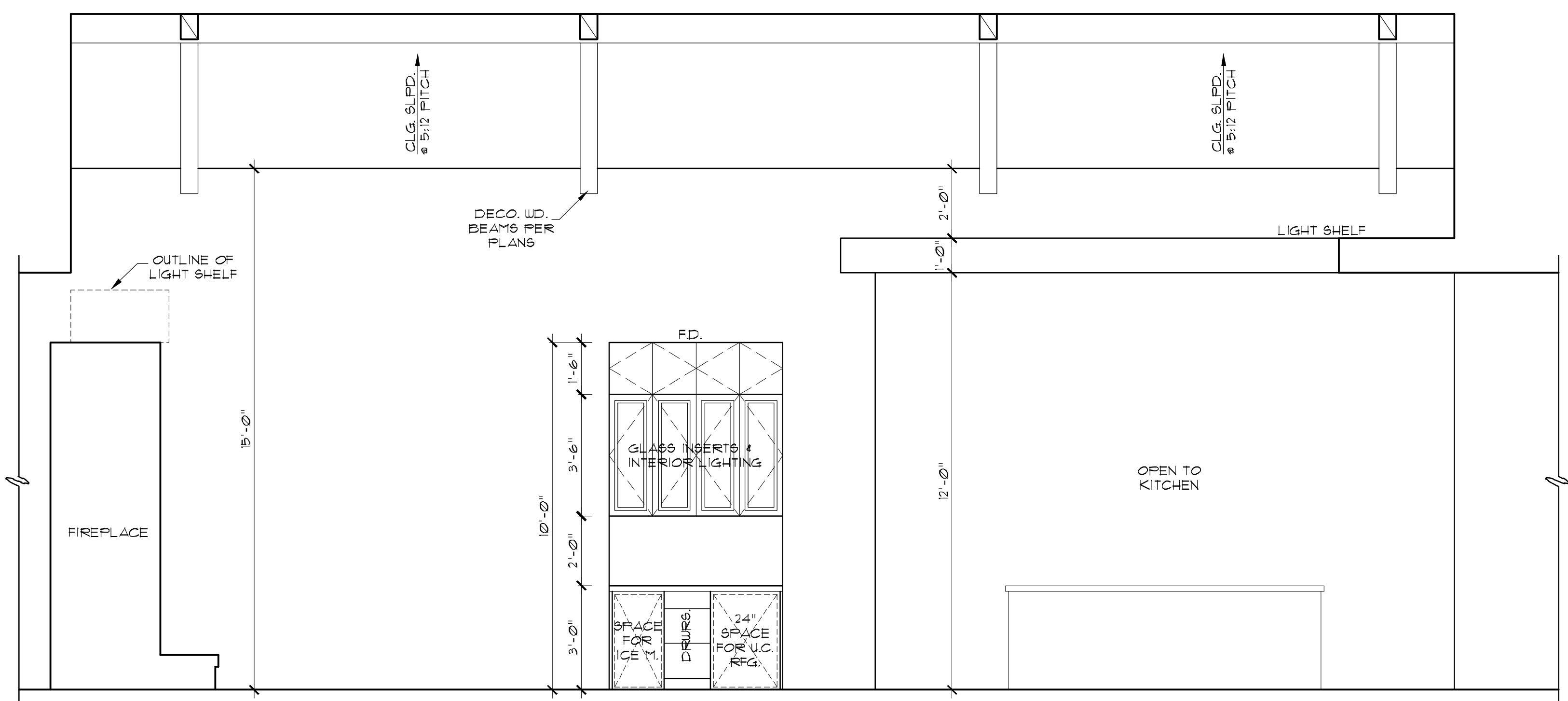
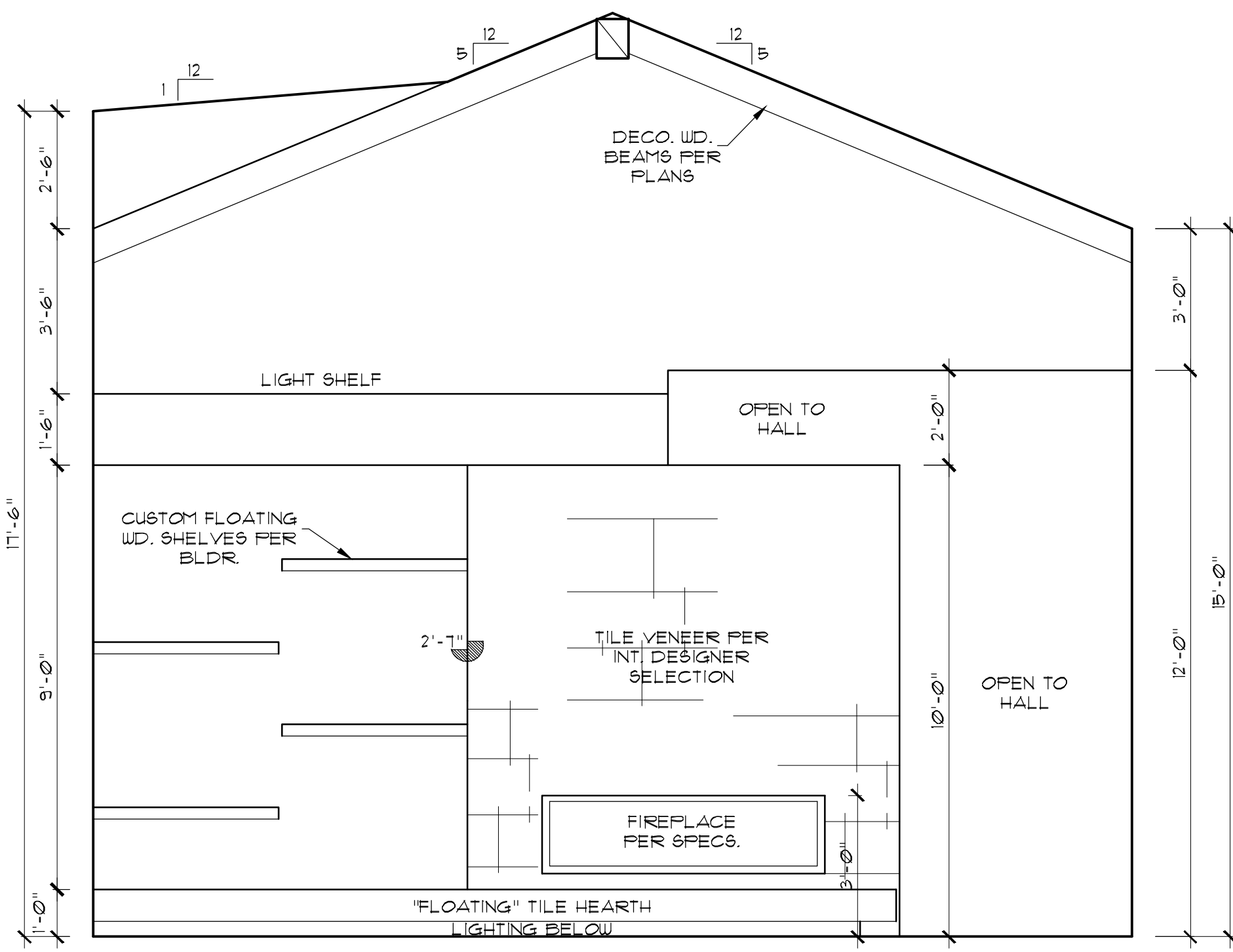
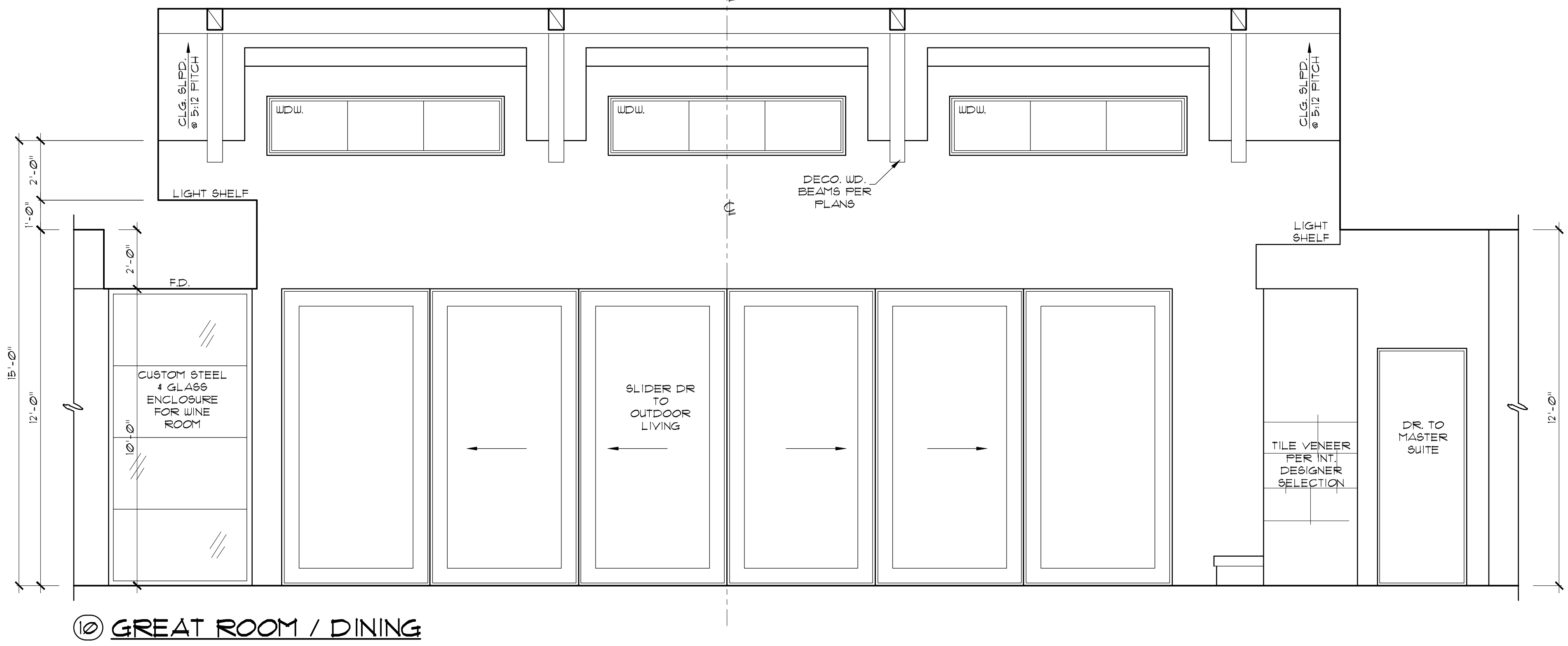
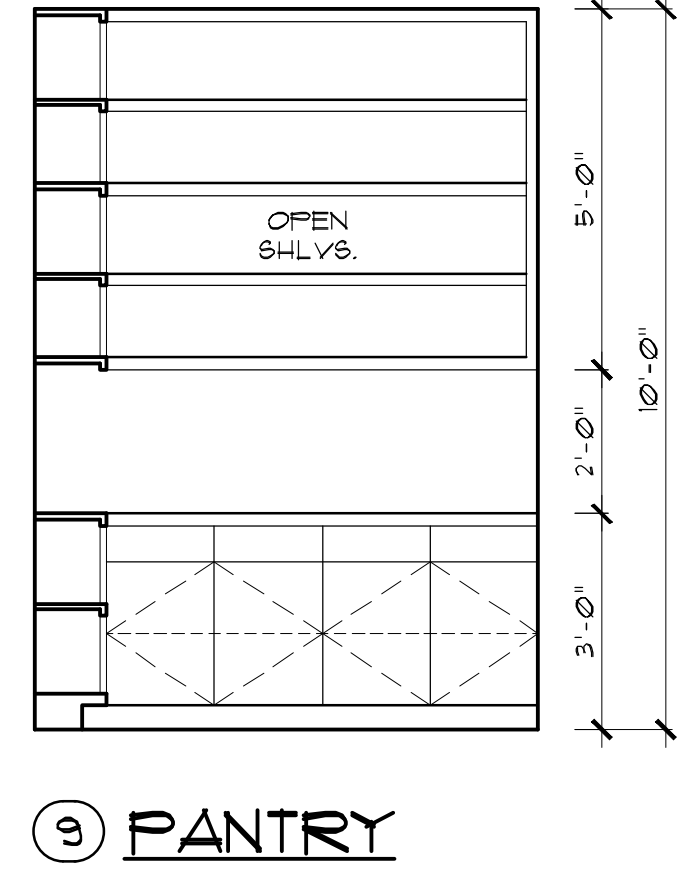
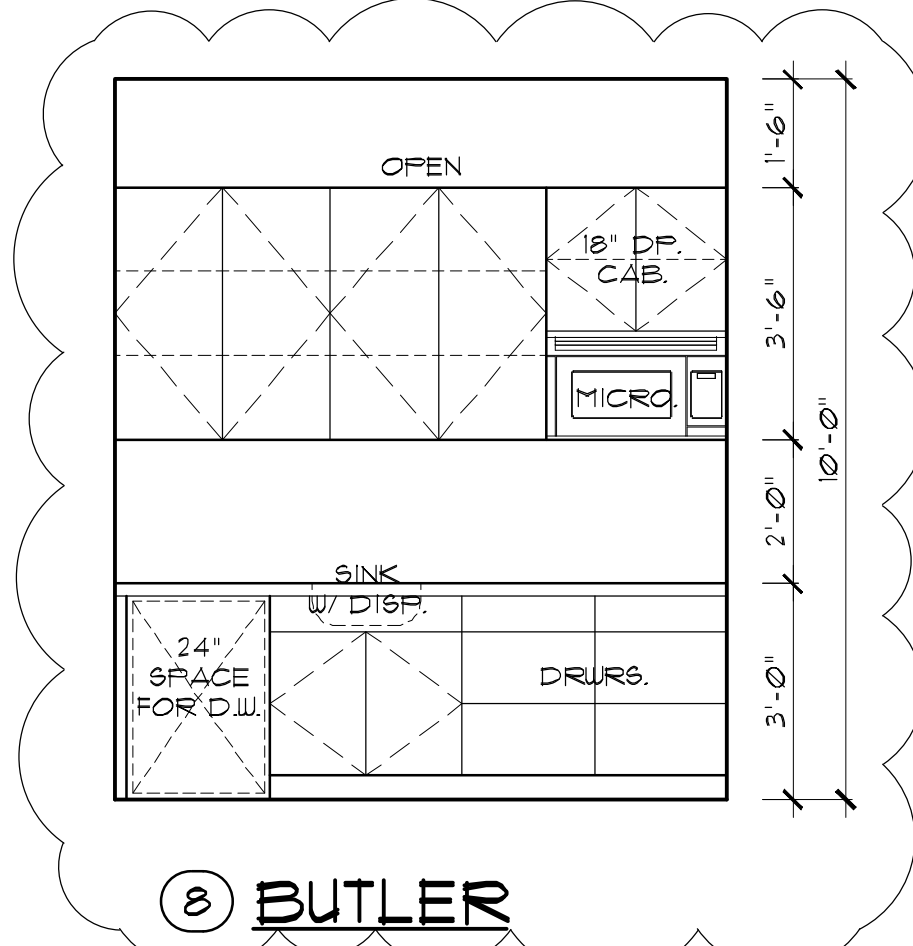
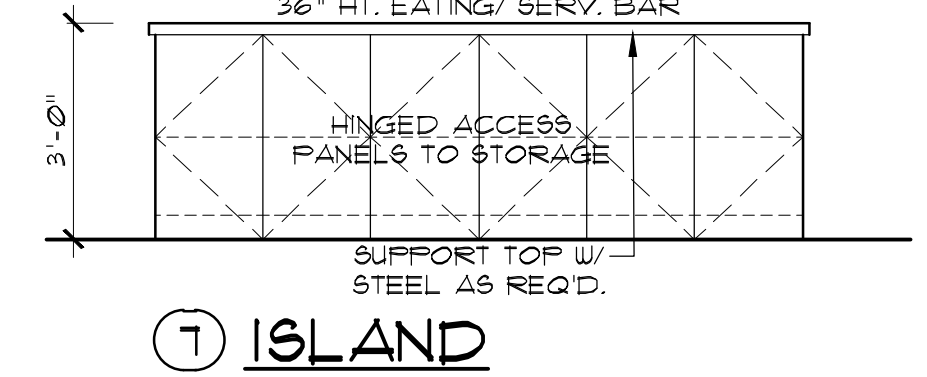
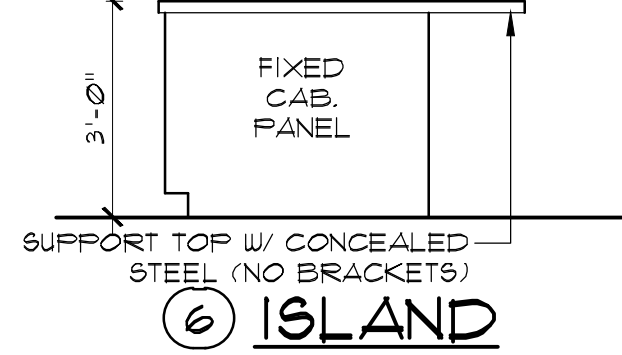
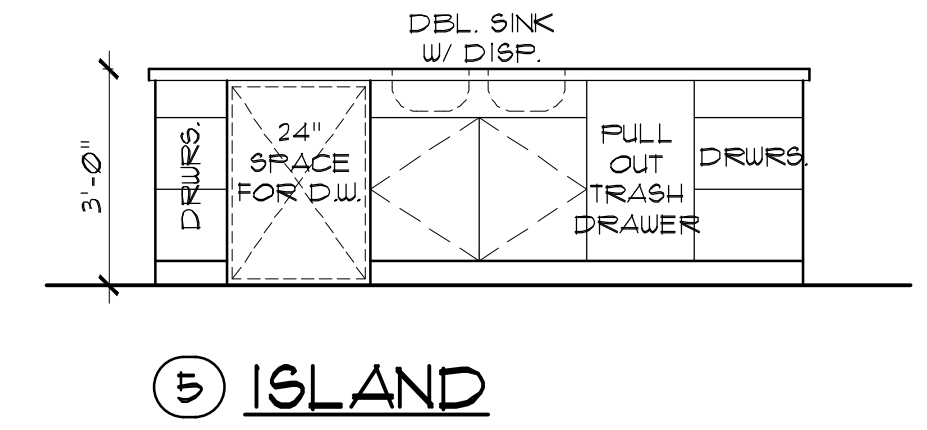
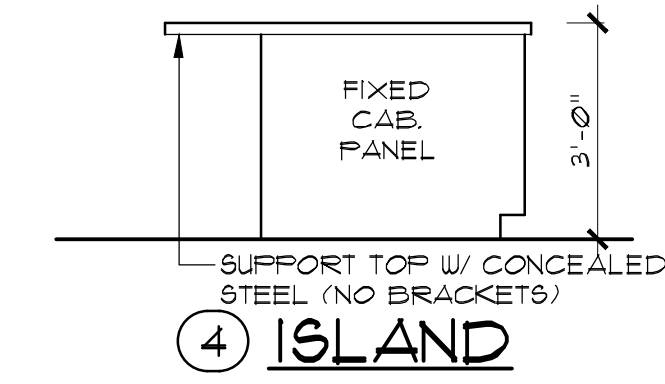
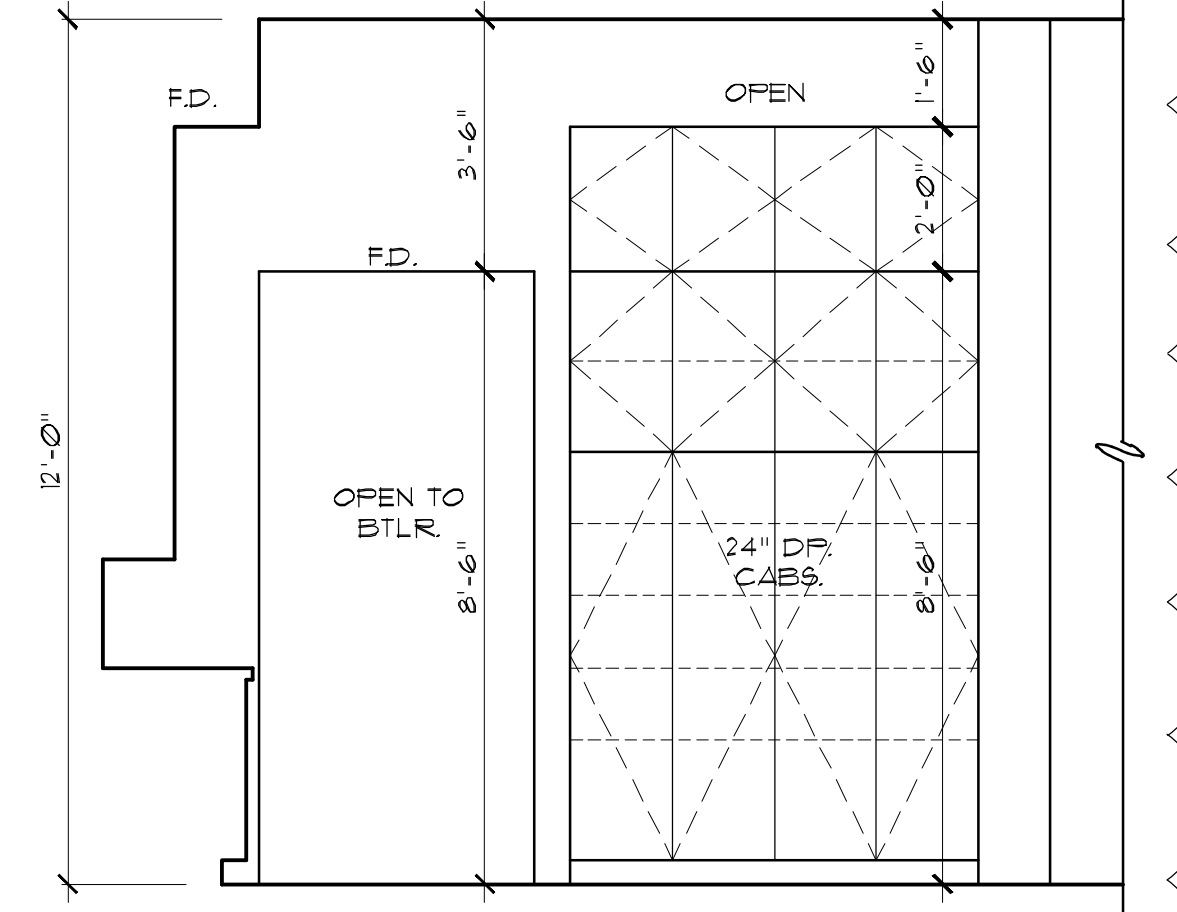
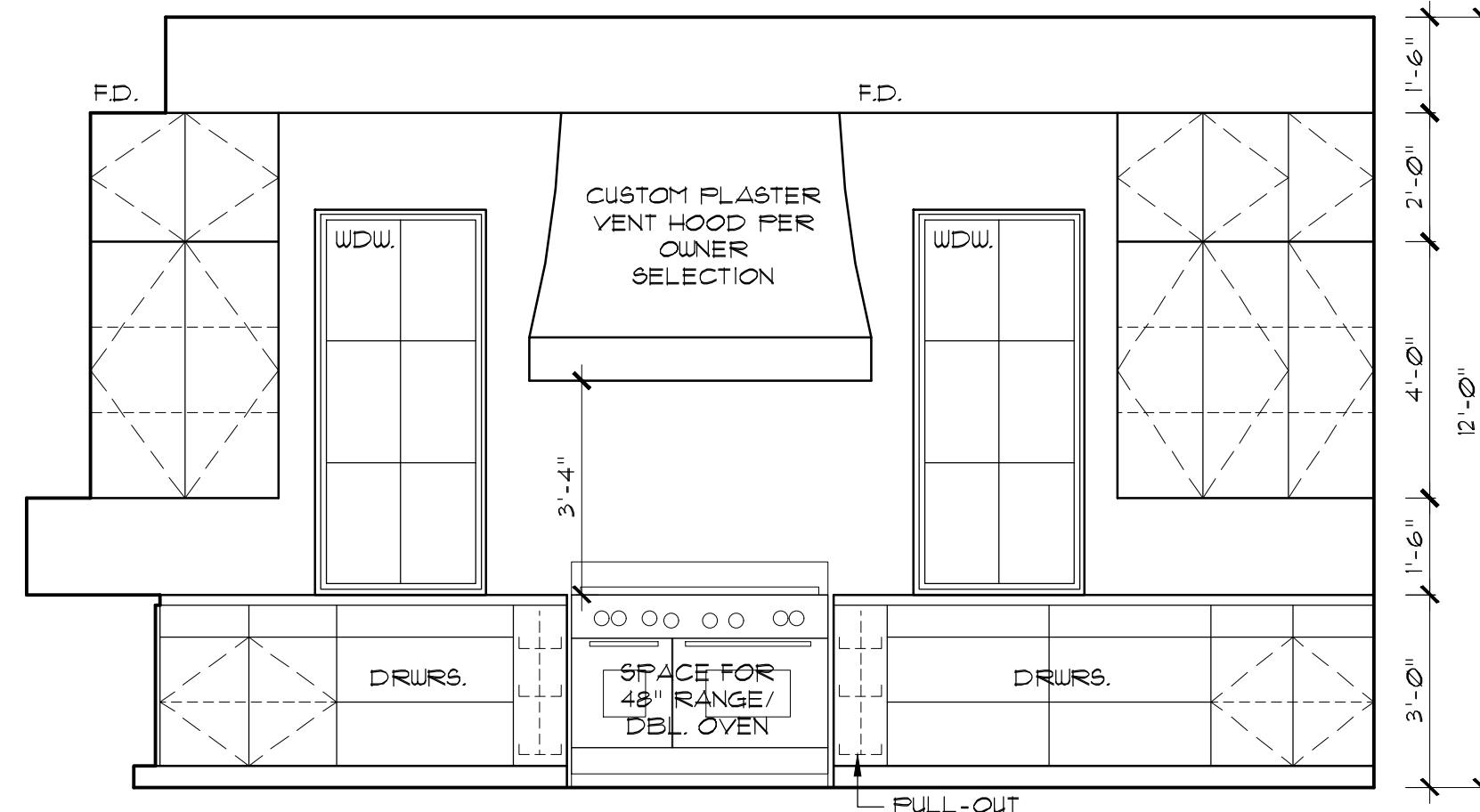
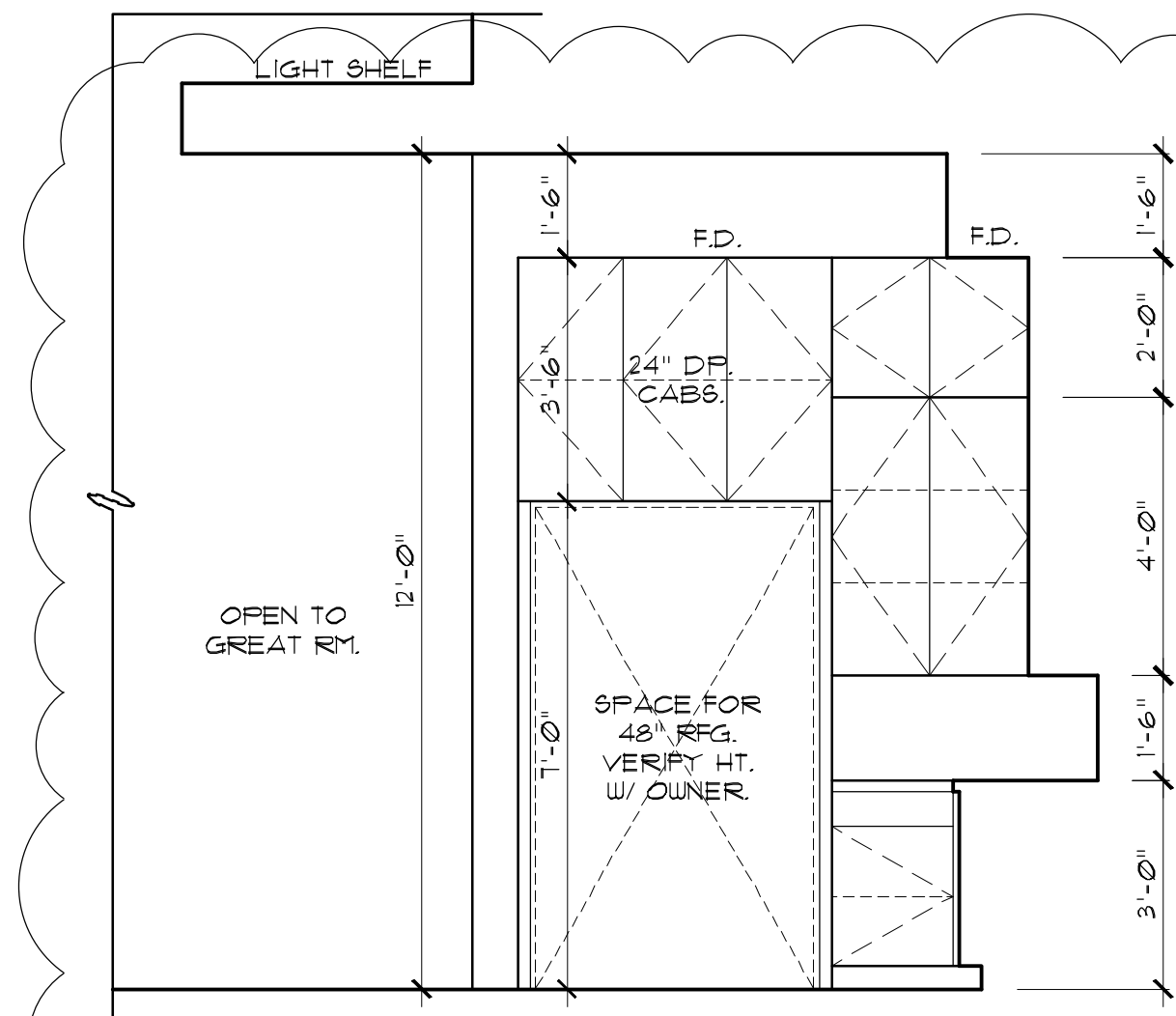
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COVES SPEC.

PROJ. NO.: 24057
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A-17

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INTERIOR
ELEVATIONS
SCALE: 3/8" = 1'-0"

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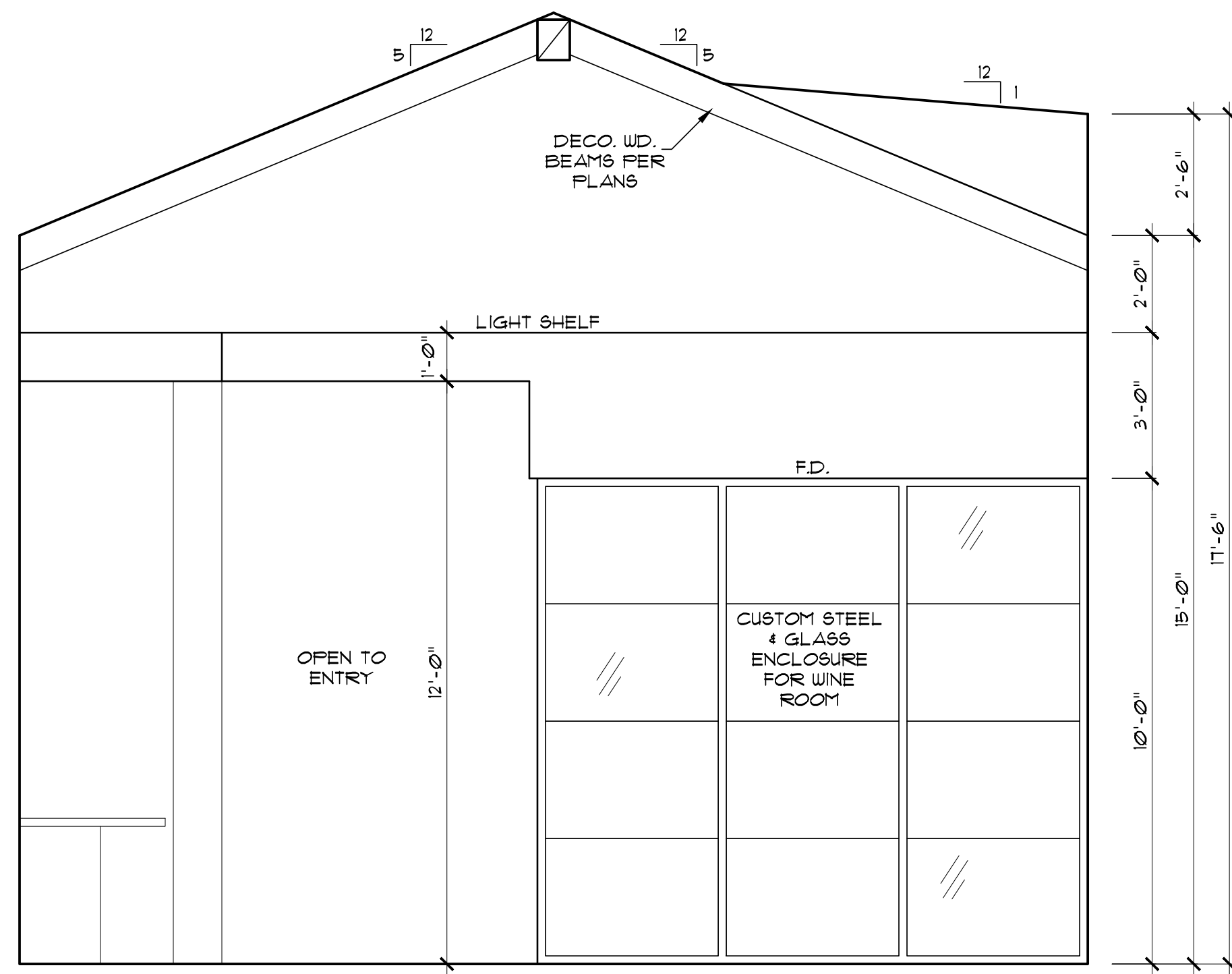
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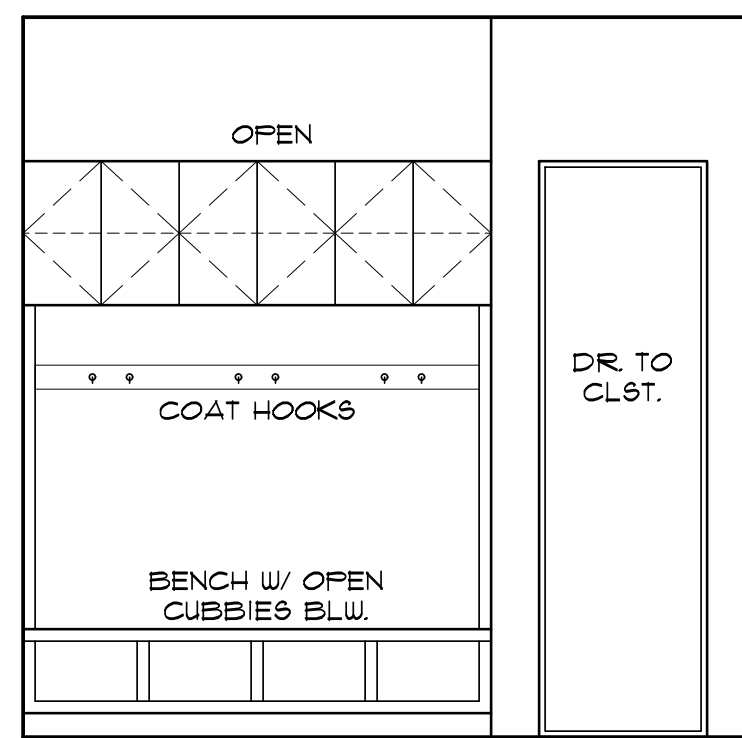
PROJ. NO.: 24057
DATE: 20 FEB. 2025

A-18

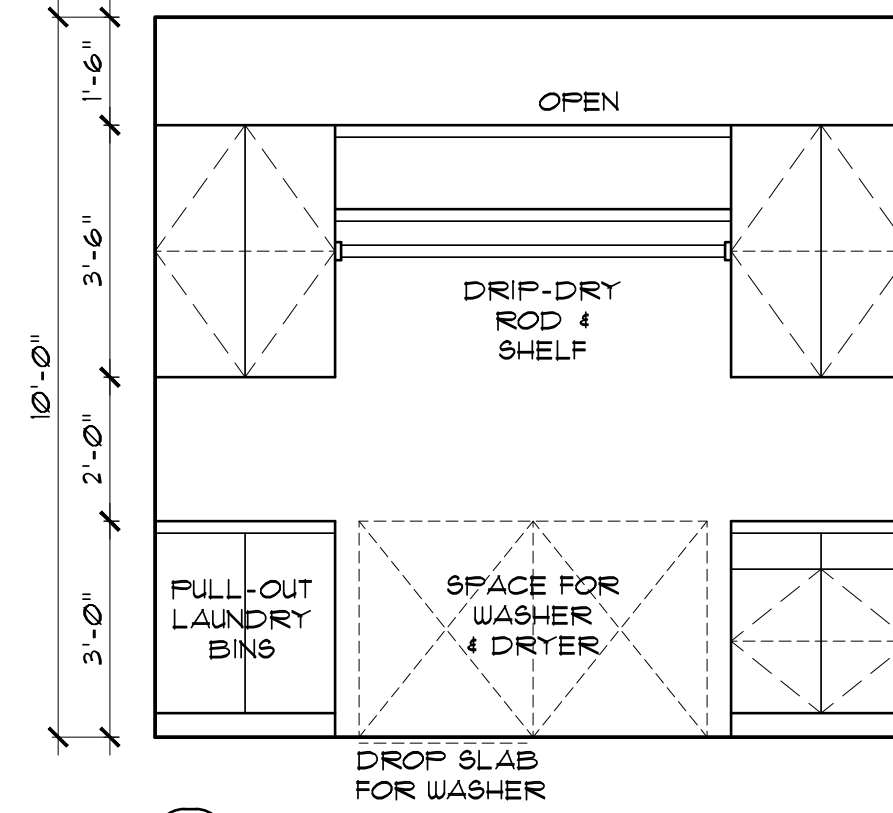
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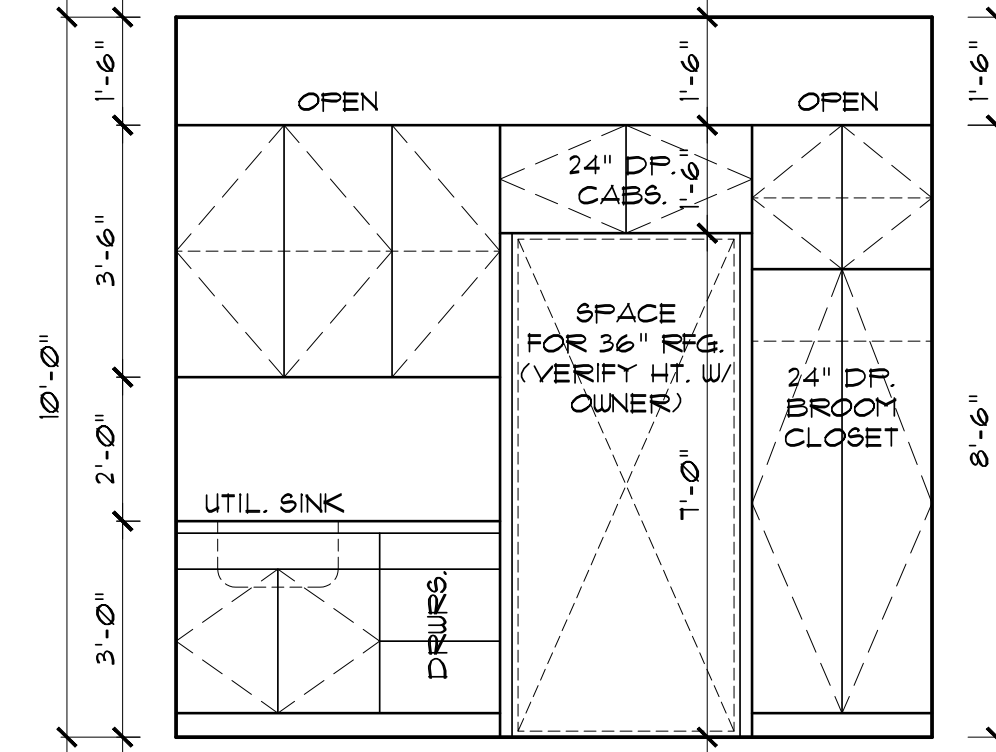
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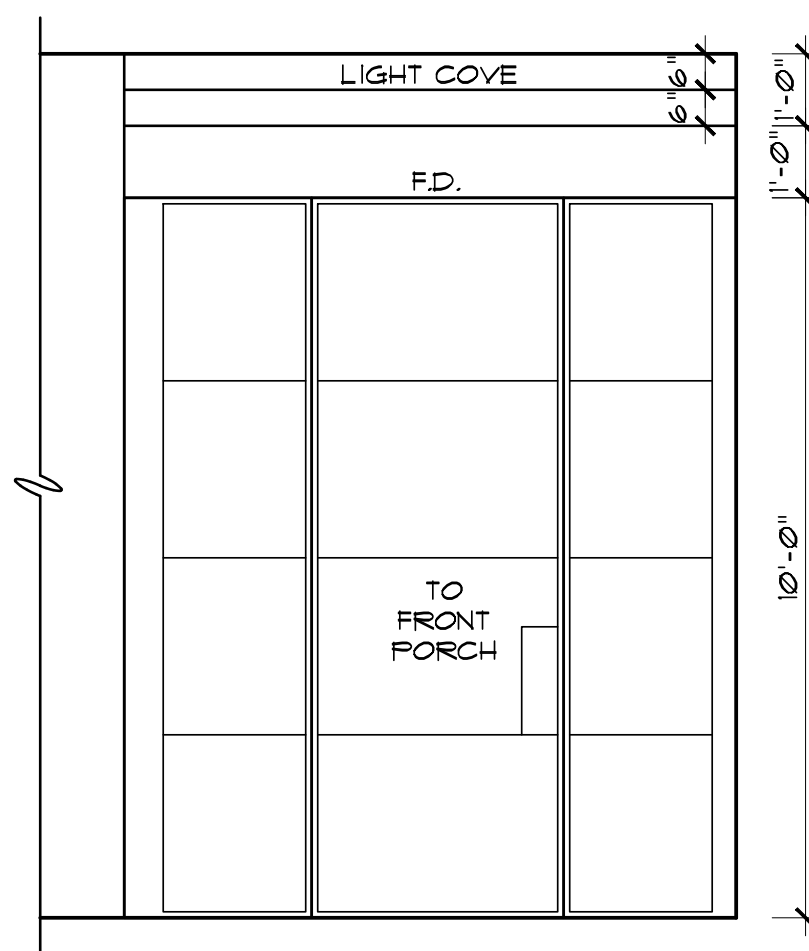
14 MUDRM.



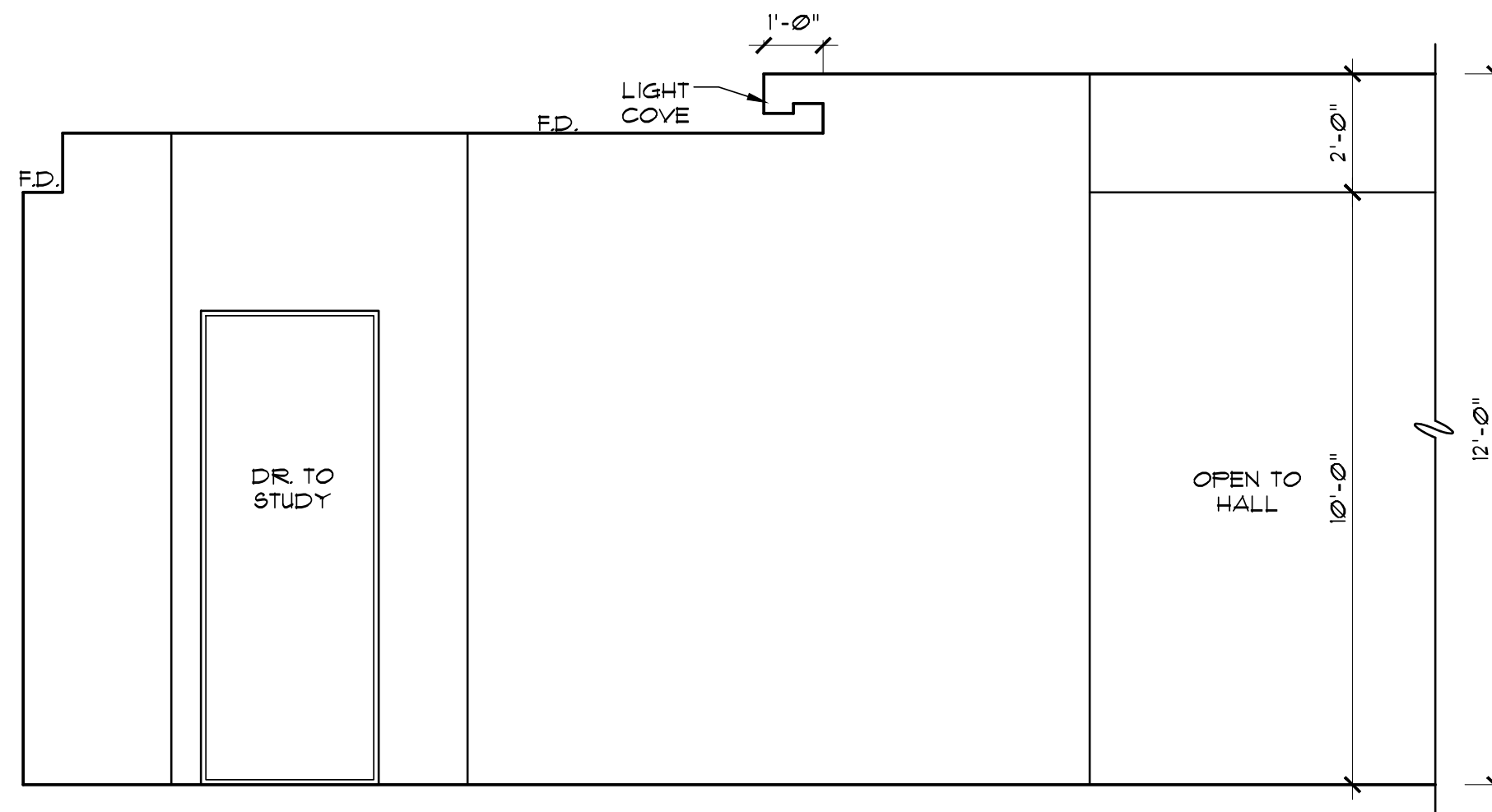
15 UTILITY



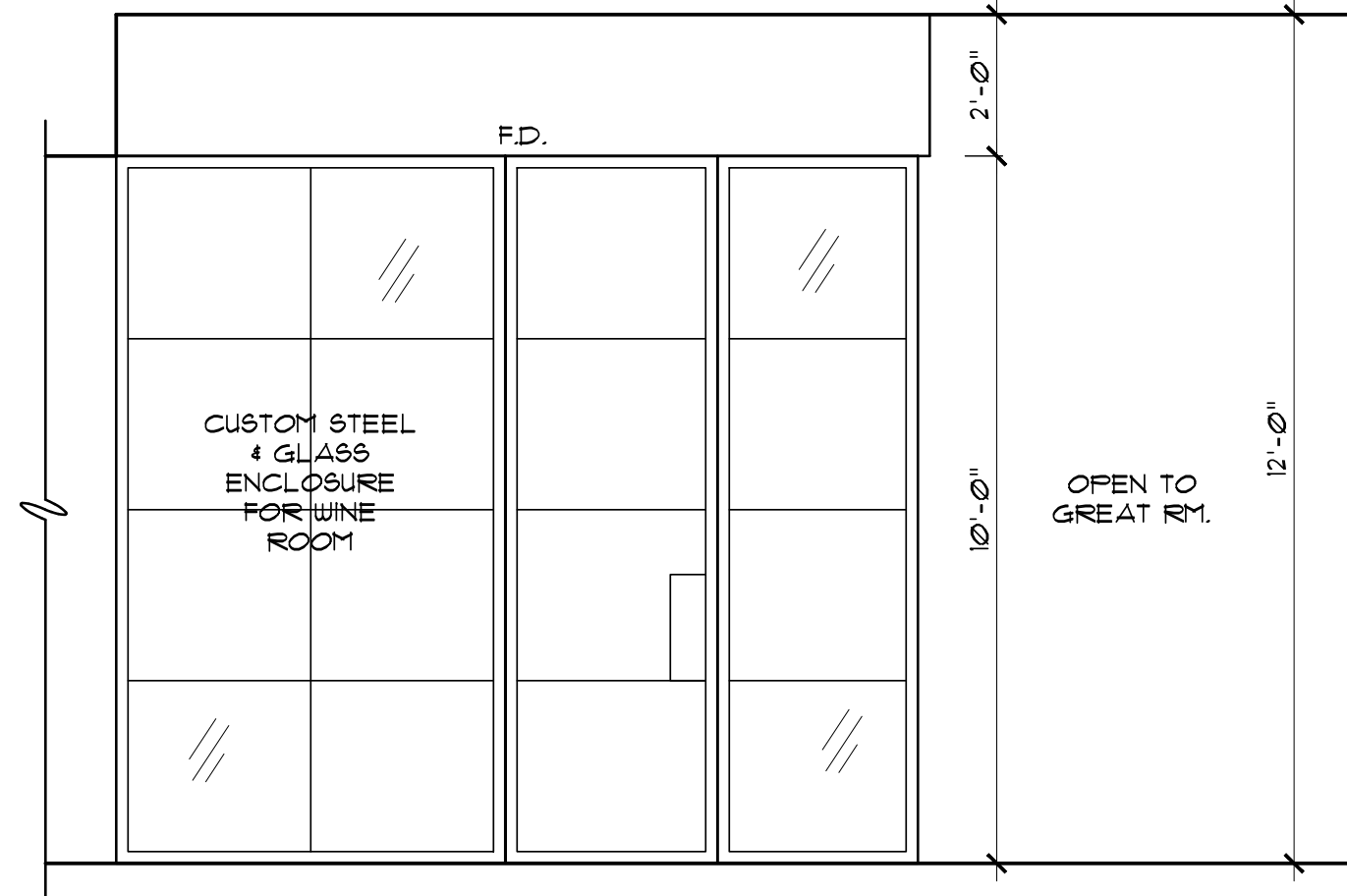
16 UTILITY



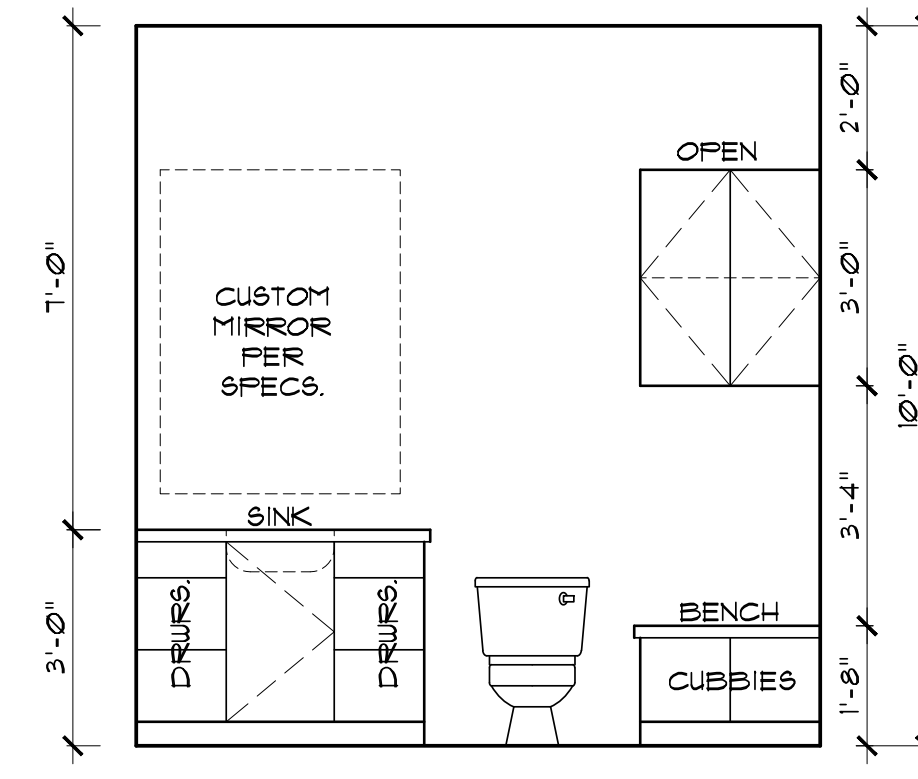
17 ENTRY



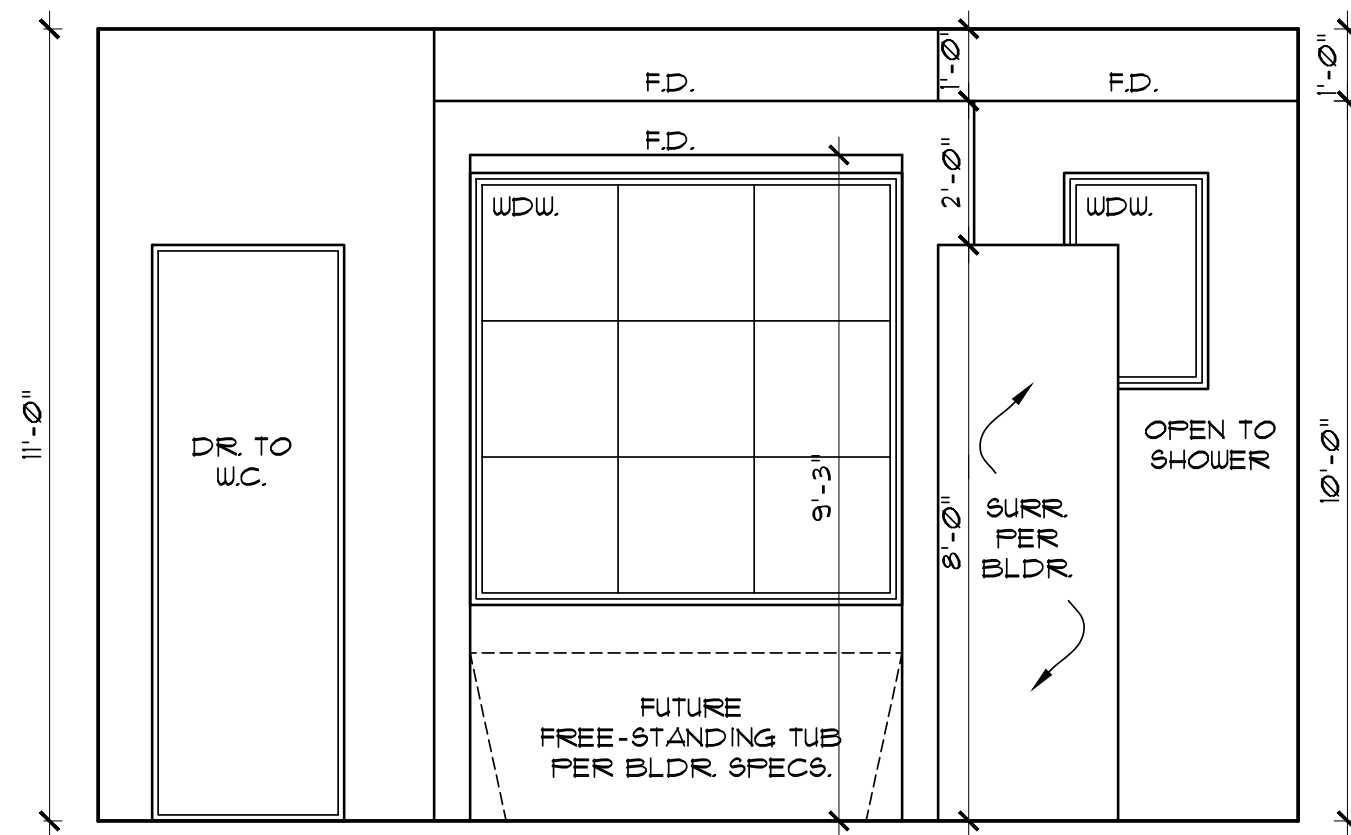
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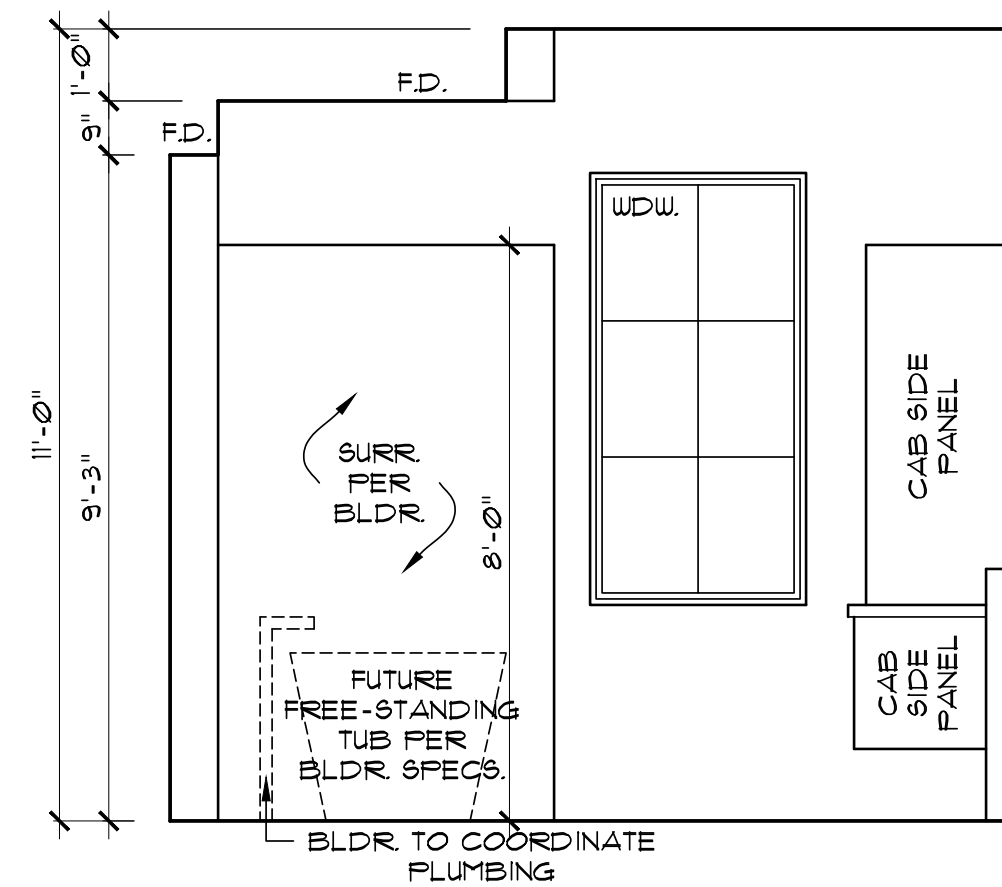
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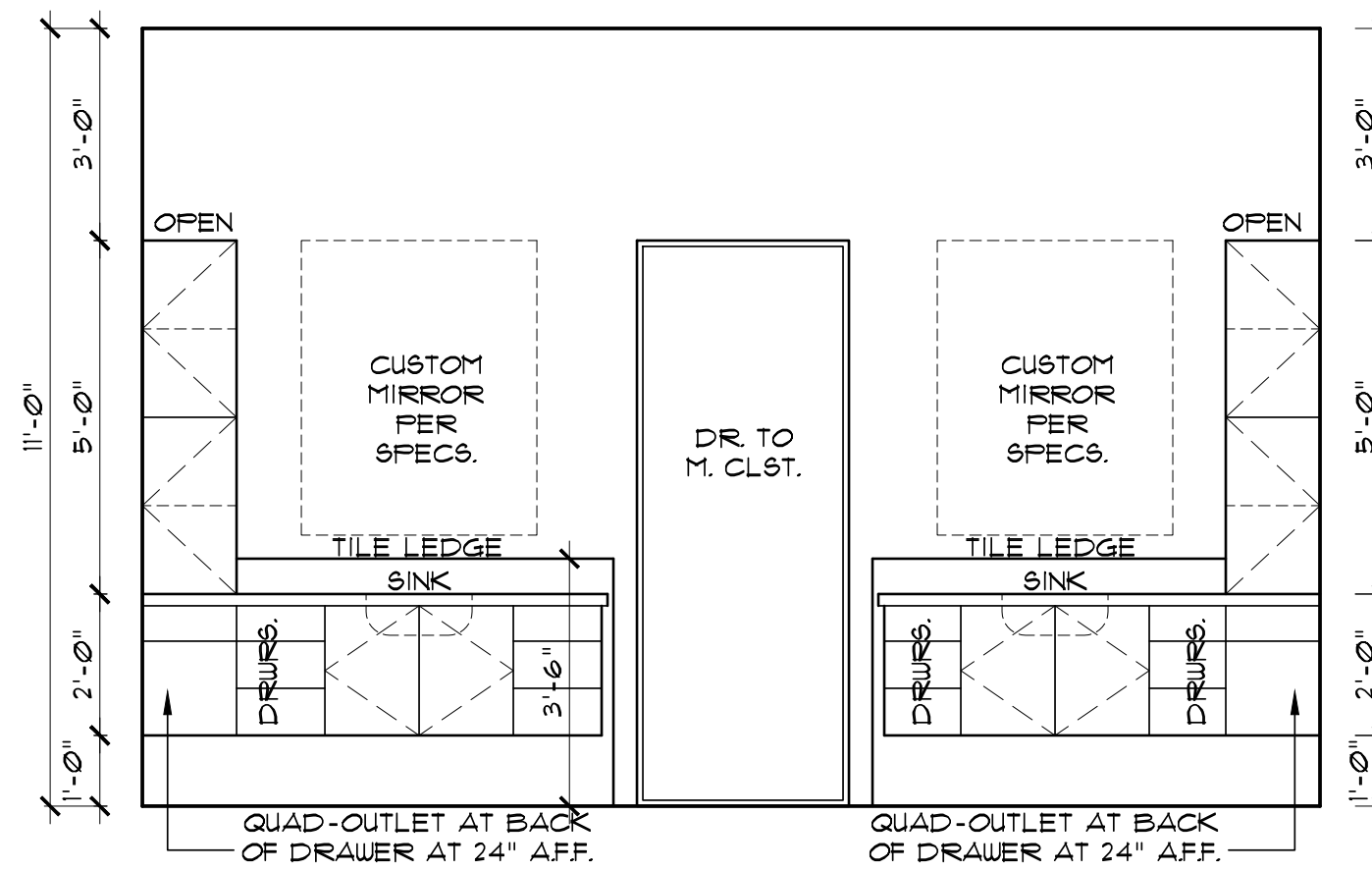
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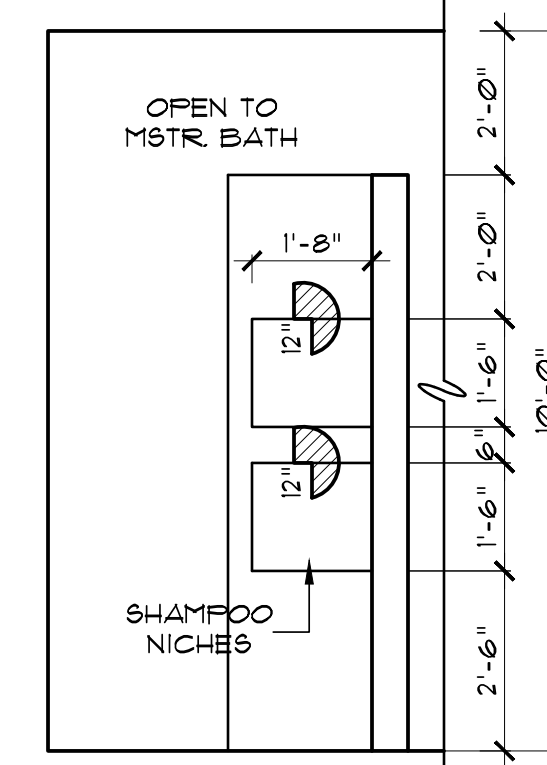
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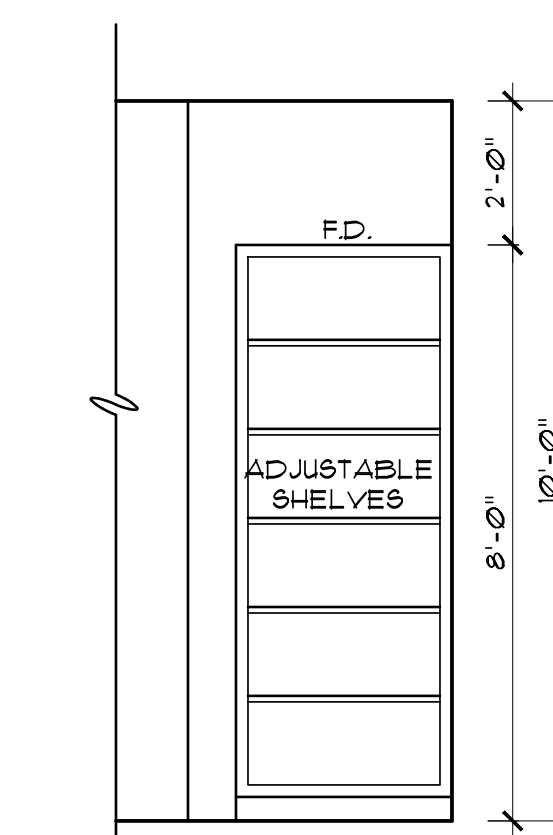
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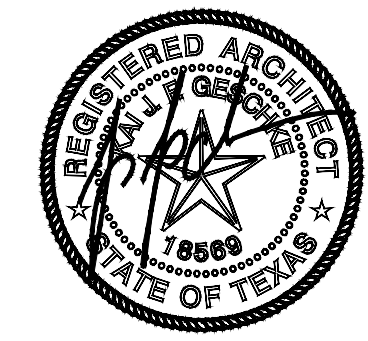
23 MASTER BATH



24 MSTR. SHWR.



25 MINI. MSTR.



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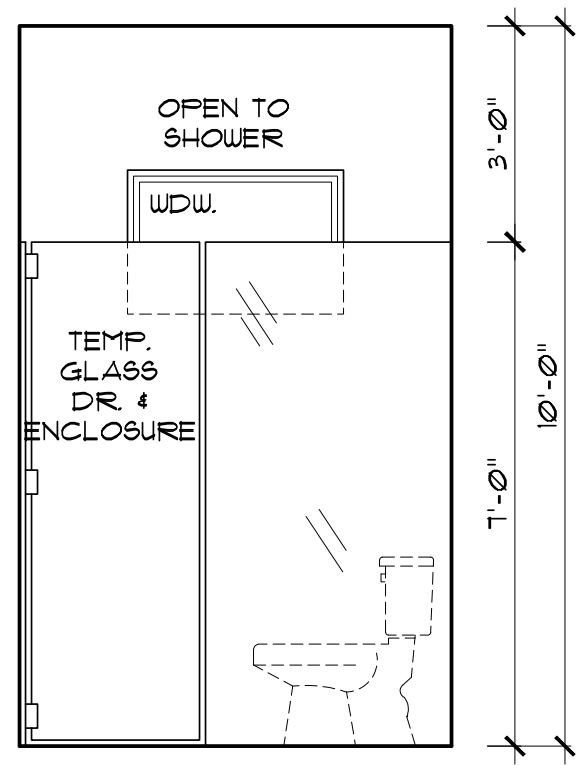
COVES SPEC.

PROJ. NO.: 24057
DATE: 20 FEB. 2025

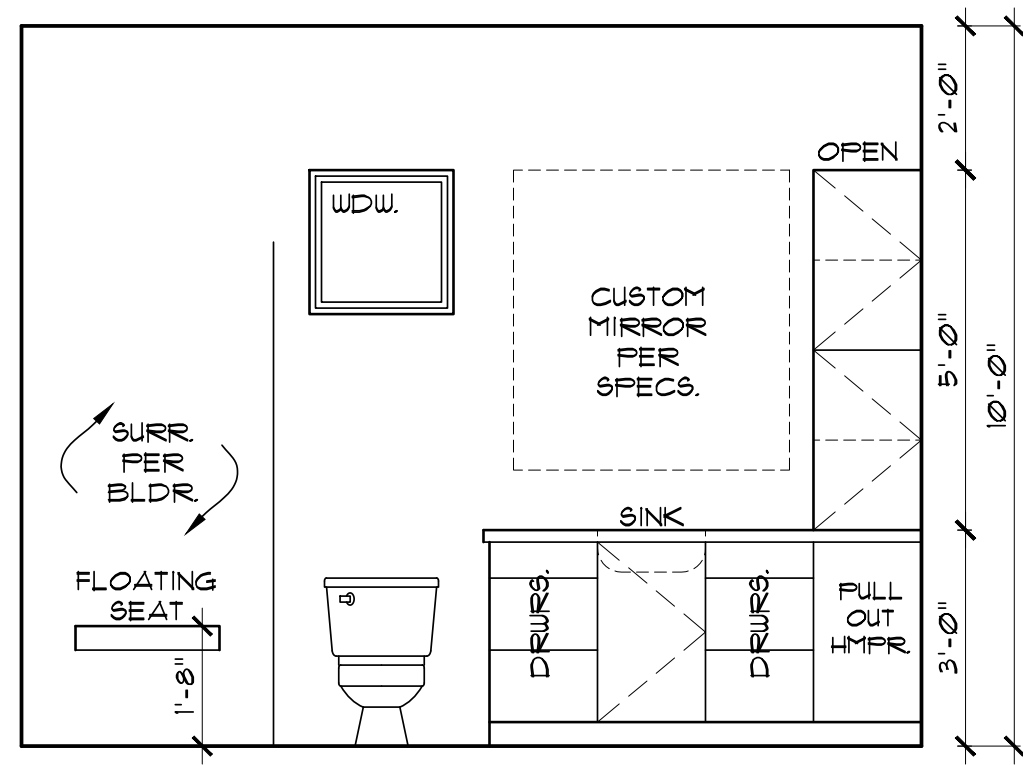
A-19

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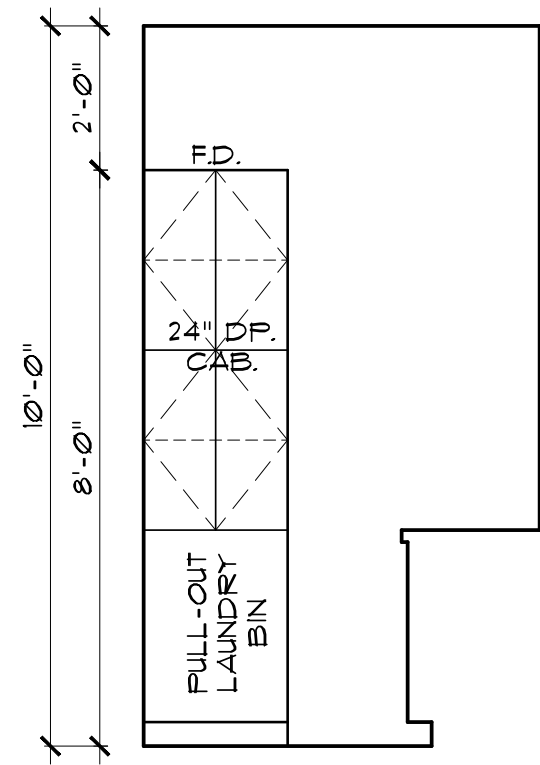
INTERIOR
ELEVATIONS
SCALE: 3/8" = 1'-0"



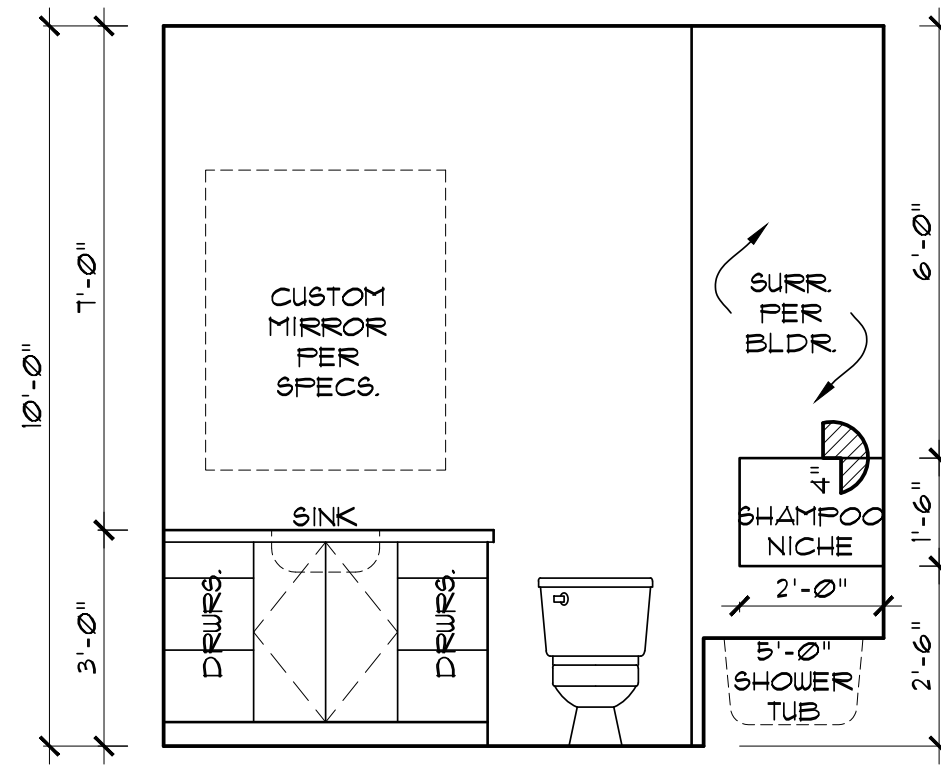
27 BATH 2



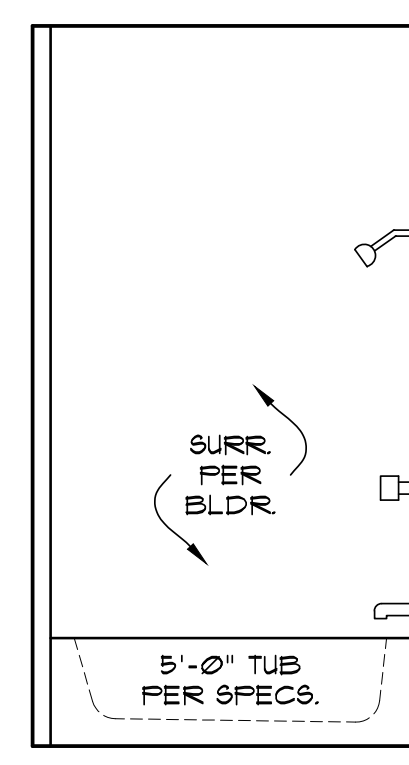
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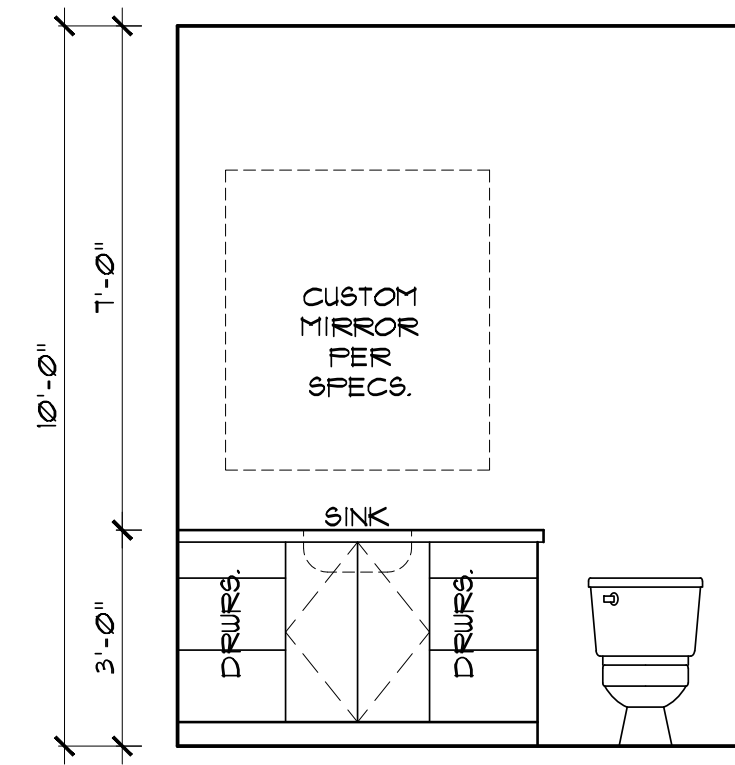
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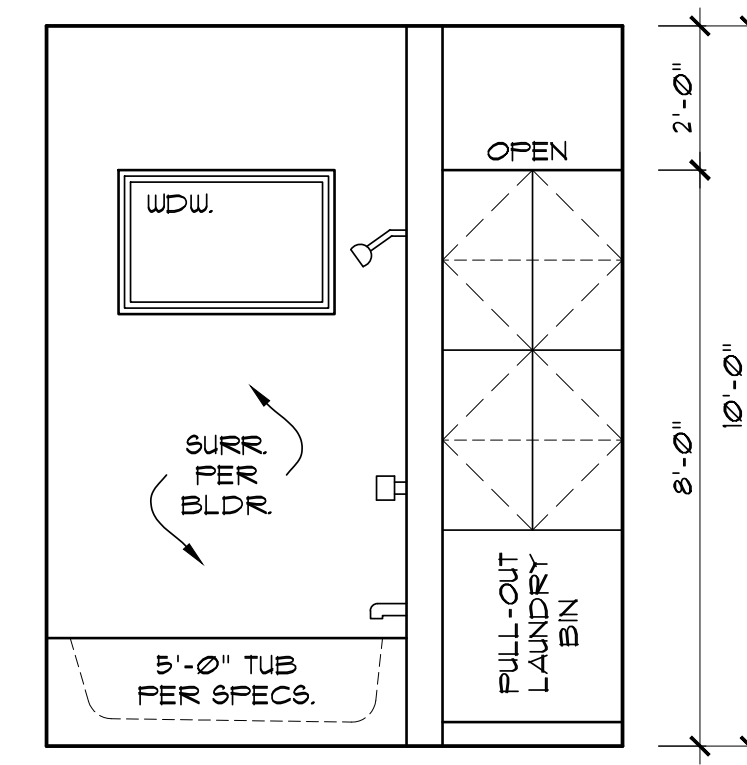
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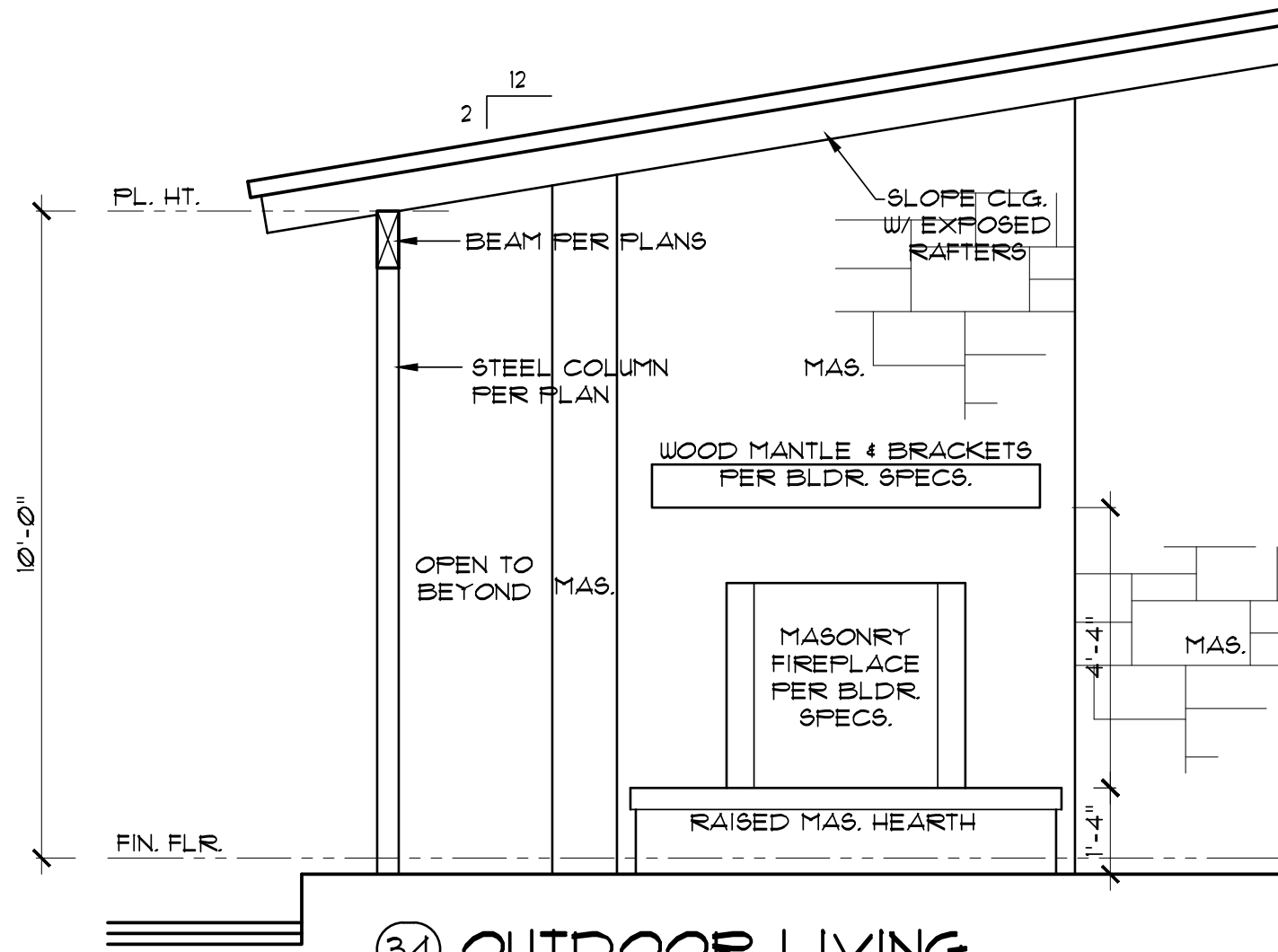
31 BATH 3



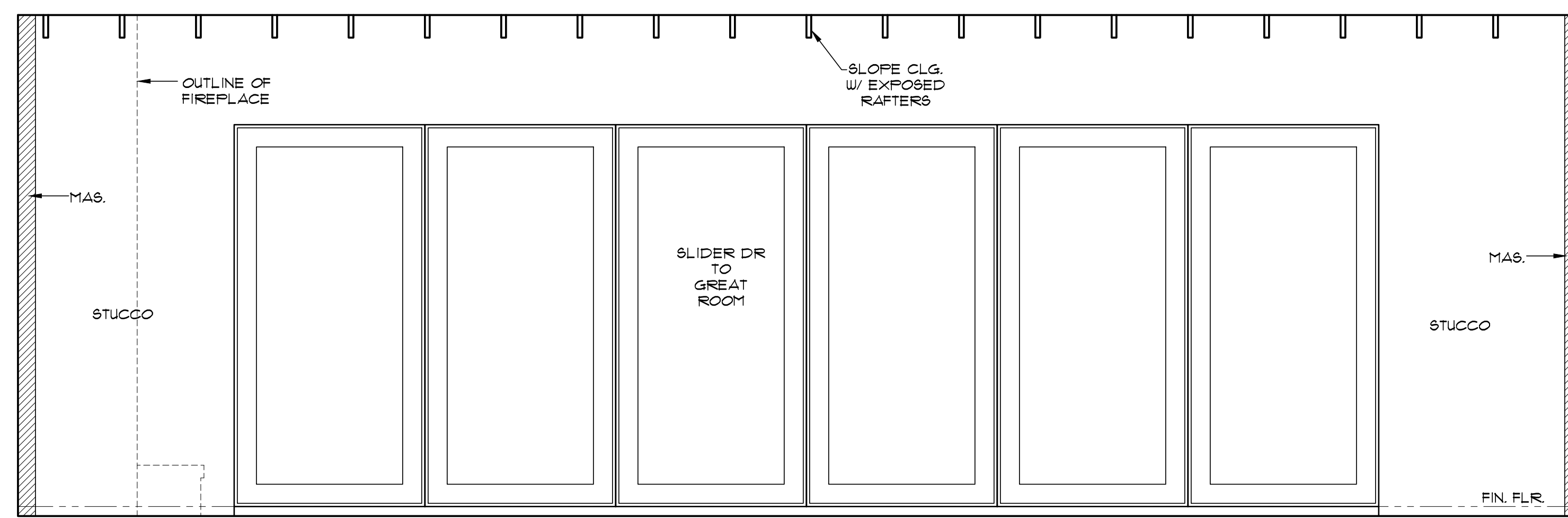
32 BATH 4



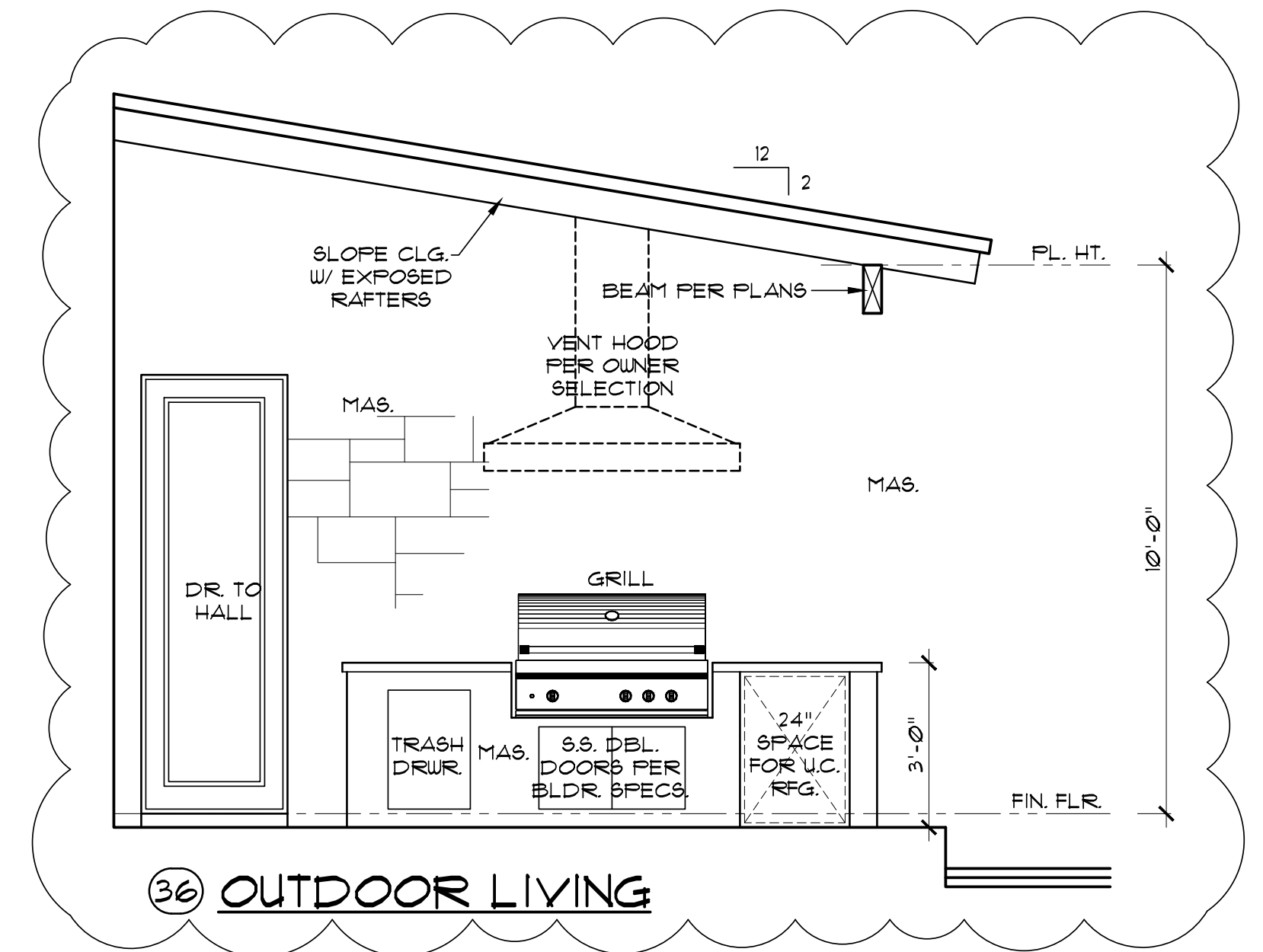
33 BATH 4



34 OUTDOOR LIVING



35 OUTDOOR LIVING



36 OUTDOOR LIVING



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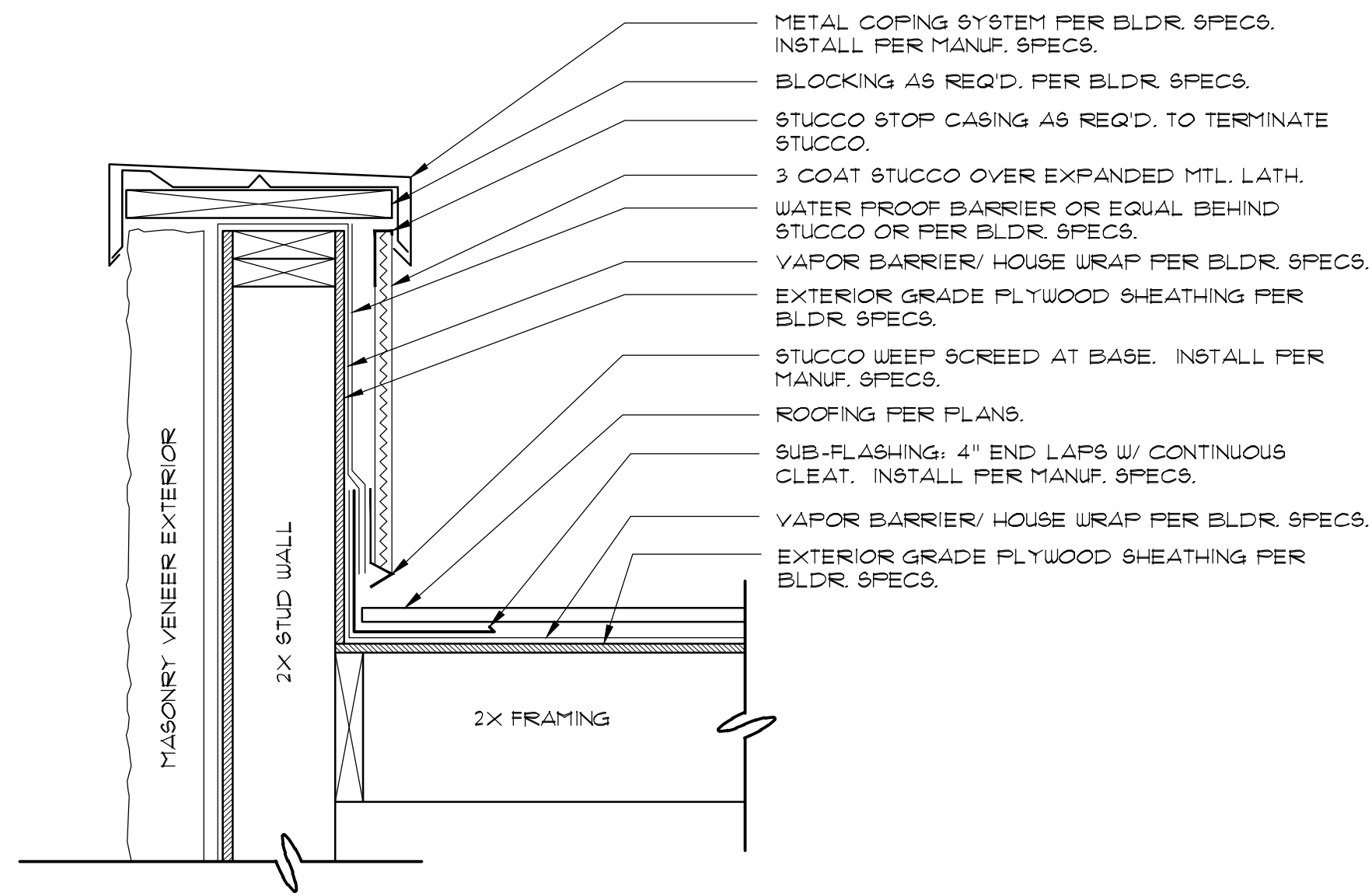
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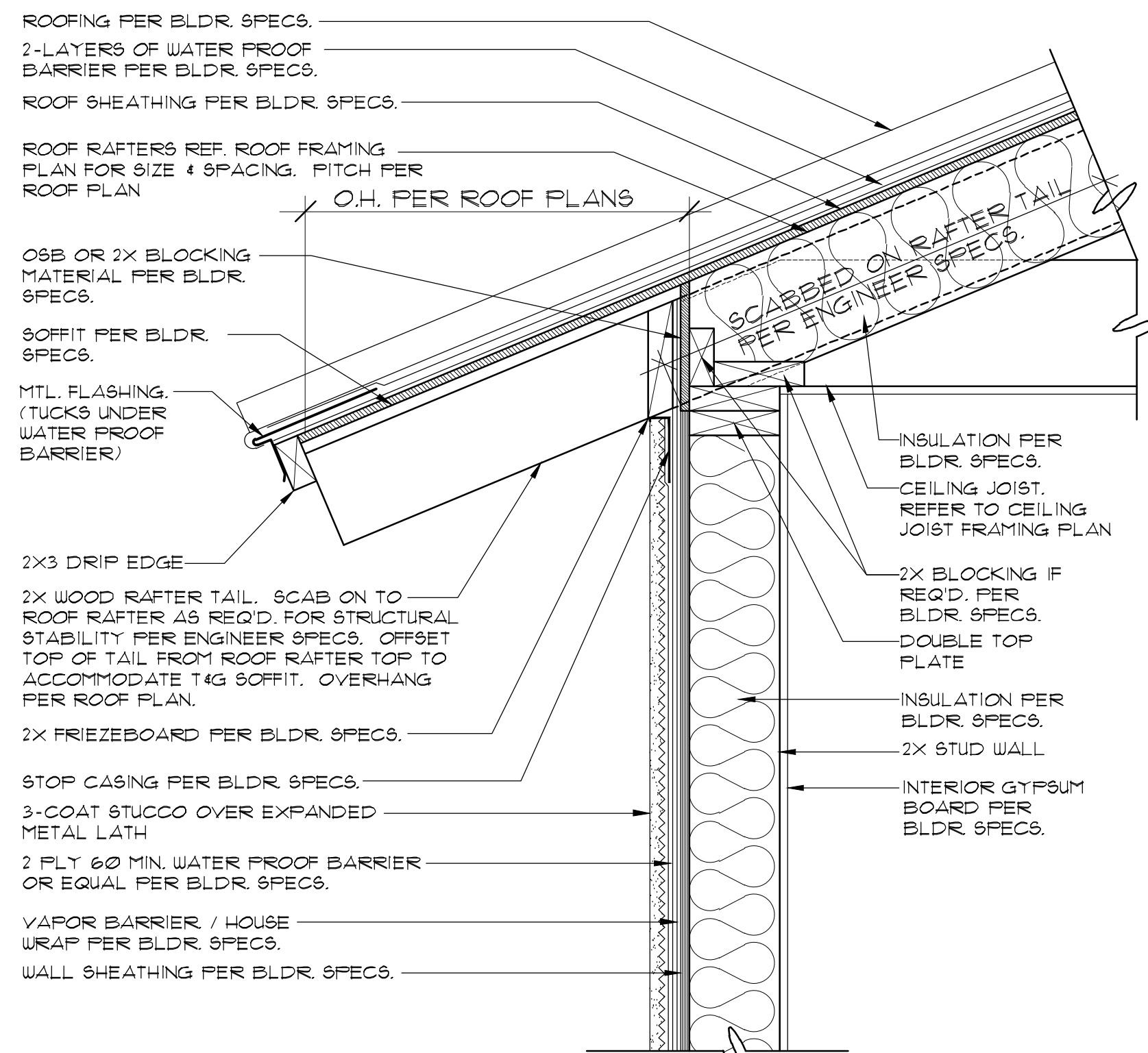
A-20

DM



5 TYP. PARAPET WALL
STONE EXT. DETAIL

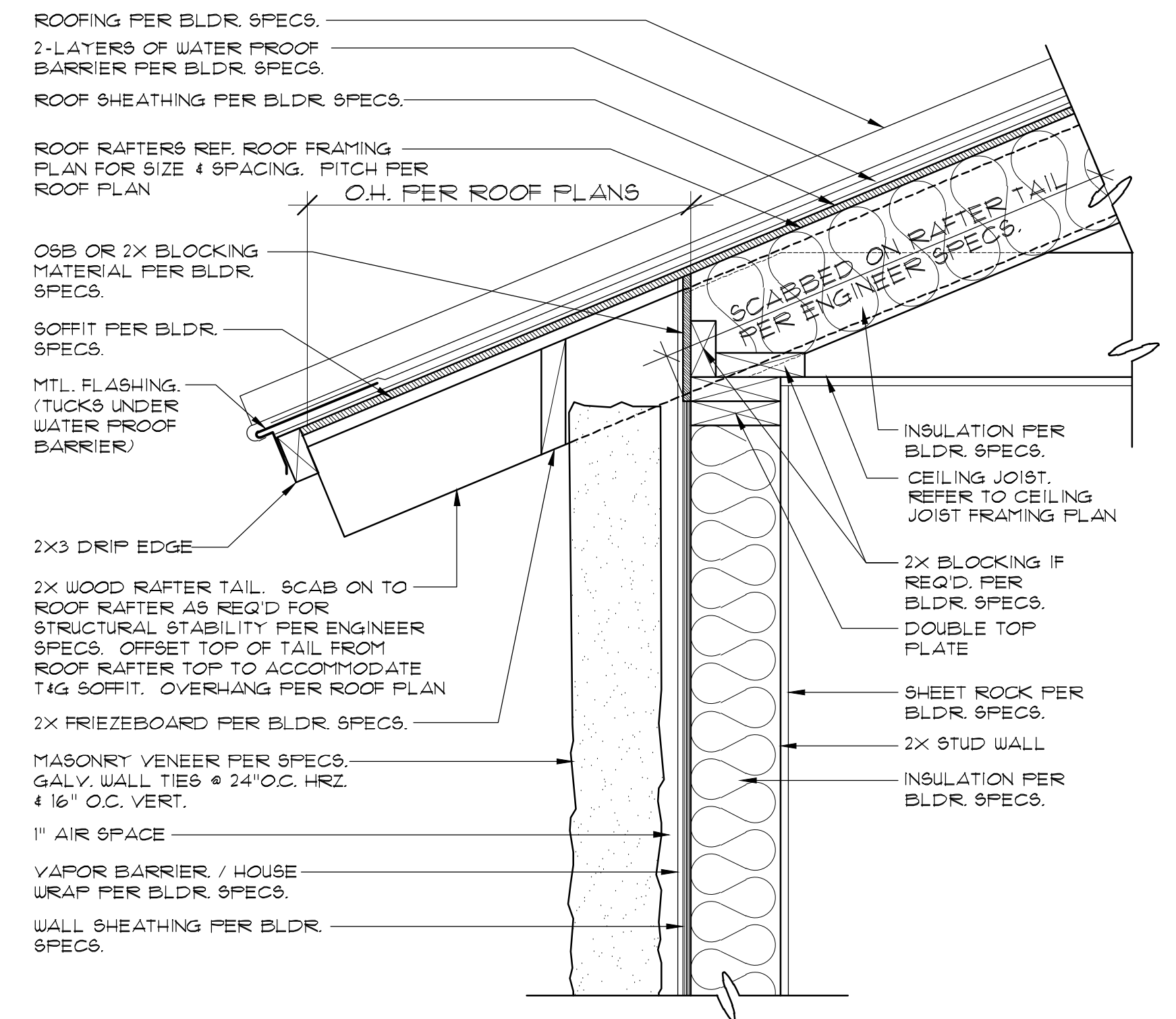
NOTE: ROOF PITCH PER ROOF PLANS



4 EXPOSED RAFTER TAIL SOFFIT
WITH STUCCO EXT. & MTL. ROOF

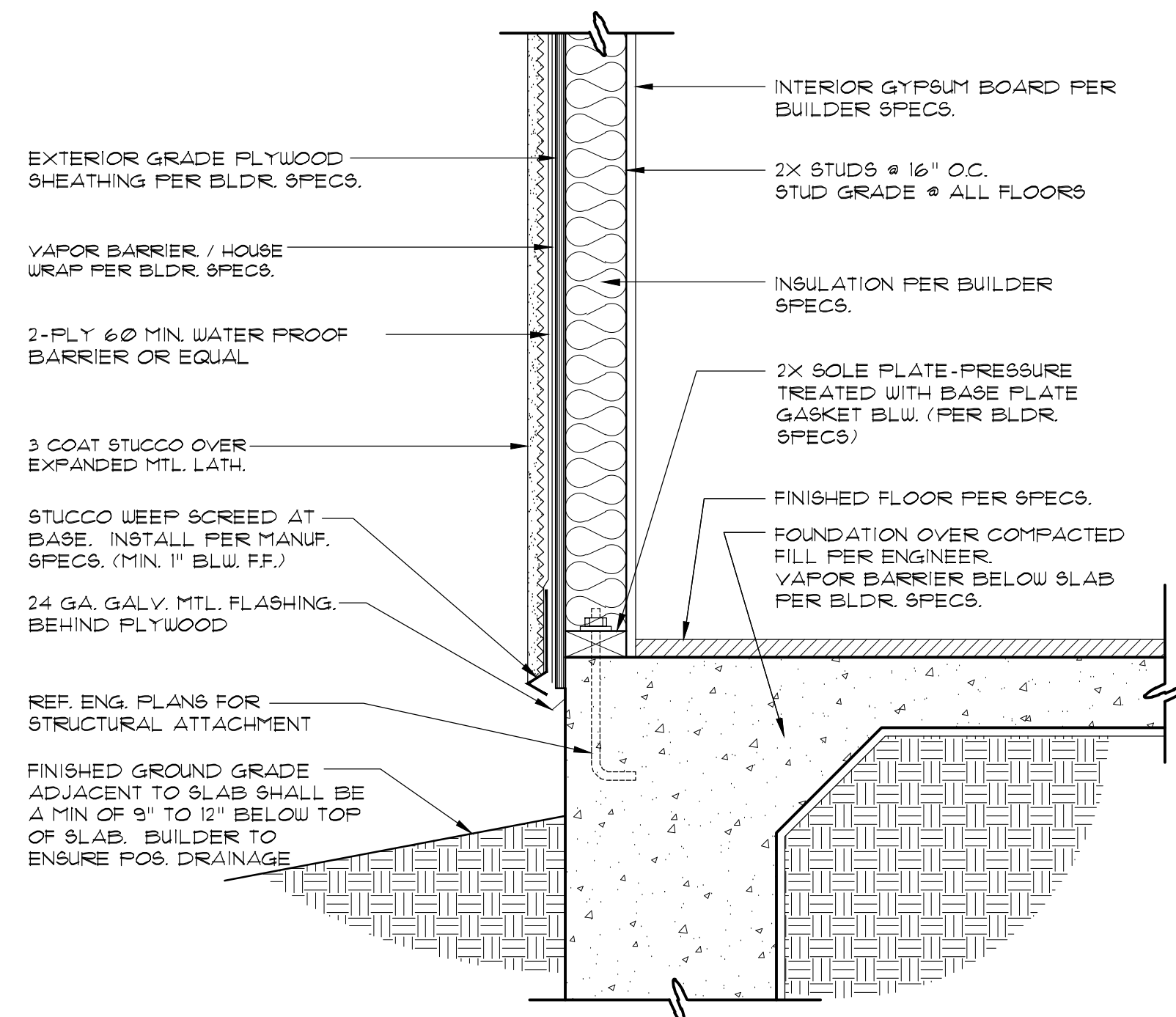
SCALE: 1 1/2" = 1'-0"

NOTE: ROOF PITCH PER ROOF PLANS



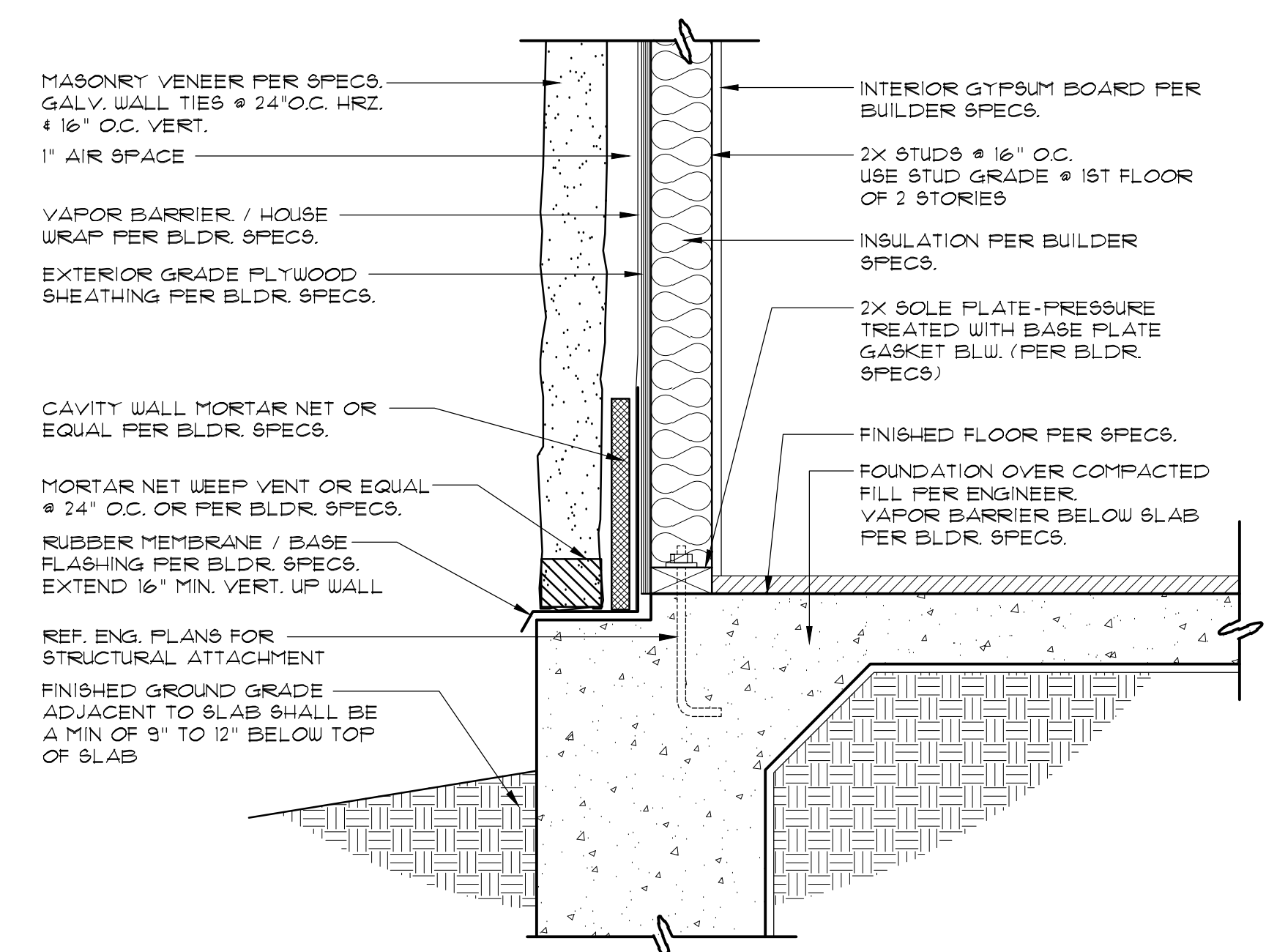
3 EXPOSED RAFTER TAIL SOFFIT
WITH STONE EXT. & MTL. ROOF

SCALE: 1 1/2" = 1'-0"



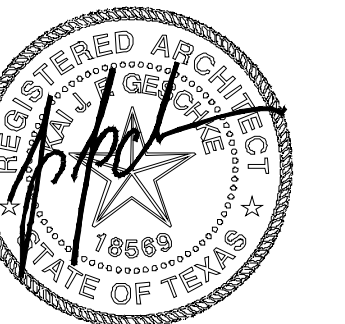
2 WALL SECTION @ BASE PLATE
STUCCO WALL

SCALE: 1 1/2" = 1'-0"



1 WALL SECTION @ BASE PLATE
STONE WALL

SCALE: 1 1/2" = 1'-0"



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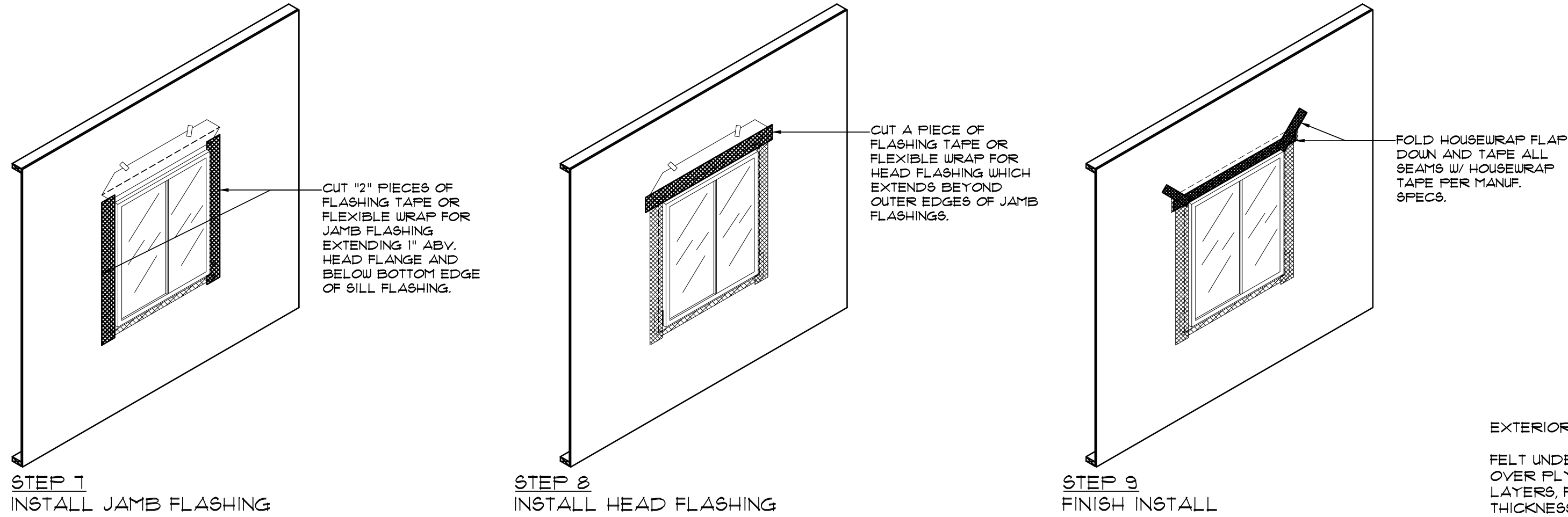
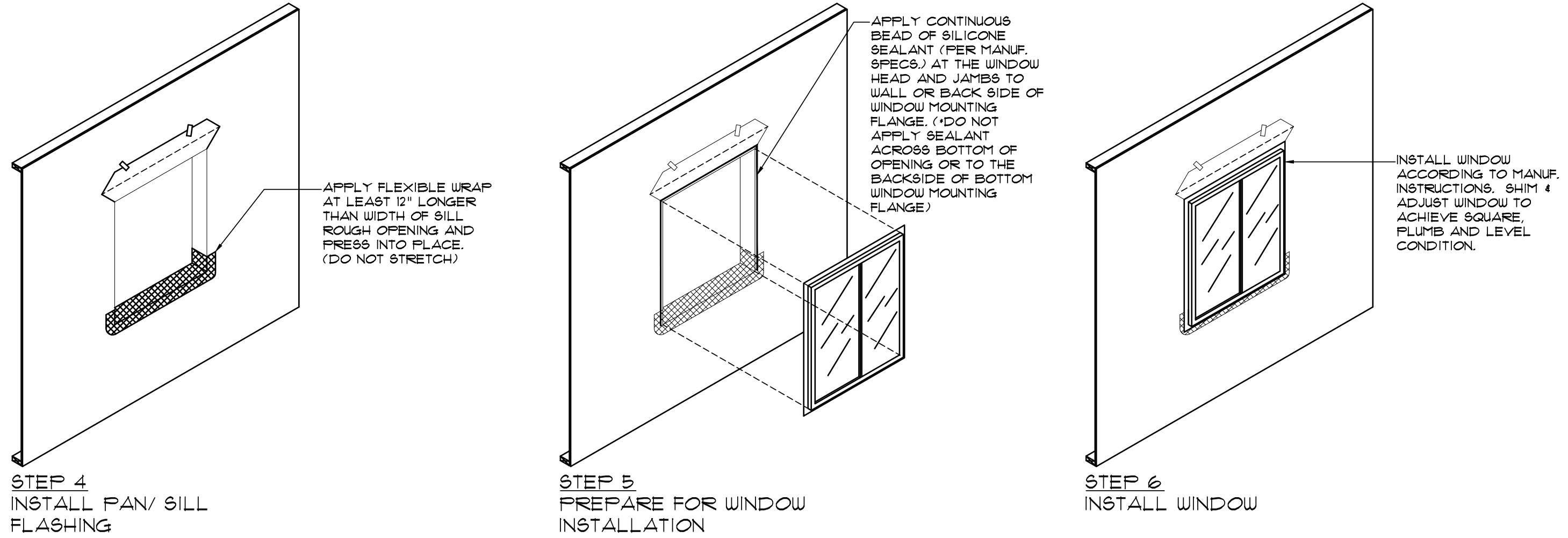
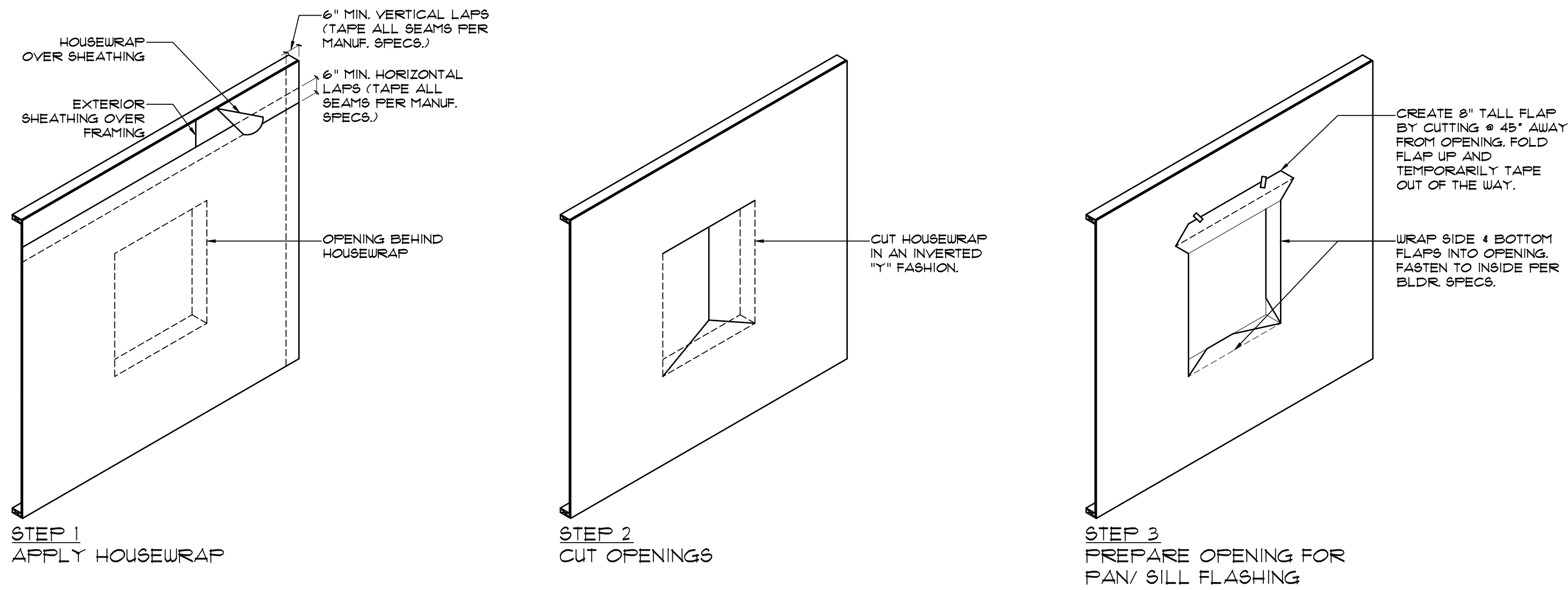
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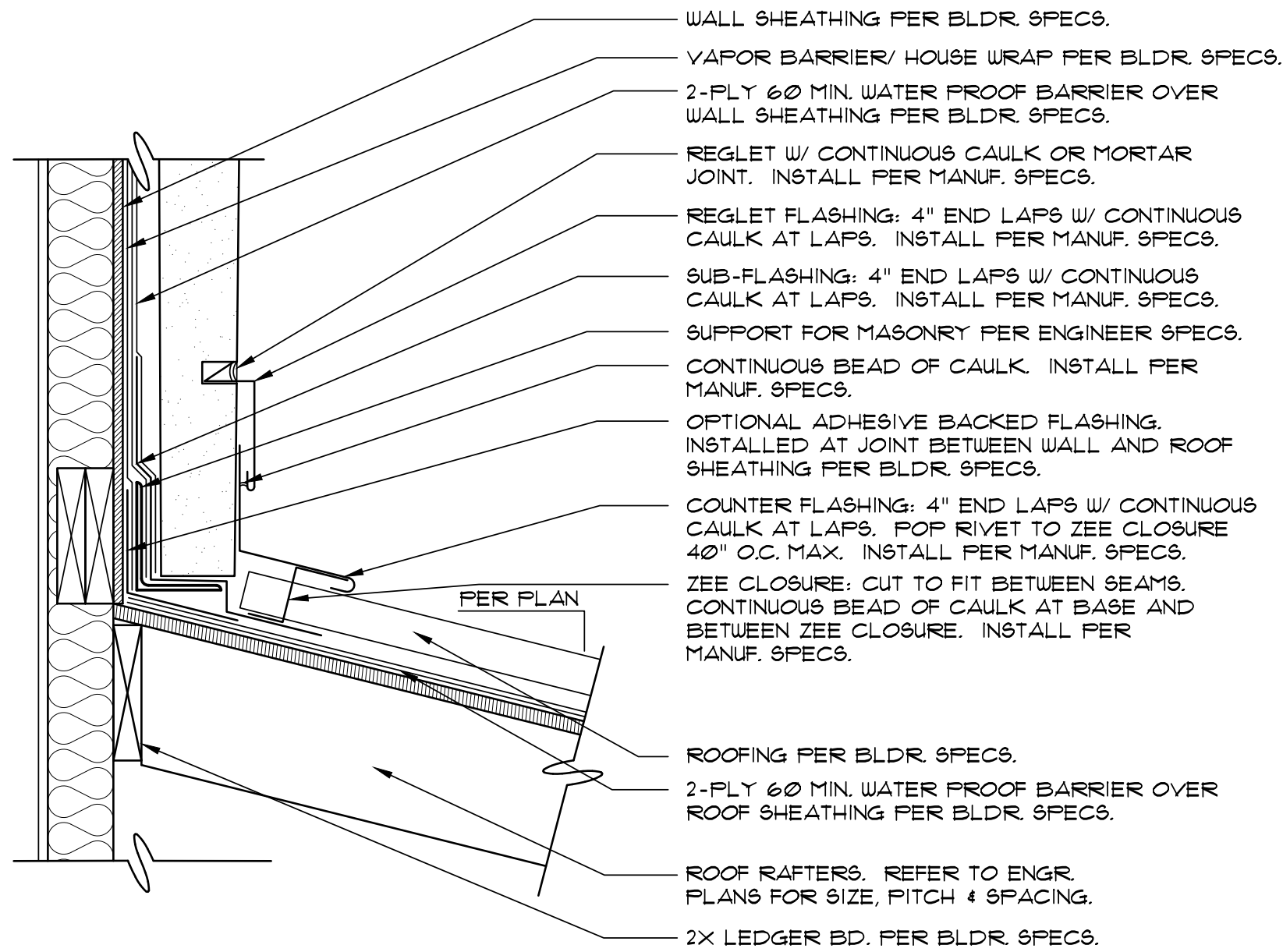
PROJ. NO.: 24057
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D-1

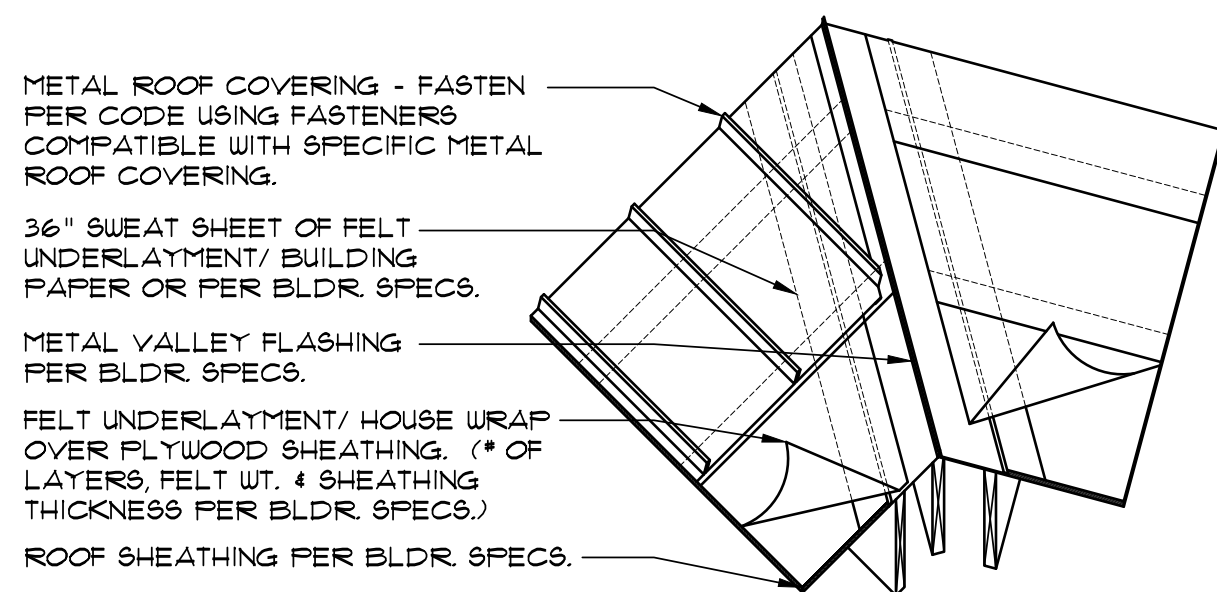
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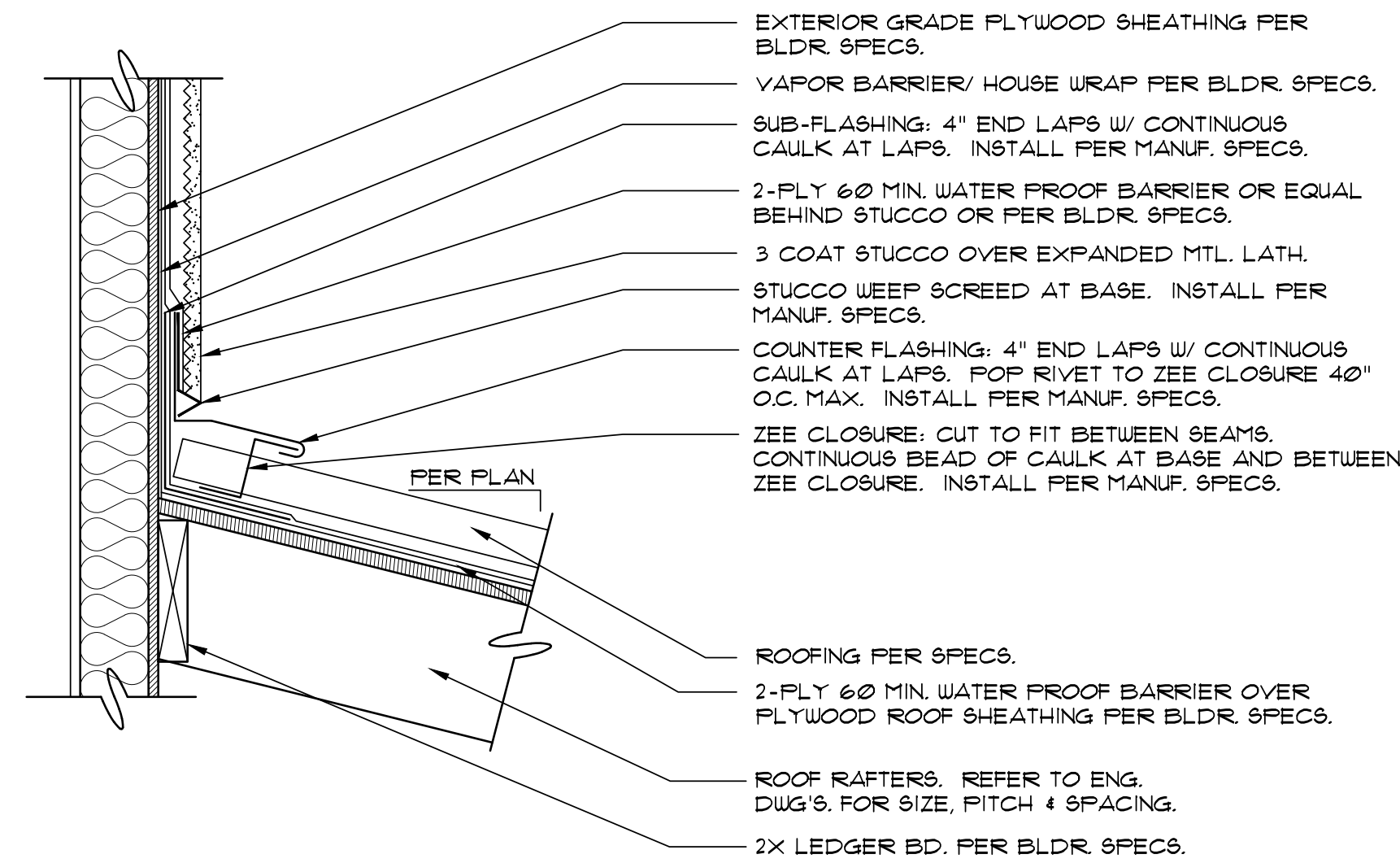
TYP. WINDOW FLASHING DETAIL
NOT TO SCALE



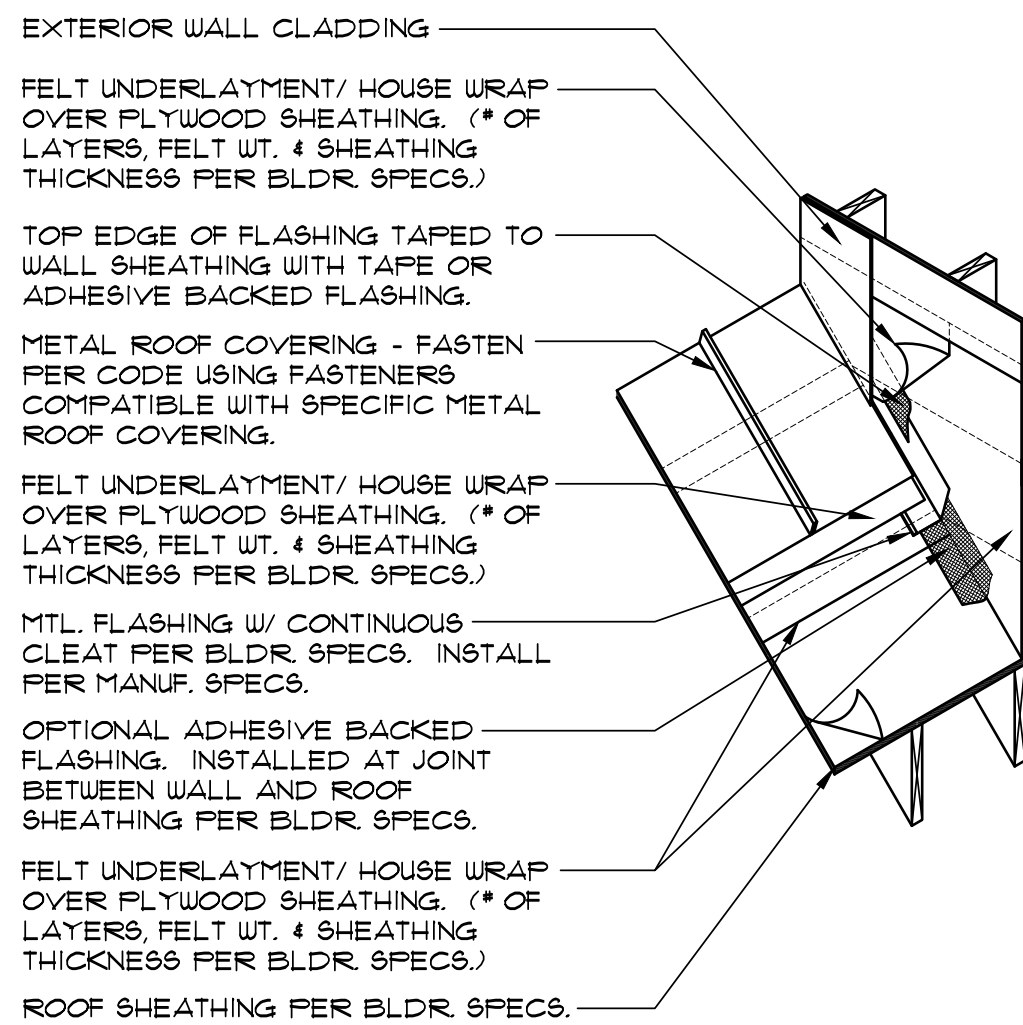
TYP. MTL. ROOF @ HEAD-WALL STONE EXT. DETAIL
SCALE: N.T.S.



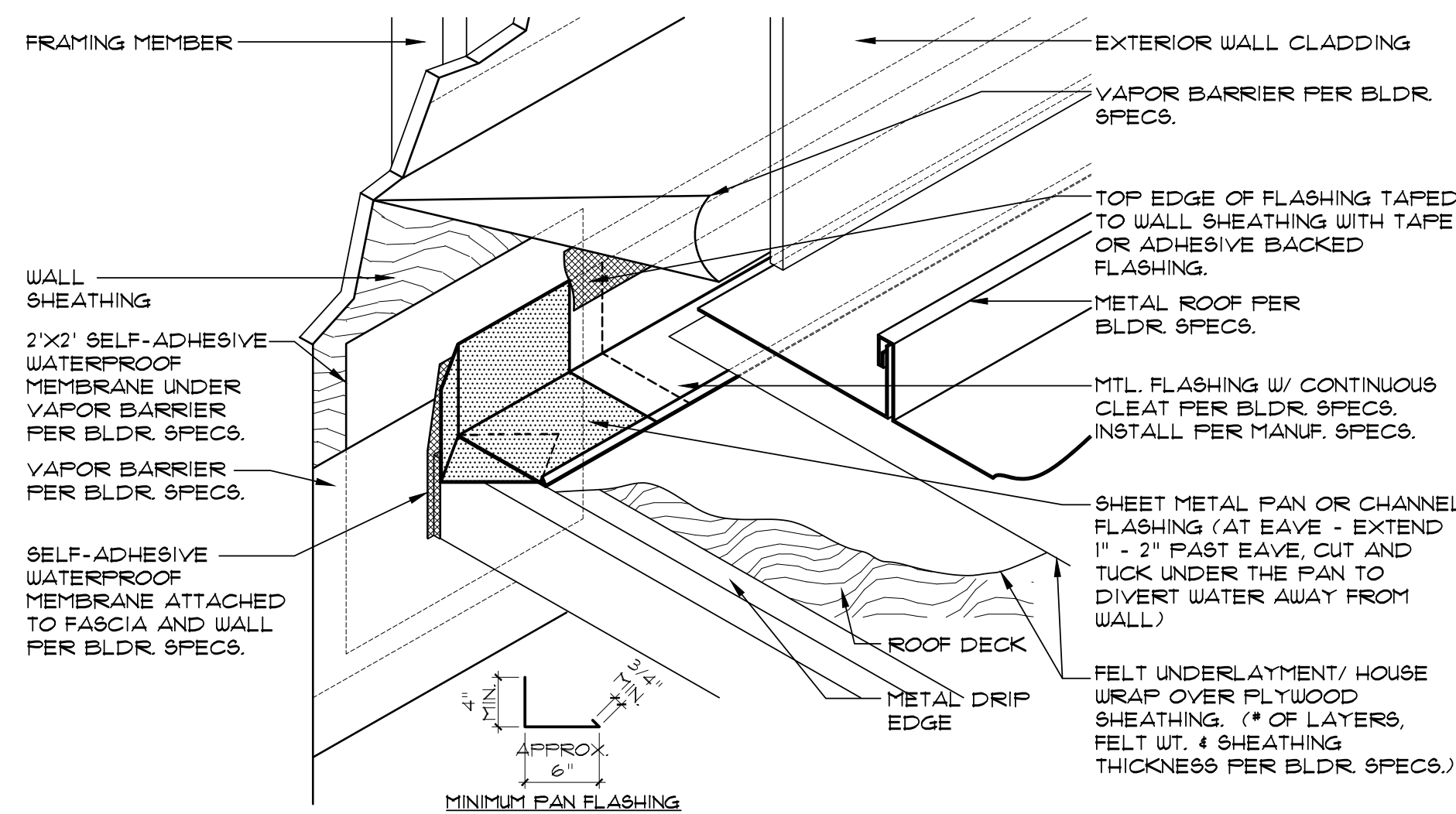
TYP. VALLEY FLASHING DETAIL @ METAL ROOF
SCALE: N.T.S.



TYP. MTL. ROOF @ HEAD-WALL STUCCO EXT. DETAIL
SCALE: N.T.S.



TYP. ROOF TO VERTICAL WALL FLASHING DETAIL @ METAL ROOF
SCALE: N.T.S.



KICKOUT FLASHING DETAIL @ METAL ROOF
SCALE: N.T.S.

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DM

	SWITCH - 1 WAY		HANGING LIGHT - STATIC MOUNTED
	SWITCH - 2 WAY		CEILING MOUNTED FIXTURE
	SWITCH - 3 WAY		RECESSED CAN LIGHT
	SWITCH - 4 WAY		RECESSED CAN LIGHT FOR VAULTED CLG.
	SWITCH - DIMMER		RECESSED CAN LIGHT DIRECTIONAL
	SWITCH - WATERPROOF		RECESSED CAN LIGHT WATERPROOF
	SWITCH - PRESSURE		WALL MOUNT FIXTURE
	SWITCH - TIMER		4" RECESSED CAN LIGHT
	PHONE OUTLET		4" RECESSED CAN LIGHT DIRECTIONAL
	FLR. PHONE OUTLET		(LED-SPECIALTY LT. TYPE-A)
	FLOOR OUTLET		(LED-SPECIALTY LT. TYPE-B)
	TELEVISION OUTLET		FICK LIGHT
	AV-MEDIA OUTLET (2-COAX 2-CAT 6 DATA LINE)		CUSTOM STAIR LIGHT
	PUSH-BUTTON FOR GAR. DR. OPENER		LED LIGHT 2' X 4'
	JUNCTION BOX		LED LIGHT 1' X 4'
	OUTLET - 110V DUPLEX		CABINET LT. - ABV. CAB.
	OUTLET STRIP BELOW UPPER CABINETS		CABINET LT. - BLW. CAB.
	OUTLET - GFI CIRCUIT		CABINET LT. - ABV. 4 BLW. CAB.
	OUTLET - DEDICATED CIRCUIT		COVE LIGHTING IN CEILING
	OUTLET - 110V QUADPLEX		CABINET LT. - TOE KICK
	OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION		
	OUTLET - 110V QUADPLEX W/ BUILT-IN USB CONNECTION		
	OUTLET - 110V WATERPROOF		
	OUTLET - 220V		
	SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY		
	OUTLET AT CLG. FOR GARAGE DOOR OPENER		
	POP-UP OUTLET AT COUNTERTOP		
	DOOR BELL		
	CHIMES		
	THERMOSTAT		
	SMOKE DETECTOR & CARBON- MONOXIDE DETECTOR COMBO. (SEE ELECTRICAL NOTES)		
	HEAT DETECTOR		FLOOD LIGHT (SHIELDED)
	SPEAKER		HEAT LITE
	WALL SPEAKER		VENT/EXHAUST
	ELEC. PANEL		VENT/LIGHT COMBO
	NETWORK PANEL		VENT/LIGHT/HEAT COMBO
	GAS VALVE		
	GAS KEY		
	CLG. FAN W/ LIGHT KIT		CEILING FAN (WITHOUT LIGHT KIT)

LEGEND:

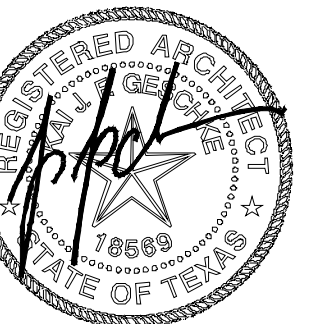
- CAN
- CAN LIGHT
- QUALITY LT. TYPE-A)
- QUALITY LT. TYPE-B)
- AIR LIGHT
- X 4'
- X 4'
- - ABV. CAB.
- - BLW. CAB.
- - ABV. & BLW. CAB.
- NG IN CEILING
- - TOE KICK
- BT
- COMBO
- HEAT COMBO
- HT KIT)
- M, GARAGE, TO BE GFI.

NOTES:

- STUB-OUT FOR POOL ELECTRIC AND PLUMBING. (VERIFY W/ BLDG.)
- TO SORFIT OUTLETS
- TO LANDSCAPE LIGHTING
- TO LIGHTS IN MECH ABV.
- TO CAN LIGHTS ABV.
- TO LIGHT SHELF LIGHTING ABV. & FP. HEARTH LIGHTING
- TO HANGING LIGHTS ABV.
- TO CAN LIGHTS ABV.
- TO HANGIN LIGHTS AB
- TO CAN LIGHTS ABV.

ELECTRICAL PLAN (PARTIAL)
SCALE 1/4" = 1'-0"

- E1 TANKLESS W.H. PROV. FOR PLUMB, GAS, WATER, WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
- E2 HVAC IN MECH. PROVIDE LIGHT, ELEC. CONNECTIONS 4 UTIL. AS REQ'D.
- E3 RANGE, PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTDAD AS REQ'D. PER INT. DESIGNER. VENTILINER PER SPECS. PROVIDE ELEC. AS REQ'D. BLDR. TO COORDINATE TYPE, EXACT LOCATION & POWER REQUIREMENTS OF EXHAUST MOTOR PER MANUF. SPECS.
- E4 HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.
- E5 FLOOR OUTLET. VERIFY LOCATION WITH OWNER/BLDR.
- E6 QUAD-OUTLET AT BACK OF COUNTER, REFER TO INT. ELEV. OUTLET AT 24" AFF. OUTLET UNDER BAR.
- E7 PROVIDE ELEC. AS REQ'D. FOR HVAC W/ HEATING/EQUIPMENT WITHIN REACH OF CONDENSER UNIT.
- E8 TO ALL UNDER CABINET LIGHTING.
- E9 PROVIDE ELEC. & ALL NECESSARY T.V. CONNECTIONS AS REQ'D. PER BLDR. SPECS. VERIFY HEIGHT & EXACT LOCATION W/ OWNER/BLDR.
- E10 HOME AUDIO / STEREO HOMERUN. PROV. POWER AND CONDUITS AS REQ'D. PER OWNER'S REQUEST.
- E11 PROVIDE ELECTRICAL AS REQ'D. PER MANUF. SPECS. FOR WINE ROOM COOLING UNIT. VERIFY LOCATION W/ BLDR.
- E12 PROVIDE ELEC. AS REQ'D. AT OUTDOOR GRILL.
- E14 PROVIDE POWER FOR CAR CHARGING STATION
- E15 PROVIDE ELECTRICAL AS REQ'D FOR FUTURE TUB.
- E16 PROVIDE ELECTRICAL PLUMB, GAS AND EXHAUST VENT AS REQ'D. FOR FUTURE WASHER & DRYER.

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7-31-25

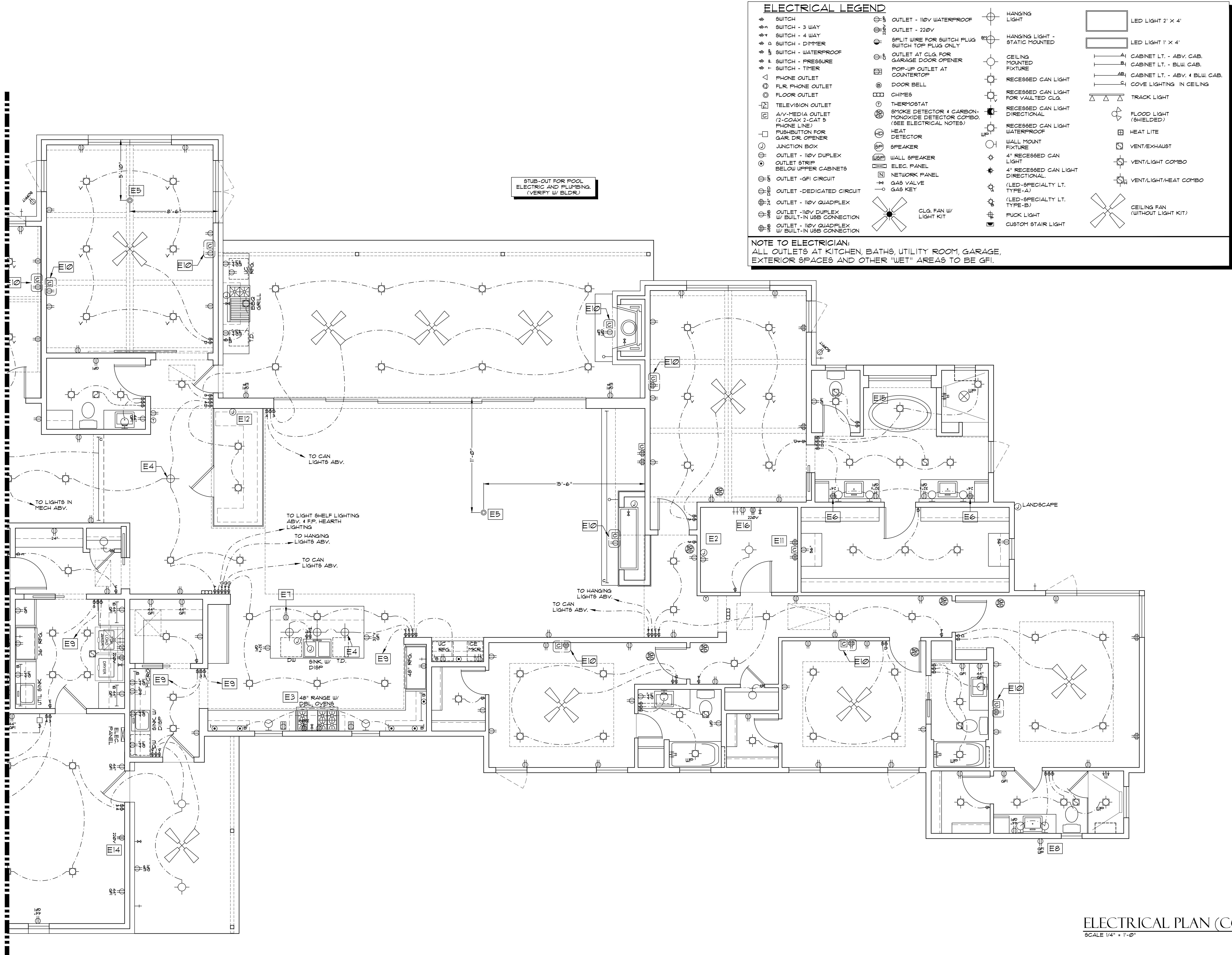
G

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E-1

M

ELECTRICAL PLAN (PARTIAL)
SCALE 1/4" = 1'-0"



ELECTRICAL PLAN (CONT'D.)
SCALE 1/4" = 1'-0"

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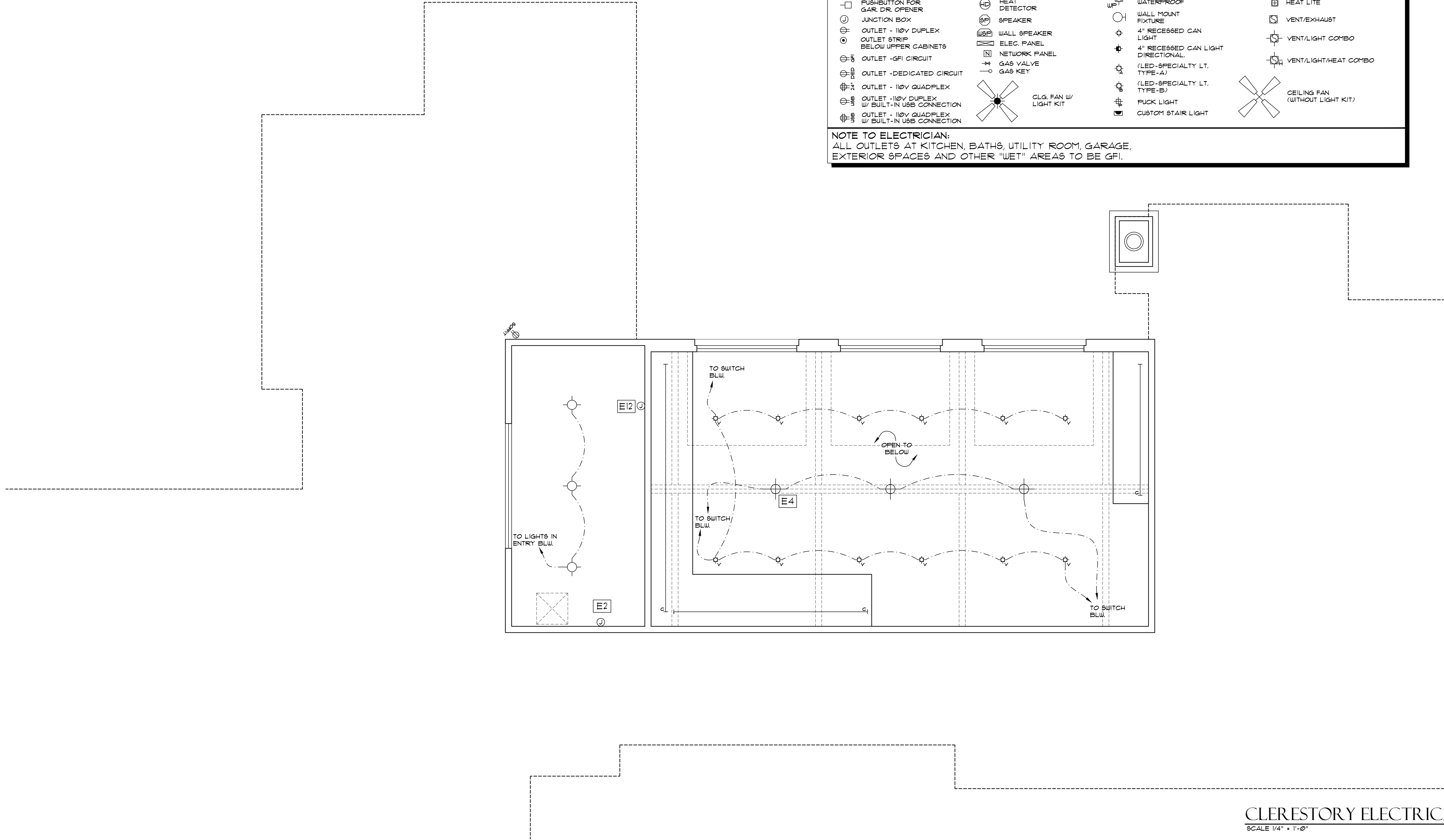
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DM

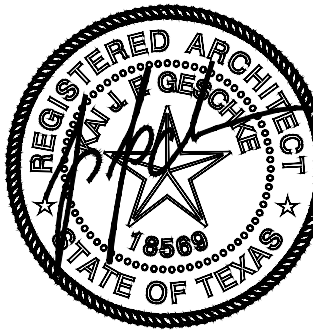


ELECTRICAL LEGEND

SWITCH - 3 WAY	OUTLET - 110V WATERPROOF	HANGING LIGHT	LED LIGHT 2' X 4'
SWITCH - 4 WAY	OUTLET - 220V	HANGING LIGHT - STATIC MOUNTED	LED LIGHT 1' X 4'
SWITCH - DIMMER	SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY	CEILING MOUNTED FIXTURE	CABINET LT. - ABV. CAB.
SWITCH - WATERPROOF	OUTLET AT CLG. FOR GARAGE DOOR OPENER	RECESSED CAN LIGHT	CABINET LT. - BLW. CAB.
SWITCH - PRESSURE	POP-UP OUTLET AT COUNTERTOP	RECESSED CAN LIGHT FOR VAULTED CLG.	CABINET LT. - ABV. & BLW. CAB.
SWITCH - TIMER	DOOR BELL	RECESSED CAN LIGHT DIRECTIONAL	COVE LIGHTING IN CEILING
PHONE OUTLET	CHIMES	RECESSED CAN LIGHT WATERPROOF	TRACK LIGHT
FLR. PHONE OUTLET	THERMOSTAT	WALL MOUNT FIXTURE	FLOOD LIGHT (SHIELDED)
FLOOR OUTLET	SMOKE DETECTOR & CARBON-MONOXIDE DETECTOR COMBO. (SEE ELECTRICAL NOTES)	4" RECESSED CAN LIGHT DIRECTIONAL	HEAT LITE
TELEVISION OUTLET	HEAT DETECTOR	(LED-SPECIALTY LT. TYPE-A)	VENT/EXHAUST
A/V-MEDIA OUTLET (2-COAX 2-CAT 5 PHONE LINE)	SPEAKER	(LED-SPECIALTY LT. TYPE-B)	VENT/LIGHT COMBO
PUSHBUTTON FOR GAR. DR. OPENER	WALL SPEAKER	PUCK LIGHT	VENT/LIGHT/HEAT COMBO
JUNCTION BOX	ELEC. PANEL	CUSTOM STAIR LIGHT	
OUTLET - 110V DUPLEX	NETWORK PANEL		
OUTLET STRIP BELOW UPPER CABINETS	GAS VALVE		
OUTLET - GFI CIRCUIT	GAS KEY		
OUTLET - DEDICATED CIRCUIT	CLG. FAN W/ LIGHT KIT		
OUTLET - 110V QUADPLEX			
OUTLET - 110V DUPLEX W/ BUILT-IN USB CONNECTION			
OUTLET - 110V QUADPLEX W/ BUILT-IN USB CONNECTION			

NOTE TO ELECTRICIAN:
ALL OUTLETS AT KITCHEN, BATHS, UTILITY ROOM, GARAGE, EXTERIOR SPACES AND OTHER "WET" AREAS TO BE GFI.

- #### SPECIAL ELECTRICAL NOTES
- E1 TANKLESS W.H. PROV. FOR PLUMB, GAS, ELEC, WATER, HARDWARE, AND PAN & DRAIN LINES AS REQ'D. INSTALL PER CODE AND MANUF. SPECS.
 - E2 HVAC IN MECH. PROVIDE LIGHT, ELEC. CONNECTIONS & UTIL. AS REQ'D.
 - E3 RANGE, PROV. ALL ELEC. CONNECTIONS AS REQ'D. PER MANUF. SPECS. W/ VENTHOOD ABV. PER INT. DESIGNER. VENTLINER PER SPECS. PROVIDE ELEC. AS REQ'D. BLDG. TO COORDINATE TYPE, EXACT LOCATION & POWER REQUIREMENTS OF EXHAUST MOTOR PER MANUF. SPECS.
 - E4 HANGING LIGHT. VERIFY EXACT LOCATION W/ OWNER.
 - E5 FLOOR OUTLET. VERIFY LOCATION WITH OWNER/BLDR.
 - E6 QUAD-OUTLET AT BACK OF CABINET. REFER TO INT. ELEVS. OUTLET AT 24" AFF. OUTLET UNDER BAR.
 - E7 OUTLET UNDER BAR.
 - E8 PROVIDE ELEC. AS REQ'D. FOR HVAC MAINTENANCE EQUIPMENT WITHIN REACH OF CONDENSER UNIT.
 - E9 TO ALL UNDER CABINET LIGHTING.
 - E10 PROVIDE ELEC. & ALL NECESSARY T.V. CONNECTIONS AS REQ'D. PER BLDG. SPECS. VERIFY HEIGHT & EXACT LOCATION W/ OWNER/ BLDG.
 - E11 HOME AUDIO / STEREO HOMERUN. PROV. POWER AND CONDUITS AS REQ'D. PER OWNERS REQUEST.
 - E12 PROVIDE ELECTRICAL AS REQ'D. PER MANUF. SPECS. FOR WINE ROOM COOLING UNIT. VERIFY LOCATION W/ BLDG.
 - E13 PROVIDE ELEC. AS REQ'D AT OUTDOOR GRILL.
 - E14 PROVIDE POWER FOR CAR CHARGING STATION
 - E15 PROVIDE ELECTRICAL AS REQ'D FOR FUTURE TUB.
 - E16 PROVIDE ELECTRICAL, PLUMB, GAS AND EXHAUST VENT AS REQ'D FOR FUTURE WASHER & DRYER.



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CLERESTORY ELECTRICAL PLAN
SCALE 1/4" = 1'-0"