

Residential Building Inspection Report

1315 Mississippi Ave, Pittsburgh, PA 15216

Inspection Date:

2026-07-23

Prepared For:

Joe Thomas

Prepared By:

Guardian Home Inspection

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Report Number:

0723260003BT

Inspector:

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GUARDIAN
HOME INSPECTION

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Inspection Address: 1315 Mississippi Ave, Pittsburgh, PA 15216

Report Number: 0723260003BT

Dear Joe Thomas,

Thank you for choosing our company to perform an inspection at 1315 Mississippi Ave, Pittsburgh, PA 15216. Guardian Home Inspection, LLC is pleased to submit the following report. The report is a professional opinion based on a visual inspection of the accessible components of the property. The information provided in this report is solely for your use.

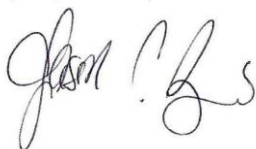
Please understand that there are limitations to this inspection. Many components of the property are not visible during the inspection, and very little historical information is provided in advance. While we can reduce your risk of purchasing a property, we cannot eliminate it.

Our inspections adhere to [InterNACHI's Standards of Practice](#) for performing a general home inspection and [The International Code of Ethics for Home Inspectors](#). We encourage you to review these standards for a better understanding of the scope and limitations of a home inspection.

Please read the report in its entirety and feel free to call us anytime if you'd like to discuss the information in more detail. Remember, we want to be your building consultant for as long as you own the home. Your satisfaction is very important to us, so please let us know how we can improve our services by filling out our survey, which will be emailed to you in the next few days.

Thank you again for selecting our company.

Regards,



Jason C. Boni, Owner

InterNACHI #08102002

Guardian Home Inspection, LLC.

Office: (724) 777-9019

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THE SCOPE OF THE HOME INSPECTION

This report has been prepared in accordance with the **Standards of Practice** established by the **State of Pennsylvania** and the **International Association of Certified Home Inspectors (InterNACHI®)**. All components designated for inspection under the **InterNACHI Standards of Practice** have been examined, except where noted in the **“Limitations of Inspection”** sections within this report. Clients are encouraged to carefully review these limitations at the conclusion of each section to understand any components that were inaccessible or beyond the scope of a general home inspection. Familiarizing yourself with these exclusions will allow you the opportunity to seek further evaluation by specialists in their respective trades before finalizing your purchase.

A home inspection is intended to provide an objective assessment of the property's overall condition. The purpose of this inspection is to equip home buyers with critical information to make an informed purchasing decision. However, it is important to note that not all deficiencies, necessary repairs, or potential improvements will be identified during this inspection, and unforeseen repairs should still be anticipated. This inspection is not a warranty or guarantee of any kind. The evaluation is conducted based on visible and readily accessible areas at the time of the inspection. **No destructive testing or dismantling of building components is performed.** The inspection is strictly **visual** and is designed to identify and report on **observable** deficiencies in the systems and components inspected. This report does not provide any assurance regarding **latent or concealed defects** that are not reasonably detectable during the inspection. Additionally, detached structures or outbuildings are not included in the scope of this inspection.

This inspection is not technically exhaustive, nor is it intended as a warranty—expressed or implied—regarding the condition of the property, its systems, or components. The findings presented in this report should not be relied upon as a guarantee. **Guardian Home Inspection, LLC is neither a guarantor nor an insurer** and cannot be held responsible for repairs, replacements, or any future conditions that may arise with respect to this property. As part of the inspection process, only representative samples of building components are reviewed, based on accessibility and visibility at the time of the inspection.

If the inspector conducting this assessment is **not** a licensed **professional structural engineer** or another certified professional authorized to render opinions regarding the **structural integrity** of a building, you may wish to seek additional evaluation from a qualified professional for any structural concerns noted in this report. Furthermore, this inspection and its accompanying report **do not** address compliance with building codes or regulations, nor do they assess environmental hazards such as mold, mildew, indoor air quality, asbestos, radon gas, lead-based paint, urea formaldehyde, or soil contamination. If evaluation, identification, or testing for any of these concerns is desired, clients are encouraged to consult a specialized expert in the respective field.

By accepting this report, the client acknowledges and agrees to all terms and conditions outlined in the pre-inspection contract. For a full explanation of the scope of this inspection, please refer to the contract. This inspection report is **non-transferable** and **may not be relied upon by any third party** without the explicit written consent of **Guardian Home Inspection, LLC**. Furthermore, this report is not intended to serve as an **appraisal** and should not be used for valuation purposes.

In accordance with **Pennsylvania state regulations**, home inspectors are **prohibited** from performing repairs on properties they have inspected. Additionally, **Guardian Home Inspection, LLC does not provide cost estimates for repairs** within inspection reports, as this would constitute a conflict of interest.

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Report Overview

THE HOUSE IN PERSPECTIVE

This is a single-family home in Pittsburgh, PA, and it is approximately 96 years old (built 1930). Overall, the major mechanical systems within the home were in fair operating condition at the time of inspection. In addition, while no widespread structural failure was observed, a major structural concern was noted and should be further evaluated and corrected as needed. There are, however, a number of repairs and/or improvements that are recommended and those items are addressed in the body of the report. It is highly recommended that the report is read in its entirety; the summary section in the front of the report only prioritizes and briefly describes the issues discovered during the inspection. In addition, please review the “Scope of the Inspection” at the beginning of this report to understand there are limitations to a visual only inspection and the home may still contain unreported latent or concealed defects. Please keep in mind that there is no such thing as a perfect home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time.



CONVENTIONS USED IN THIS REPORT – ***PLEASE REVIEW***

For your convenience, the following conventions have been used in this Report:

- **Major Concern:** an individual system or component which is considered significantly deficient and sometimes also unsafe. Significant deficiencies need to be corrected and are likely to involve significant expense.
- **Safety Concern:** denotes a condition that is presently or potentially unsafe and requires immediate attention.
- **General Repair:** denotes a system or component which is damaged, no longer functioning as intended and/or requires corrective action to assure proper and reliable function.
- **Investigate:** denotes a system or component needing further investigation prior to your inspection reply to deadline in order to determine if repairs are necessary.
- **Monitor:** denotes a system or component that exhibits the potential for repair; however, further monitoring over time is needed in order to determine if repairs are necessary.
- **Improve:** denotes improvements which are recommended but are not imperative.
- **Deferred Cost Item:** denotes items that are reaching their normal life expectancy or exhibits indications that they may require repair or replacement anytime during the next several years.
- **FYI:** denotes a recommendation/advice in regard to maintaining and/or prolonging the life of a household component or system.

RECOMMENDATIONS / FINAL SUMMARY

The following is a synopsis of the adverse conditions that were discovered during the inspection. Please refer to the body of this report for further details on these recommendations. It is highly recommended that the following conditions are corrected by individuals who are considered professionals in their respective trade.

All recommendations should be made prior to the 'reply to inspection' deadline to identify other latent defects which were not readily apparent or visible at the time of inspection. This is a visual inspection only. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the scope of the inspection, the inspection limitations at the end of each respective section and to the standards of practice at the end of this report.

MAJOR CONCERNS

1. Over-Notched and Poorly Constructed Floor Joists in Basement – Basement

Major Concern: Over-notched and poorly constructed floor joists were observed in the basement. Excessive notching and improper framing can reduce the joists' load-carrying capacity and may contribute to floor deflection or structural failure. Evaluation and repair/engineering of the affected framing (e.g., reinforcement, sistering, or other approved corrective methods) should be completed to restore proper structural performance. Repairs should be performed by a qualified structural contractor or licensed structural engineer. (Figures [1, 2, 3](#))

SAFETY CONCERNS

2. Cracked and Broken Concrete Walkway/Landing Creating Trip Hazard – Exterior

Safety Concern: Cracked and broken concrete was observed at the exterior walkway/landing, with vegetation growth through the damaged areas and resulting uneven surfaces. This condition presents a safety concern due to increased trip-and-fall risk. Damaged sections should be repaired or replaced and the surface should be restored to a uniform, stable walking plane, with vegetation removed to help prevent recurrence. Repairs should be performed by a qualified concrete flatwork contractor. (Figures [4, 5, 6](#))

3. Loose Handrail at Rear Porch – Exterior

Safety Concern: A loose hand railing was observed at the rear porch. This condition is a safety concern because an unstable handhold/guard can contribute to loss of balance and fall risk when using the porch steps/edge. The handrail/guard should be properly re-secured and reinforced with appropriate fasteners and blocking as needed to provide a sturdy, code-compliant installation. Repairs should be performed by a qualified carpenter or deck/porch contractor. (Figure [7](#))

4. Open Knockout in Electrical Box Cover (Basement) – Basement

Safety Concern: An open knockout was observed in an electrical box cover in the basement, leaving a gap at the enclosure. This condition can allow pest/moisture entry and reduces the protection of wiring, increasing the potential for damage or contact with energized components. The open knockout should be properly sealed using an approved knockout plug/closure and the enclosure should be restored to an intact condition. Corrections should be completed by a Licensed Electrician. (Figure [8](#))

5. Open Ground and Open Neutral Conditions at Multiple Receptacles – Living Room, Bedroom

Safety Concern: Multiple receptacles in the Living Room and Bedroom indicated open ground conditions and open neutral conditions during testing. These conditions are safety concerns because they can result in shock hazard, improper operation of connected equipment, and increased risk of overheating at loose/failed connections. The affected circuits and receptacles should be traced, evaluated, and corrected by repairing/rewiring connections and restoring a proper equipment grounding path and neutral continuity as required. Repairs and verification testing should be performed by a Licensed Electrician. (Figures [9, 10, 11](#))

GENERAL REPAIRS

6. Loose Exterior Lamp Post – Exterior

General Repair: An exterior lamp post was observed to be loose/unstable. Loose fixtures can tip or become damaged, creating a safety hazard and potentially stressing or damaging the electrical connections. The post should be stabilized by repairing or replacing the mounting/base as needed and verifying the fixture is securely fastened. Repairs should be performed by a qualified electrician or qualified handyman familiar with exterior lighting installations. (Figure [12](#))

7. Damaged and Deteriorated Wood Lattice/Porch Railing – Exterior

General Repair: The exterior wood lattice/porch railing was observed to be broken, loose, and deteriorated, with missing/rotted sections. This condition can create a safety hazard and may allow continued moisture intrusion and accelerated wood decay. Repair or replace the affected lattice/railing sections and ensure the assembly is properly secured and protected from weather exposure. Corrections should be performed by a qualified carpenter or general contractor. (Figure [13](#))

8. Rotted/Deteriorated Wood Siding at Bottom Edge With Open Gap – Exterior

General Repair: Rotted and deteriorated wood siding was observed at the bottom edge at the exterior, with a visible gap/opening at the base. This condition can allow moisture intrusion and pest entry and may accelerate concealed decay of adjacent materials. The damaged siding and any affected underlying materials should be repaired or replaced and the base gap should be properly sealed/flushed as appropriate. Repairs should be performed by a qualified siding/wood repair contractor or general contractor. (Figure [14](#))

9. Open Gaps and Deteriorated Mortar/Seal at Brick-to-Exterior Finish Corner – Exterior

General Repair: Open gaps and deteriorated mortar/sealant were observed at an exterior brick-to-wood/stucco corner joint. This condition can allow water intrusion into wall assemblies, which may contribute to concealed moisture damage and decay. The joint should be properly cleaned, repaired (repointed where applicable), and sealed with an appropriate exterior-grade sealant to restore a continuous weather-resistant barrier. Repairs should be performed by a qualified masonry contractor or experienced exterior siding/stucco contractor. (Figures [15](#), [16](#))

10. Gap at Base of Brick Veneer Exposing Opening – Exterior

General Repair: A gap/opening was observed at the base of the exterior wall/brick veneer, leaving an unsealed area at the wall-to-grade/slab interface. This condition may allow water intrusion and pest entry, which can contribute to concealed deterioration at adjacent materials. The opening should be properly sealed/closed with appropriate materials and detailing compatible with the exterior assembly. Corrections should be performed by a qualified masonry contractor or exterior envelope contractor. (Figure [17](#))

11. Broken/Warped Lap Siding Pulling Loose and Leaving Gaps – Exterior

General Repair: Exterior lap siding was observed to be broken/warped and pulling loose, leaving visible gaps at the exterior wall. This condition can allow water intrusion behind the cladding, which may contribute to concealed moisture damage and deterioration of underlying materials. Repair or replace the affected siding sections and properly secure and seal joints to restore a weather-resistant exterior envelope. Corrections should be performed by a qualified siding contractor or exterior general contractor. (Figure [18](#))

12. Disconnected/Loose Downspout Extension Discharging at Foundation – Exterior

General Repair: A downspout extension was observed to be disconnected/loose and discharging roof runoff at the foundation, with vegetation overgrowth around the discharge area. Concentrated water at the foundation can contribute to moisture intrusion and foundation movement and may accelerate deterioration of adjacent materials. The downspout extension should be reconnected/secured and adjusted to discharge water away from the foundation, and vegetation should be trimmed/removed to maintain proper drainage. Repairs should be completed by a qualified gutter contractor or exterior drainage contractor. (Figure [19](#))

13. Damaged Privacy Gate Difficult to Operate – Exterior

General Repair: The exterior privacy gate was observed to be damaged and difficult to open/close. Impaired operation can create a pinch/safety concern and may limit secure access/egress. Repair or replace the gate and adjust/secure the hinges and latch hardware so the gate operates smoothly and closes/latches properly. Repairs should be performed by a qualified fencing contractor or carpenter. (Figure [20](#))

14. Stepped Cracking and Mortar Joint Separation at Brick Veneer – Exterior

General Repair: Stepped cracking and mortar joint separation were observed in the exterior brick veneer, consistent with possible building movement/settlement. This condition can allow moisture intrusion and may indicate underlying structural displacement that could worsen if not addressed. Evaluation should be performed and repairs completed as needed, which may include repointing and localized masonry reconstruction after the cause of movement is identified. A qualified masonry contractor should perform the assessment and repairs; if movement is confirmed or suspected to be ongoing, a structural engineer should be consulted for further evaluation and repair guidance. (Figures [21](#), [22](#))

15. Severely Rotted Exterior Window Frame/Sill With Evidence of Water Intrusion – Exterior

General Repair: Severe wood rot was observed at an exterior window frame/sill, with peeling paint and moisture staining consistent with active or prior water intrusion. This condition can allow continued water entry and concealed deterioration of surrounding materials. The window sill/frame components should be repaired or replaced as needed and the window perimeter should be properly sealed/flushed to control moisture intrusion. Repairs should be performed by a qualified exterior carpentry contractor or window installation contractor. (Figure [23](#))

16. Heavily Rusted Ductwork in Basement – Basement

General Repair: Ductwork in the basement was observed to be heavily rusted in areas. Corrosion can reduce duct integrity over time and may contribute to air leakage and reduced heating system efficiency. The affected duct sections should be evaluated and repaired or replaced as needed, and any contributing moisture conditions should be addressed to help prevent recurrence. Corrections should be performed by a qualified HVAC contractor. (Figure [24](#))

17. Corrosion and Mineral Buildup on Copper Pipe at Water Heater (Leak Indication) – Basement

General Repair: Severe corrosion and mineral buildup were observed on a copper pipe/connection at the water heater in the basement, indicating a possible active or past leak. This condition can lead to pipe deterioration, active leakage, and resultant water damage. The affected piping/connection should be evaluated, the leak source confirmed, and the corroded components repaired or replaced as necessary. Corrections should be performed by a licensed plumber. (Figure [25](#))

18. Water Intrusion Staining and Damage at Attic Sheathing/Drywall Near Chimney and Window – Attic

General Repair: Significant water intrusion staining and damaged sheathing/drywall were observed in the attic around the chimney and a window, with evidence consistent with a past leak. This condition is important because moisture intrusion can lead to concealed material deterioration and ongoing damage if the source is still active. The leak source should be located and corrected, and all damaged materials should be repaired or replaced as needed after the area has been allowed to dry. Repairs should be performed by a qualified roofing contractor for the leak correction and a qualified contractor for interior/attic material repairs. (Figures [26, 27](#))

19. Likely Failed Insulated Glass Seal at Bedroom Window – Bedroom

General Repair: Heavy condensation and water streaking were observed between the window panes in the bedroom, consistent with a likely failed insulated glass seal. This condition reduces insulating performance and visibility and can contribute to moisture-related deterioration of adjacent window components over time. Replacement of the insulated glass unit or the affected window assembly is recommended to restore proper performance. Repairs should be completed by a qualified window and glass contractor. (Figure [28](#))

20. Bedroom Door Does Not Close Properly – Bedroom

General Repair: The bedroom door was observed to not close properly. This condition can impede privacy and egress and may indicate misalignment at the hinges, latch, or door frame. Adjustment and/or repair of the door, hinges, latch/strike plate, and frame should be completed to allow proper latching and smooth operation. Repairs should be performed by a qualified carpenter or door/trim contractor. (Figure [29](#))

21. Damaged Drywall and Water Staining at Bathroom HVAC Return Vent – Bathroom

General Repair: Damaged drywall was observed around the bathroom HVAC return vent, including a visible gap at the wall opening and water staining/rust at the return grille and adjacent baseboard area. This condition may indicate moisture intrusion and can lead to continued material deterioration and potential indoor air quality concerns if not corrected. The return grille and surrounding finishes should be repaired/replaced as needed and the wall opening should be properly sealed and finished after the moisture source is identified and corrected. Repairs should be performed by a qualified drywall/finish contractor, with evaluation and correction of the moisture source by a licensed HVAC contractor if related to the return duct/grille or air movement/condensation. (Figure [30](#))

INVESTIGATE

No items requiring further investigation were identified during this inspection.

MONITOR

No items requiring monitoring were identified during this inspection.

IMPROVEMENTS

22. Vegetation and Debris Restricting Outdoor A/C Condenser Airflow and Access – Exterior

Improve: Overgrown vegetation and debris were observed inside and around the outdoor A/C condenser, restricting airflow through the coil area and limiting service access. This condition can reduce cooling efficiency, contribute to overheating and premature equipment wear, and impede proper maintenance. Vegetation and debris should be removed and a continuous clearance zone should be maintained around the condenser in accordance with the manufacturer's requirements. Corrections should be performed by a qualified HVAC contractor or landscaping professional as appropriate, with care taken to avoid damaging the coil fins and wiring. (Figures [31](#), [32](#))

DEFERRED COST ITEMS

No deferred cost items were identified during this inspection.

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Stop guessing, avoid overpaying, and walk into negotiations with real numbers and a clear plan — all from your phone or laptop.

Photo Journal

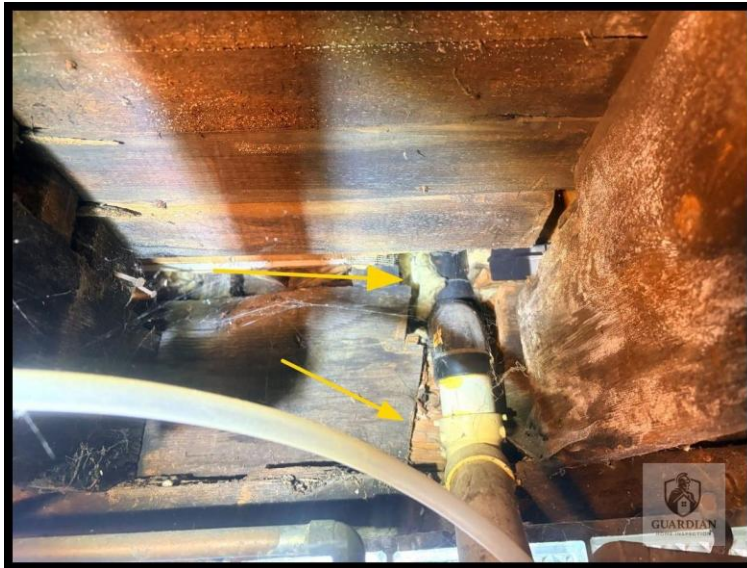


Figure 1: Over-notched and poorly constructed floor joists were observed in the basement.



Figure 2: Over-notched and poorly constructed floor joists were observed in the basement.



Figure 3: Over-notched and poorly constructed floor joists were observed in the basement.



Figure 4: Cracked and broken concrete was observed at the exterior walkway/landing, with vegetation growth through the damaged areas and resulting uneven surfaces.



Figure 5: Cracked and broken concrete was observed at the exterior walkway/landing, with vegetation growth through the damaged areas and resulting uneven surfaces.



Figure 6: Cracked and broken concrete was observed at the exterior walkway/landing, with vegetation growth through the damaged areas and resulting uneven surfaces.



Figure 7: A loose hand railing was observed at the rear porch.

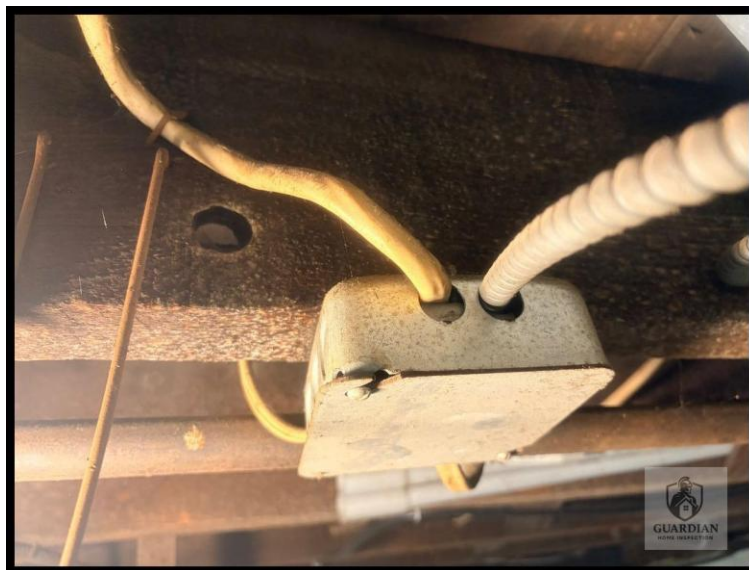


Figure 8: An open knockout was observed in an electrical box cover in the basement, leaving a gap at the enclosure.

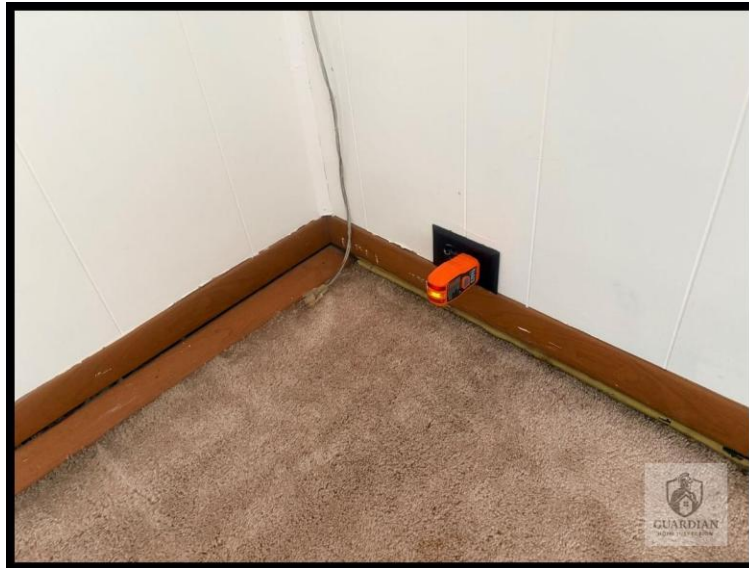


Figure 9: Multiple receptacles in the Living Room and Bedroom indicated open ground conditions and open neutral conditions during testing.



Figure 10: Multiple receptacles in the Living Room and Bedroom indicated open ground conditions and open neutral conditions during testing.



Figure 11: Multiple receptacles in the Living Room and Bedroom indicated open ground conditions and open neutral conditions during testing.



Figure 12: An exterior lamp post was observed to be loose/unstable.



Figure 13: The exterior wood lattice/porch railing was observed to be broken, loose, and deteriorated, with missing/rotted sections.



Figure 14: Rotted and deteriorated wood siding was observed at the bottom edge at the exterior, with a visible gap/opening at the base.



Figure 15: Open gaps and deteriorated mortar/sealant were observed at an exterior brick-to-wood/stucco corner joint.



Figure 16: Open gaps and deteriorated mortar/sealant were observed at an exterior brick-to-wood/stucco corner joint.



Figure 17: A gap/opening was observed at the base of the exterior wall/brick veneer, leaving an unsealed area at the wall-to-grade/slab interface.



Figure 18: Exterior lap siding was observed to be broken/warped and pulling loose, leaving visible gaps at the exterior wall.

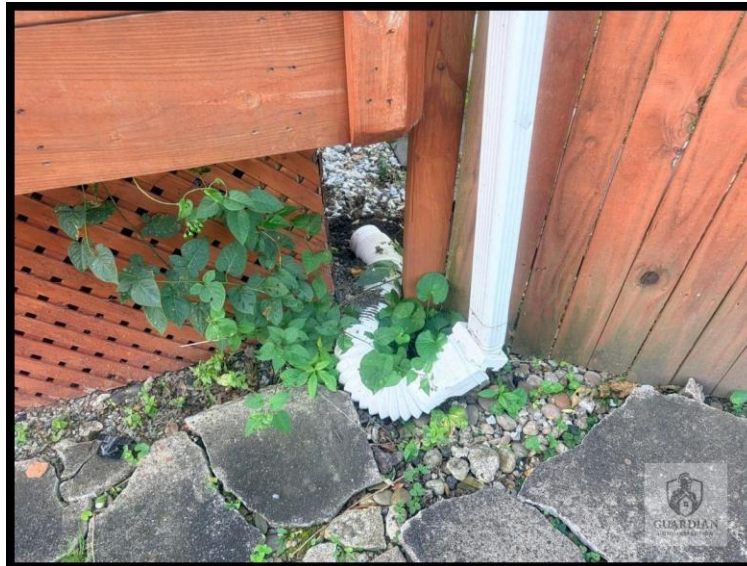


Figure 19: A downspout extension was observed to be disconnected/loose and discharging roof runoff at the foundation, with vegetation overgrowth around the discharge area.



Figure 20: The exterior privacy gate was observed to be damaged and difficult to open/close.



Figure 21: Stepped cracking and mortar joint separation were observed in the exterior brick veneer, consistent with possible building movement/settlement.



Figure 22: Stepped cracking and mortar joint separation were observed in the exterior brick veneer, consistent with possible building movement/settlement.



Figure 23: Severe wood rot was observed at an exterior window frame/sill, with peeling paint and moisture staining consistent with active or prior water intrusion.

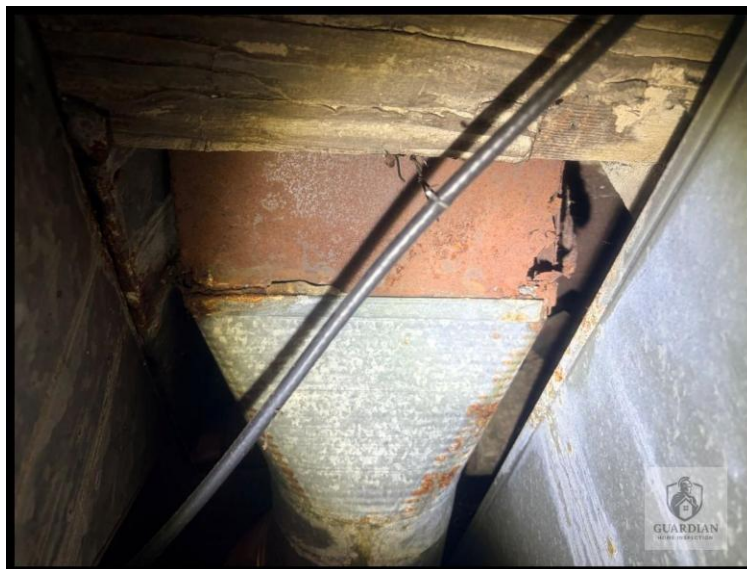


Figure 24: Ductwork in the basement was observed to be heavily rusted in areas.



Figure 25: Severe corrosion and mineral buildup were observed on a copper pipe/connection at the water heater in the basement, indicating a possible active or past leak.



Figure 26: Significant water intrusion staining and damaged sheathing/drywall were observed in the attic around the chimney and a window, with evidence consistent with a past leak.



Figure 27: Significant water intrusion staining and damaged sheathing/drywall were observed in the attic around the chimney and a window, with evidence consistent with a past leak.



Figure 28: Heavy condensation and water streaking were observed between the window panes in the bedroom, consistent with a likely failed insulated glass seal.

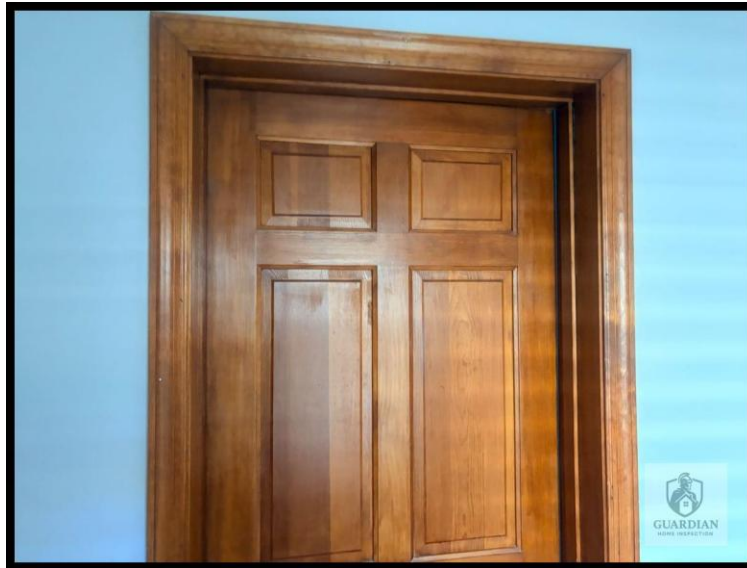


Figure 29: The bedroom door was observed to not close properly.



Figure 30: Damaged drywall was observed around the bathroom HVAC return vent, including a visible gap at the wall opening and water staining/rust at the return grille and adjacent baseboard area.

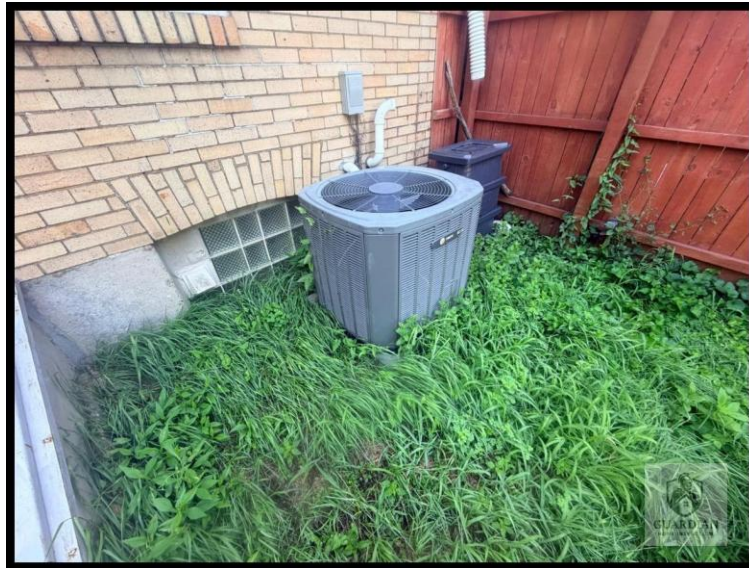


Figure 31: Overgrown vegetation and debris were observed inside and around the outdoor A/C condenser, restricting airflow through the coil area and limiting service access.



Figure 32: Overgrown vegetation and debris were observed inside and around the outdoor A/C condenser, restricting airflow through the coil area and limiting service access.



Figure 33: The front porch/deck was under construction at the time of the inspection, and portions of the walking surface were not installed, limiting evaluation of the complete assembly.



Figure 34: The rear privacy gate was observed to be dismantled at the time of inspection.

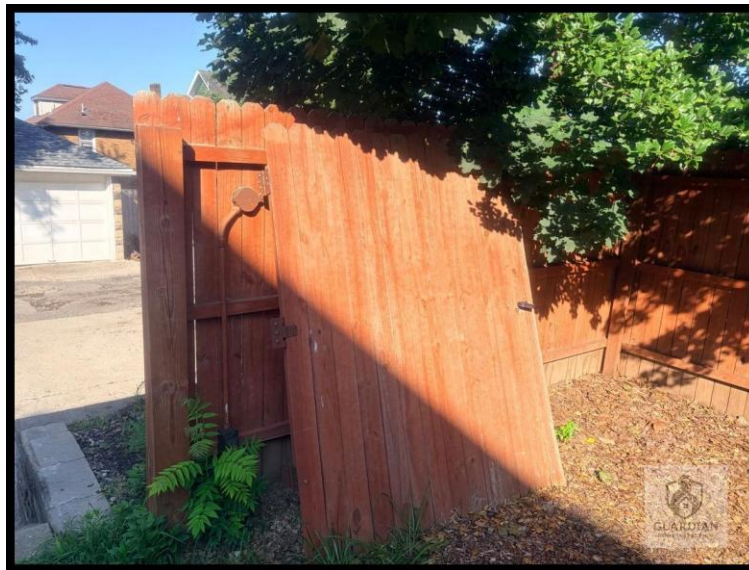


Figure 35: The rear privacy gate was observed to be dismantled at the time of inspection.

Exterior

DESCRIPTION OF EXTERIOR

Siding Material:	Brick, Aluminum
Trim Material:	Aluminum
Window Type:	Double Pane
Window Style:	Double Hung, Sliding
Driveway Material:	None
Landscape Grading:	Positive (Away from House)
Walkway Material:	Pavers
Porch Type:	Covered Front Porch
Deck/Patio Type:	Wood Deck

EXTERIOR OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Cracked and Broken Concrete Walkway/Landing Creating Trip Hazard (Qualified Concrete Flatwork Contractor)

Safety Concern: Cracked and broken concrete was observed at the exterior walkway/landing, with vegetation growth through the damaged areas and resulting uneven surfaces. This condition presents a safety concern due to increased trip-and-fall risk. Damaged sections should be repaired or replaced and the surface should be restored to a uniform, stable walking plane, with vegetation removed to help prevent recurrence. Repairs should be performed by a qualified concrete flatwork contractor. (Figures [4](#), [5](#), [6](#))

Loose Handrail at Rear Porch (Qualified Carpenter or Deck/Porch Contractor)

Safety Concern: A loose hand railing was observed at the rear porch. This condition is a safety concern because an unstable handhold/guard can contribute to loss of balance and fall risk when using the porch steps/edge. The handrail/guard should be properly re-secured and reinforced with appropriate fasteners and blocking as needed to provide a sturdy, code-compliant installation. Repairs should be performed by a qualified carpenter or deck/porch contractor. (Figure [7](#))

Loose Exterior Lamp Post (Qualified Electrician)

General Repair: An exterior lamp post was observed to be loose/unstable. Loose fixtures can tip or become damaged, creating a safety hazard and potentially stressing or damaging the electrical connections. The post should be stabilized by repairing or replacing the mounting/base as needed and verifying the fixture is securely fastened. Repairs should be performed by a qualified electrician or qualified handyman familiar with exterior lighting installations. (Figure [12](#))

Damaged and Deteriorated Wood Lattice/Porch Railing (Qualified Carpenter or General Contractor)

General Repair: The exterior wood lattice/porch railing was observed to be broken, loose, and deteriorated, with missing/rotted sections. This condition can create a safety hazard and may allow continued moisture intrusion and accelerated wood decay. Repair or replace the affected lattice/railing sections and ensure the assembly is properly secured and protected from weather exposure. Corrections should be performed by a qualified carpenter or general contractor. (Figure [13](#))

Rotted/Deteriorated Wood Siding at Bottom Edge With Open Gap (Qualified Siding/General Contractor)

General Repair: Rotted and deteriorated wood siding was observed at the bottom edge at the exterior, with a visible gap/opening at the base. This condition can allow moisture intrusion and pest entry and may accelerate concealed decay of adjacent materials. The damaged siding and any affected underlying materials should be repaired or replaced and the base gap should be properly sealed/flushed as appropriate. Repairs should be performed by a qualified siding/wood repair contractor or general contractor. (Figure [14](#))

Open Gaps and Deteriorated Mortar/Seal at Brick-to-Exterior Finish Corner (Qualified Masonry Contractor)

General Repair: Open gaps and deteriorated mortar/sealant were observed at an exterior brick-to-wood/stucco corner joint. This condition can allow water intrusion into wall assemblies, which may contribute to concealed moisture damage and decay. The joint should be properly cleaned, repaired (repointed where applicable), and sealed with an appropriate exterior-grade sealant to restore a continuous weather-resistant barrier. Repairs should be performed by a qualified masonry contractor or experienced exterior siding/stucco contractor. (Figures [15, 16](#))

Gap at Base of Brick Veneer Exposing Opening (Qualified Masonry Contractor)

General Repair: A gap/opening was observed at the base of the exterior wall/brick veneer, leaving an unsealed area at the wall-to-grade/slab interface. This condition may allow water intrusion and pest entry, which can contribute to concealed deterioration at adjacent materials. The opening should be properly sealed/closed with appropriate materials and detailing compatible with the exterior assembly. Corrections should be performed by a qualified masonry contractor or exterior envelope contractor. (Figure [17](#))

Broken/Warped Lap Siding Pulling Loose and Leaving Gaps (Qualified Siding Contractor)

General Repair: Exterior lap siding was observed to be broken/warped and pulling loose, leaving visible gaps at the exterior wall. This condition can allow water intrusion behind the cladding, which may contribute to concealed moisture damage and deterioration of underlying materials. Repair or replace the affected siding sections and properly secure and seal joints to restore a weather-resistant exterior envelope. Corrections should be performed by a qualified siding contractor or exterior general contractor. (Figure [18](#))

Disconnected/Loose Downspout Extension Discharging at Foundation (Qualified Gutter Contractor)

General Repair: A downspout extension was observed to be disconnected/loose and discharging roof runoff at the foundation, with vegetation overgrowth around the discharge area. Concentrated water at the foundation can contribute to moisture intrusion and foundation movement and may accelerate deterioration of adjacent materials. The downspout extension should be reconnected/secured and adjusted to discharge water away from the foundation, and vegetation should be trimmed/removed to maintain proper drainage. Repairs should be completed by a qualified gutter contractor or exterior drainage contractor. (Figure [19](#))

Damaged Privacy Gate Difficult to Operate (Qualified Fencing Contractor or Carpenter)

General Repair: The exterior privacy gate was observed to be damaged and difficult to open/close. Impaired operation can create a pinch/safety concern and may limit secure access/egress. Repair or replace the gate and adjust/secure the hinges and latch hardware so the gate operates smoothly and closes/latches properly. Repairs should be performed by a qualified fencing contractor or carpenter. (Figure [20](#))

Stepped Cracking and Mortar Joint Separation at Brick Veneer (Qualified Masonry Contractor)

General Repair: Stepped cracking and mortar joint separation were observed in the exterior brick veneer, consistent with possible building movement/settlement. This condition can allow moisture intrusion and may indicate underlying structural displacement that could worsen if not addressed. Evaluation should be performed and repairs completed as needed, which may include repointing and localized masonry reconstruction after the cause of movement is identified. A qualified masonry contractor should perform the assessment and repairs; if movement is confirmed or suspected to be ongoing, a structural engineer should be consulted for further evaluation and repair guidance. (Figures [21](#), [22](#))

Severely Rotted Exterior Window Frame/Sill With Evidence of Water Intrusion (Qualified Exterior Carpentry Contractor or Window Installation Contractor)

General Repair: Severe wood rot was observed at an exterior window frame/sill, with peeling paint and moisture staining consistent with active or prior water intrusion. This condition can allow continued water entry and concealed deterioration of surrounding materials. The window sill/frame components should be repaired or replaced as needed and the window perimeter should be properly sealed/flushed to control moisture intrusion. Repairs should be performed by a qualified exterior carpentry contractor or window installation contractor. (Figure [23](#))

- **FYI:** *The front porch/deck was under construction at the time of the inspection, and portions of the walking surface were not installed, limiting evaluation of the complete assembly. This condition can present a safety hazard and prevents confirmation that structural support, flashing/waterproofing, and guard/handrail details are properly completed. Completion of construction and correction of any deficiencies found as part of the work are recommended, with verification that the finished installation meets applicable safety and building standards. A qualified deck contractor or general contractor should complete the work and provide final verification/approval as applicable.*
- **FYI:** *The rear privacy gate was observed to be dismantled at the time of inspection. A dismantled gate can reduce site security and privacy and may present a stability/pinch hazard if loose panels or hardware shift. Repair or reinstall the gate and associated hinges/latch hardware to restore proper operation and secure closure. Repairs should be performed by a qualified fencing contractor or carpenter.*
- **FYI:** *The exterior cladding includes brick. Brick is extremely durable and can last 100+ years with minimal maintenance. However, the mortar joints between bricks will deteriorate over time and may require repointing (tuckpointing) every 25-50 years. Inspect for cracks in mortar joints, efflorescence (white mineral deposits), and any signs of structural movement. Ensure weep holes at the base of brick veneer walls are clear and unobstructed to allow moisture drainage.*
- **FYI:** *The exterior cladding is aluminum siding. Aluminum siding is durable and does not rot or attract insects, typically lasting 40+ years. It can dent from impact and the factory finish may oxidize or chalk over time. It can be repainted if the appearance has deteriorated. Inspect for loose panels, damaged corners, and ensure all joints remain properly lapped to prevent wind-driven rain from entering behind the siding.*

LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- **A representative sample of exterior components was inspected rather than every occurrence of components.**
- **The inspection does not include an assessment of soil, geological, geotechnical, or hydrological conditions, or environmental hazards.**
- **Sprinkler systems, underground pet fencing, and koi ponds are not inspected.**
- **Screening, shutters, awnings, or similar seasonal accessories, fences, play-sets, recreational facilities, pools, erosion control and earth stabilization measures are not inspected.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Roofing

DESCRIPTION OF VISIBLE ROOFING

Roof Style:	Gambrel
Roof Covering:	Asphalt Shingle (Architectural)
Number of Layers:	1
Life Stage:	Newer
Inspection Method:	Drone
Gutter Material:	Aluminum
Skylights:	None
Roof Ventilation:	Ridge Vent, Power Vent
Chimney Present:	Yes
Chimney Material:	Masonry
Chimney Cap/Screen:	Present

ROOFING OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

No ROOFING related repairs or improvements were needed at the time of the inspection.

• **FYI:** The roof covering is asphalt shingles. Asphalt shingle roofs typically have a lifespan of 20-30 years depending on the quality of materials, installation, ventilation, and environmental conditions. Regular maintenance including periodic inspections, keeping gutters clean, and addressing minor issues promptly can help maximize the roof's service life. Signs of aging include curling, cracking, granule loss, and moss or algae growth.

LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Roof inspection is often limited by access, condition, weather, or other safety concerns.
- The entire underside of the roof sheathing may not be visible and may not be inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of future leakage.
- Leakage can develop at any time and may depend on rain intensity, wind direction, ice buildup, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling

DESCRIPTION OF COOLING / HEAT PUMPS

System Type:	Central Split-System Air Conditioner
Date of Manufacture:	2014
Capacity (Tons):	2.0
Refrigerant Type:	R-410A
Ductwork:	Metal

COOLING / HEAT PUMPS OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Vegetation and Debris Restricting Outdoor A/C Condenser Airflow and Access (Qualified HVAC Contractor)

Improve: Overgrown vegetation and debris were observed inside and around the outdoor A/C condenser, restricting airflow through the coil area and limiting service access. This condition can reduce cooling efficiency, contribute to overheating and premature equipment wear, and impede proper maintenance. Vegetation and debris should be removed and a continuous clearance zone should be maintained around the condenser in accordance with the manufacturer's requirements. Corrections should be performed by a qualified HVAC contractor or landscaping professional as appropriate, with care taken to avoid damaging the coil fins and wiring. (Figures [31](#), [32](#))

• **FYI:** The cooling system is central air conditioning. Central A/C systems typically last 15-20 years. Annual professional maintenance is recommended, including refrigerant level checks, coil cleaning, and electrical connection inspection. Homeowners should change or clean air filters every 1-3 months during cooling season, keep the outdoor condenser clear of vegetation and debris (maintain 2 feet of clearance), and ensure condensate drain lines are clear.

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- **The air conditioning system cannot be operated if the outdoor temperature was not above 65 degrees F consecutively for 24 hours prior to the inspection. Operating the equipment under these conditions risks costly damage to the compressor or other components.**
- **Window air conditioning units are not inspected.**
- **The cooling supply adequacy (tonnage) or distribution balances of ductwork are not inspected.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Structure

DESCRIPTION OF VISIBLE STRUCTURE

Foundation Type:	Poured Concrete, Brick
Wall Structure:	Wood Frame
Floor Structure:	Wood Joist
Roof Structure:	Rafters & Solid Plank Sheathing
Crawlspace:	None
Basement:	Full Unfinished

STRUCTURE OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Over-Notched and Poorly Constructed Floor Joists in Basement (Qualified Structural Contractor or Licensed Structural Engineer)

Major Concern: Over-notched and poorly constructed floor joists were observed in the basement. Excessive notching and improper framing can reduce the joists' load-carrying capacity and may contribute to floor deflection or structural failure. Evaluation and repair/engineering of the affected framing (e.g., reinforcement, sistering, or other approved corrective methods) should be completed to restore proper structural performance. Repairs should be performed by a qualified structural contractor or licensed structural engineer. (Figures [1](#), [2](#), [3](#))

• **FYI:** The foundation is poured concrete. Poured concrete foundations are generally very durable and can last the lifetime of the home. Minor hairline cracks are common and typically cosmetic. However, cracks wider than 1/4 inch, horizontal cracks, or cracks showing displacement should be evaluated by a structural engineer. Ensure proper drainage away from the foundation to minimize moisture-related issues.

• **FYI:** Basements are susceptible to moisture intrusion. Common signs include efflorescence (white mineral deposits), staining, musty odors, and visible water marks. Maintaining positive drainage away from the foundation, keeping gutters and downspouts clear and extended, and sealing any visible cracks can help minimize moisture issues. A dehumidifier may be beneficial in maintaining acceptable humidity levels. If persistent moisture issues are observed, consult a waterproofing specialist.

LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components (foundation walls, main support beams, floor joists, vertical support columns, i.e.) concealed behind finished surfaces could not be inspected.
- Only representative samplings of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical

DESCRIPTION OF VISIBLE ELECTRICAL

Service Type:	200 Amp
Service Entrance:	Overhead
Panel Type:	Circuit Breaker
Main Panel Location:	Basement
Main Disconnect Location:	Basement
Branch Wiring:	Copper, Stranded Aluminum Wire, Romex (NM), Fabric Covered
GFCI Protection:	Verified Present
AFCI Protection:	Not Required
Smoke Detectors:	Present – Partial
Carbon Monoxide Detectors:	Not Present

ELECTRICAL OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Open Knockout in Electrical Box Cover (Basement) (Licensed Electrician)

Safety Concern: An open knockout was observed in an electrical box cover in the basement, leaving a gap at the enclosure. This condition can allow pest/moisture entry and reduces the protection of wiring, increasing the potential for damage or contact with energized components. The open knockout should be properly sealed using an approved knockout plug/closure and the enclosure should be restored to an intact condition. Corrections should be completed by a Licensed Electrician. (Figure [8](#))

Open Ground and Open Neutral Conditions at Multiple Receptacles (Licensed Electrician)

Safety Concern: Multiple receptacles in the Living Room and Bedroom indicated open ground conditions and open neutral conditions during testing. These conditions are safety concerns because they can result in shock hazard, improper operation of connected equipment, and increased risk of overheating at loose/failed connections. The affected circuits and receptacles should be traced, evaluated, and corrected by repairing/rewiring connections and restoring a proper equipment grounding path and neutral continuity as required. Repairs and verification testing should be performed by a Licensed Electrician. (Figures [9](#), [10](#), [11](#))

• **FYI:** The electrical panel uses circuit breakers. Circuit breaker panels are the modern standard for electrical distribution. Breakers should be exercised (toggled off and on) periodically to prevent them from seizing. If a

breaker trips repeatedly, this may indicate an overloaded circuit, short circuit, or ground fault that should be investigated by a licensed electrician. Ensure the panel is accessible with at least 36 inches of clear working space in front of it.

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- **Electrical components concealed behind finished surfaces are not inspected.**
- **Only a representative sampling of outlets and light fixtures were tested.**
- **Exterior pole light fixtures, with an active dusk-to-dawn component, are not inspected.**
- **Furniture and/or storage restricted access to some electrical components which may not be inspected.**
- **The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

System Type:	Natural gas furnace
Date of Manufacture:	2014
Fuel Type:	Natural Gas
Venting Type:	Direct Vent
Distribution:	Ductwork

HEATING OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Heavily Rusted Ductwork in Basement (Qualified HVAC Contractor)

General Repair: Ductwork in the basement was observed to be heavily rusted in areas. Corrosion can reduce duct integrity over time and may contribute to air leakage and reduced heating system efficiency. The affected duct sections should be evaluated and repaired or replaced as needed, and any contributing moisture conditions should be addressed to help prevent recurrence. Corrections should be performed by a qualified HVAC contractor. (Figure [24](#))

• **FYI:** The heating system is a forced air furnace. Forced air furnaces typically have a lifespan of 15-25 years. Regular maintenance is essential and should include annual professional servicing, filter changes every 1-3 months, and inspection of the heat exchanger, burners, and venting system. Carbon monoxide detectors should be installed on every level of the home and tested regularly.

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The furnace heat exchanger, humidifier or dehumidifier function, and electronic air filters are not inspected.
- The adequacy of heat supply (BTU's) or distribution balance of ductwork is not inspected.
- The interior of flues or chimneys, which are not readily accessible, are not inspected.
- Solar space heating equipment/systems are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF VISIBLE PLUMBING

Water Supply:	Public/Municipal
Supply Piping:	Copper
Drain/Waste Piping:	PVC, Cast Iron
Main Shutoff Location:	Basement
Sewage System:	Public Sewer
Sump Pump:	Not Present
Water Heater Manufacturer:	American Water Heater Company
Water Heater Model Number:	G62 40S40 400
Water Heater Type:	Tank (Gas)
Water Heater Age:	9
Water Heater Capacity:	40 gallons

PLUMBING OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Corrosion and Mineral Buildup on Copper Pipe at Water Heater (Leak Indication) (Licensed Plumber)

General Repair: Severe corrosion and mineral buildup were observed on a copper pipe/connection at the water heater in the basement, indicating a possible active or past leak. This condition can lead to pipe deterioration, active leakage, and resultant water damage. The affected piping/connection should be evaluated, the leak source confirmed, and the corroded components repaired or replaced as necessary. Corrections should be performed by a licensed plumber. (Figure [25](#))

• **FYI:** The water heater is a gas-fired tank unit. Gas tank water heaters typically last 8-12 years. The temperature and pressure (T&P) relief valve should be tested annually and the discharge pipe must terminate within 6 inches of the floor or to the exterior. The tank should be flushed annually to remove sediment buildup. Ensure adequate combustion air and proper venting. The gas shut-off valve should be accessible and in working order.

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- **Underground sewer lines are not inspected and are not part of a general home inspection.**
- **Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.**
- **Water quantity and quality are not tested, unless explicitly contracted-for and discussed in this or a separate report.**
- **Clothes washing machine connections which are not readily accessible are not inspected.**
- **Interiors of flues or chimneys which are not readily accessible are not inspected.**
- **Water conditioning/softening systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF VISIBLE INSULATION / VENTILATION

Attic Access:	Pull-Down Stairs
Attic Insulation Type:	Loose Fill Fiberglass
Attic Insulation Depth:	7-10 inches
Wall Insulation:	Unknown
Vapor Barrier (Crawlspace):	N/A
Bathroom Exhaust:	Vented to Exterior
Kitchen Exhaust:	Vented to Exterior
Dryer Vent:	To Exterior

INSULATION / VENTILATION OBSERVATIONS

RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

No INSULATION & VENTILATION related repairs or improvements were needed at the time of the inspection.

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The inspection of power ventilators is limited by their accessibility and/or ambient temperatures in the attic.
- Insulation/ventilation type and levels in concealed areas, such as behind walls, are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall Material:	Drywall
Ceiling Material:	Drywall
Flooring Types:	Hardwood, Tile (Ceramic), Carpet
Cabinet Material:	Wood
Door Materials:	Solid Wood, Hollow Core Wood

INTERIOR OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

Water Intrusion Staining and Damage at Attic Sheathing/Drywall Near Chimney and Window (Qualified Roofing Contractor)

General Repair: Significant water intrusion staining and damaged sheathing/drywall were observed in the attic around the chimney and a window, with evidence consistent with a past leak. This condition is important because moisture intrusion can lead to concealed material deterioration and ongoing damage if the source is still active. The leak source should be located and corrected, and all damaged materials should be repaired or replaced as needed after the area has been allowed to dry. Repairs should be performed by a qualified roofing contractor for the leak correction and a qualified contractor for interior/attic material repairs. (Figures [26, 27](#))

Likely Failed Insulated Glass Seal at Bedroom Window (Qualified Window and Glass Contractor)

General Repair: Heavy condensation and water streaking were observed between the window panes in the bedroom, consistent with a likely failed insulated glass seal. This condition reduces insulating performance and visibility and can contribute to moisture-related deterioration of adjacent window components over time. Replacement of the insulated glass unit or the affected window assembly is recommended to restore proper performance. Repairs should be completed by a qualified window and glass contractor. (Figure [28](#))

Bedroom Door Does Not Close Properly (Qualified Carpenter)

General Repair: The bedroom door was observed to not close properly. This condition can impede privacy and egress and may indicate misalignment at the hinges, latch, or door frame. Adjustment and/or repair of the door, hinges, latch/strike plate, and frame should be completed to allow proper latching and smooth operation. Repairs should be performed by a qualified carpenter or door/trim contractor. (Figure [29](#))

Damaged Drywall and Water Staining at Bathroom HVAC Return Vent (Qualified Drywall/Finish Contractor and Licensed HVAC Contractor)

General Repair: Damaged drywall was observed around the bathroom HVAC return vent, including a visible gap at the wall opening and water staining/rust at the return grille and adjacent baseboard area. This condition may indicate moisture intrusion and can lead to continued material deterioration and potential indoor air quality concerns if not corrected. The return grille and surrounding finishes should be repaired/replaced as needed and the wall opening should be properly sealed and finished after the moisture source is identified and corrected. Repairs should be performed by a qualified drywall/finish contractor, with evaluation and correction of the moisture source by a licensed HVAC contractor if related to the return duct/grille or air movement/condensation. (Figure [30](#))

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances, personal items, and/or wall hangings will not be moved to permit inspection and may block defects.
- Carpeting, window treatments and screens, central vacuum systems, elevators, chair lifts, household appliances, recreational facilities, steam generating appliances, paint, wallpaper, and other finish treatments are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances

DESCRIPTION OF APPLIANCES

Dishwasher:	Present
Range/Oven:	Gas
Range Hood/Exhaust:	Microwave (Vented)
Microwave:	Over-Range
Refrigerator:	Present
Garbage Disposal:	Not Present
Washer Connection:	Present
Dryer Connection:	Gas

APPLIANCES OBSERVATIONS

RECOMMENDATIONS / OBSERVATIONS

No APPLIANCES related repairs or improvements were needed at the time of the inspection.

LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Doorbells, thermostats, timers and other specialized or ancillary features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Maintenance Advice

UPON TAKING OWNERSHIP

After taking possession of a new home, there are some maintenance and safety concerns that should be addressed immediately. The following checklist should help you undertake these improvements:

- ☐ Change the locks on all exterior entrances, for improved security.
- ☐ Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Consideration could also be given to a security system.
- ☐ Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- ☐ Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire Safety Concerns and what to do in the event of fire.
- ☐ Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- ☐ Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- ☐ Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- ☐ Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- ☐ Install rain caps and vermin screens on all chimney flues, as necessary.
- ☐ Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attended the home inspection, these items would have been pointed out to you.

REGULAR MAINTENANCE

EVERY MONTH

- ☐ Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- ☐ Examine heating/cooling air filters and replace or clean as necessary.
- ☐ Inspect and clean humidifiers and electronic air cleaners.
- ☐ If the house has hot water heating, bleed radiator valves.
- ☐ Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of downspouts is appropriate. Remove debris from window wells.
- ☐ Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.

- ☐ Repair or replace leaking faucets or shower heads.
- ☐ Secure loose toilets, or repair flush mechanisms that become troublesome.

SPRING AND FALL

- ☐ Examine the roof for evidence of damage to roof coverings, flashings and chimneys.
- ☐ Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- ☐ Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- ☐ Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- ☐ Survey the basement and/or crawl space walls for evidence of moisture seepage.
- ☐ Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- ☐ Ensure that the grading of the land around the house encourages water to flow away from the foundation.
- ☐ Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- ☐ Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair window sills and frames as necessary.
- ☐ Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- ☐ Shut-off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- ☐ Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- ☐ Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- ☐ Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- ☐ Replace or clean exhaust hood filters.
- ☐ Clean, inspect and/or service all appliances as per the manufacturer's recommendations.
- ☐ Once every six months, drain one gallon of water from the tank. If you have hard water, do this every month. This reduces the amount of sediment collecting in the bottom of the tank, which can make the burner or heating coils work harder.

ANNUALLY

- ☐ Replace smoke detector batteries.
- ☐ Have the heating, cooling and water heater systems cleaned and serviced.
- ☐ Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- ☐ Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.

- ☐ If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- ☐ If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a qualified specialist. Preventative treatments may be recommended in some cases.

PREVENTION IS THE BEST APPROACH

Although we've heard it many times, nothing could be truer than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes.

Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!

THIS AGREEMENT made on 07/23/2026 by and between Beau Traister/Guardian Home Inspection (hereinafter "INSPECTOR") and the undersigned (hereinafter "CLIENT"), collectively referred to herein as "the parties." The address of the property to be inspected is: 1315 Mississippi Ave, Pittsburgh, PA 15216. The total fee for all provided services plus applicable taxes: \$395.00.

THIS IS A LEGALLY BINDING CONTRACT AND CONTAINS AN ARBITRATION CLAUSE - PLEASE READ IT CAREFULLY

This Inspection Agreement contains the terms and conditions of your (the Client) contract with Guardian Home Inspection, LLC for an Inspection of the Property at the above address. This Inspection Agreement contains limitations on the scope of the Inspection, remedies and liability. Please read it carefully. By signing below, Client represents and warrants that Client has secured all approvals necessary for Guardian Home Inspection, LLC to conduct the Inspection of the Property. Client also warrants they will read the entire Inspection report when received and shall promptly call with any questions or concerns client may have regarding Inspection or Inspection Report. The Inspection is being performed for the exclusive use and benefit of the Client, and the Inspection, including the written Report, is not to be transferred to, utilized or relied upon by any other person or entity without prior written permission of Guardian Home Inspection, LLC.

1. INSPECTION AND DUTIES

Guardian Home Inspection, LLC agrees to perform a limited visual inspection of the systems and components included in the inspection as they exist at the time of the inspection and for which the Client agrees to pay a fee. The Inspection will be performed in the accordance with the Standards of Practice of the American Society of Home Inspectors (ASHI) (http://www.homeinspector.org/files/docs/standards_updated3-4-2015.pdf), and is limited by the limitations, exceptions and exclusions so stated in the Standards of Practice and this Agreement. You agree that if Guardian Home Inspection, LLC recommends further evaluation of a condition noted in the Inspection Report that you will do so before the end of any inspection contingency and prior to closing.

2. DISCLAIMER OF WARRANTY

Client understands that the Inspection and Inspection Report do not in any way, constitute a/an: (1) guarantee, (2) warranty of merchantability or fitness for a particular purpose, (3) express or implied warranty, or (4) insurance policy. Additionally, neither the Inspection nor Inspection Report are substitutes for any real estate transfer disclosures which may be required by law.

3. NOTICE AND STATUTE OF LIMITATIONS

Client agrees that any claim, for negligence, breach of contract or otherwise, be made in writing and reported to Guardian Home Inspection, LLC within ten (10) business days of discovery. Client further agrees to allow Inspector the opportunity to re-inspect the claimed discrepancy, with the exception of emergency conditions, before Client or Client's agents, employees or independent contractor's repairs, replaces, alters or modifies the claimed discrepancy. Client understands and agrees that any failure to notify Inspector as stated above shall constitute a waiver of any and all claims Client may have against Inspector. Any legal action must be brought within one (1) year from the date of the Inspection; failure to bring said action within one (1) year of the date of the Inspection is full and complete waiver of any rights, actions or causes of actions that may have arisen therefrom. Time is expressly of the essence herein. This time period may be shorter than otherwise provided for by law.

4. LIQUIDATED DAMAGES-LIMITED LIABILITY CLAUSE

Due to the nature of the services we are providing, it is difficult to foresee or determine (at the time of this Agreement is formed) potential damages in the event of negligence or breach of this Agreement by us. Thus, if we fail to perform the Services as provide herein or are careless or negligent in the performance of the Services and/or preparing the Report, our liability for any and all claims related thereto is limited to the fee paid for the Services (unless contrary to state law), and you release us from any and all additional liability, whether based on contract tort or any other legal theory. There will be no recovery for consequential damages. You understand that the performance of the Services without this limitation of liability would be more technically exhaustive, likely require specialties and would cost substantially more than the fee paid for this limited visual inspection. You understand that you are free to consult with another professional if you do not agree to this provision.

5. ENVIRONMENTAL AND HEALTH ISSUES

The Client specifically acknowledges that Guardian Home Inspection, LLC is NOT an Environmental Survey and is not intended to detect, identify, disclose or report on the presence of any actual or potential environmental concerns or hazards in the air, water, soil or building materials. Such environmental concerns and hazards include but are not limited to asbestos, "Chinese Drywall"; radon; lead; urea formaldehyde; mold; mildew; fungus; odors; noise; toxic or flammable chemicals; water or air quality; PCB's or other toxins; electro-magnetic fields; underground storage tanks; proximity to toxic waste sites; carbon monoxide. You agree to hold Guardian Home Inspection, LLC and Inspector harmless for any injury, health risk or damage caused or contributed to by these conditions.

6. LIMITATIONS EXCEPTIONS AND EXCLUSIONS

The Inspection only includes those systems and components expressly and specifically identified in the Inspection Report. The Inspection limitations, exceptions and exclusions in the Standards of Practice are incorporated herein. In addition, any area which is not exposed to view, is concealed, is inaccessible because of soil, walls, floors, carpets, ceilings, furnishing or in any other fashion is excluded. The Inspection does not include any destructive testing or dismantling. The following systems and components and areas are among those NOT included in the Inspection or Inspection Report, unless otherwise agreed upon:

- Latent or concealed defects, compliance with code or zoning ordinances or permit research or system or component installation or recalls.
- Structural, geological, soil, wave action or hydrological stability, survey, engineering, analysis or testing.
- Private water, sewage systems, water softeners or purifiers, radiant heat systems or solar heating systems. This exclusion is not applicable if the Client has the Company perform septic inspection services for an additional fee.
- Pools, spas, hot tubs, saunas, steam baths, fountains or other types of or related systems and components.
- Repair cost estimates or building value appraisal.
- Thermostatic or time clock controls, radio controlled devices, automatic gates or elevators, lifts, dumbwaiters.
- Free standing appliances and gas appliances such as fire pits, barbecues, heaters and lamps. Main gas shut off valve. Any gas leaks. Furnace heat exchangers.
- Seismic safety, security or fire safety systems or security bars and/or safety equipment.
- Any adverse condition that may affect the desirability of the property including but not limited to proximity to railroad tracks or airplane routes, boundaries, easements or rights of way, adjoining properties or neighborhood.
- Unique/technically complex systems or components, system or component life expectancy or adequacy or efficiency of any system or component.
- Termites or other wood destroying insects and or organisms, rodents or other pests, dry-rot, fungus; or damage from or relating to the preceding. This exclusion is not applicable if the Client has the Company perform wood destroying organism inspection for an additional fee.

7. GOVERNING LAW & SEVERABILITY

This Agreement shall be governed by Pennsylvania law. If any portion of this Agreement is found to be invalid or unenforceable by any court or arbitrator the remaining terms shall remain in force between the parties.

8. RECEIPT OF REPORT

The Company's agreement to perform the inspection is contingent on Client's agreement to the provisions, terms, conditions and limitations of this Agreement. If this Agreement is not signed by Client prior to or at the time the written Inspection Report is provided to the Client and Client objects of any of the terms of this Agreement, Client shall return the written Inspection Report to Guardian Home Inspection, LLC within seven (7) days and any fee that has been paid will be refunded to the Client. Failure to return the written Inspection Report and payment of the fee shall constitute the full acceptance of all of the terms of this Agreement by Client.

9. OTHER SERVICES

It is understood and agreed to by the parties hereto that all the provisions, limitations, exceptions and exclusions of this agreement shall apply to any optional services entered into by the parties.

Client further acknowledges, agrees, and authorizes Guardian Home Inspections to provide their contact information (including telephone number) to a third-party service provider ("TSP") Secure24 ADT, with which Guardian Home Inspection may affiliate with to offer the client additional value-added service

10. ENTIRE AGREEMENT, MODIFICATION & 3rd PARTIES

This Agreement represents the entire agreement between the parties. No oral agreements, understandings or representations shall change, modify or amend any part of this Agreement. No change or modification shall be enforceable against any party unless such changes or modification is in writing and signed by the parties and supported by valid consideration. This Agreement shall be binding upon and inure to the parties hereto and their spouses, heirs, executors, administrators, successors, assigns and representatives of any kind whatsoever.

11. DISPUTE RESOLUTION-ARBITRATION CLAUSE

Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud, or misinterpretation arising out of, from or related to, this contract or arising out of, from or related to the inspection or inspection report shall be submitted first a Non-Binding Mediation conference and absent a voluntary settlement through Non-Binding Mediation to be followed by final and Binding Arbitration, if necessary, as conducted by Construction Dispute Resolution Services, LLC or Resolute Systems, Inc. utilizing their respective Rules and Procedures. In addition, client agrees to and shall bear all filing fees required by the Arbitration Association. If you would like to utilize the Mediation or Arbitration services of another dispute resolution provider other than one of those so stated please submit your recommendation to us for our consideration. If the dispute is submitted to Binding Arbitration, the decision of the Arbitrator appointed there under shall be final and binding and enforcement of the Arbitration Award may be entered in any Court or administrative tribunal having jurisdiction thereof.

NOTICE: YOU AND WE WOULD HAVE A RIGHT OR OPPORTUNITY TO LITIGATE DISPUTES THROUGH A COURT AND HAVE A JUDGE OR JURY DECIDE THE DISPUTES BUT HAVE AGREED INSTEAD TO RESOLVE DISPUTES THROUGH MEDIATION AND BINDING ARBITRATION.

CLIENT HAS CAREFULLY READ THE FOREGOING, AGREES TO IT, AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS AGREEMENT.



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J Wednesday, July 22nd, 2026