

Buyers closed on 183 properties priced at \$500,000 and below in August, bringing the year-to-date total to 1,397 sales. At month's end, 1,232 active listings remained available in that range. Seventy-one single-family homes, or 27% of the month's sales, closed under \$1 million, and 176 condo sales, or 48% of the condo market, closed under \$500,000. Year-to-date, 33% of all single-family home sales have closed below \$1 million, and 47% of all condo sales have closed below \$500,000.

O'ahu single-family home sales rose 1.9% year-over-year in August to 264 transactions, while condo sales declined 6.6% to 365. Year-to-date, single-family home sales were up 5.9% compared to the same period last year, while condo sales were down 1.6%.

Single-family homes continued to move quickly in August, spending a median of 17 days on the market compared to 22 days a year ago, though slightly longer than during the previous three months. Condo median days on market also improved year-over-year, declining from 48 to 37 days.

Sellers received a median of 100% of their original asking price for single-family homes, up from 98.8% a year ago. Fifty-one percent of single-family home sales closed at or above asking, with 33% closing above asking. Condo sellers received a median of 97.1% of their original asking price, compared to 96.4% a year ago, though just 10% of condo transactions closed above the original asking price.

Median sales prices were mixed in August, with the single-family home median rising 12.2% year-over-year. In contrast, the condo median dipped 1.0% to \$510,000. Single-family home sales in the \$1,300,000 to \$1,499,999 price range saw the largest year-over-year increase, rising 74.1% from 27 to 47 transactions. Year-to-date, sales in that range were up 43.7%, from 197 to 283 transactions.

Active inventory held relatively steady for single-family homes, up 0.5% year-over-year to 794 listings, while condo active inventory rose 4.1% to 2,512 listings. New listings increased in both markets compared to last August, rising 14.5% year-over-year to 364 single-family homes and 6.4% to 684 condos.

Single-family home pending sales declined 7.6% year-over-year to 279. Condo pending sales fell 3.2% to 393 overall, but contract signings increased notably in the \$500,000 to \$699,999 range (up 21.2%) and the \$1,000,000 to \$1,999,999 range (up 54.2%).

Oahu Monthly Housing Statistics

August 2026



SINGLE-FAMILY HOMES

Median Sales Price	YoY %chg
\$1,240,000	+12.2%
Closed Sales	YoY %chg
264	+1.9%
Average Sales Price	YoY %chg
\$1,405,238	+3.0%

CONDOS

Median Sales Price	YoY %chg
\$510,000	-1.0%
Closed Sales	YoY %chg
365	-6.6%
Average Sales Price	YoY %chg
\$637,812	-8.8%

YoY % chg = year-over-year percent change comparing current month to the same month last year.

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Monthly Indicators

OAHU, HAWAII

August 2026

	Single-Family Homes						Condos				
	Aug-26	Aug-25	YoY %chg	Jul-26	MoM %chg		Aug-26	Aug-25	YoY %chg	Jul-26	MoM %chg
Closed Sales	264	259	1.9%	300	-12.0%		365	391	-6.6%	416	-12.3%
Median Sales Price	\$1,240,000	\$1,105,500	12.2%	\$1,224,500	1.3%		\$510,000	\$515,000	-1.0%	\$504,500	1.1%
Average Sales Price	\$1,405,238	\$1,364,588	3.0%	\$1,458,986	-3.7%		\$637,812	\$699,361	-8.8%	\$643,134	-0.8%
Median Days on Market	17	22	-22.7%	14	21.4%		37	48	-22.9%	38	-2.6%
Percent of Orig. List Price Received	100.0%	98.8%	1.2%	100.0%	0.0%		97.1%	96.4%	0.7%	96.6%	0.5%
New Listings	364	318	14.5%	380	-4.2%		684	643	6.4%	707	-3.3%
Pending Sales*	279	302	-7.6%	274	1.8%		393	406	-3.2%	360	9.2%
Active Inventory*	794	790	0.5%	802	-1.0%		2,512	2,412	4.1%	2,554	-1.6%
Total Inventory in Escrow*	438	496	-11.7%	421	4.0%		579	631	-8.2%	548	5.7%
Months Supply of Active Inventory*	3.2	3.4	-5.9%	3.2	0.0%		6.9	6.7	3.0%	7.0	-1.4%

*see footnotes on pages 9-12 regarding methodology updates

YoY % chg = year-over-year percent change comparing current month to the same month last year.
MoM % chg = month-over-month percent change comparing current month to the previous month.

Year-to-Date

	Single-Family Homes						Condos				
	YTD-2026	YTD-2025	1-yr %chg	YTD-2024	2-yr %chg		YTD-2026	YTD-2025	1-yr %chg	YTD-2024	2-yr %chg
Closed Sales	1,950	1,842	5.9%	1,884	3.5%		2,834	2,881	-1.6%	3,024	-6.3%
Median Sales Price	\$1,190,000	\$1,140,000	4.4%	\$1,100,000	8.2%		\$512,000	\$505,000	1.4%	\$508,000	0.8%
Average Sales Price	\$1,409,007	\$1,410,122	-0.1%	\$1,371,830	2.7%		\$653,308	\$643,548	1.5%	\$607,837	7.5%
Median Days on Market	17	22	-22.7%	18	-5.6%		42	44	-4.5%	29	44.8%
Percent of Orig. List Price Received	99.4%	98.5%	0.9%	98.9%	0.5%		96.8%	96.7%	0.1%	98.1%	-1.3%
New Listings	2,822	2,837	-0.5%	2,608	8.2%		5,499	5,669	-3.0%	5,002	9.9%
Pending Sales*	2,136	2,125	0.5%	2,041	4.7%		3,081	3,137	-1.8%	3,245	-5.1%

*see footnotes on pages 9-12 regarding methodology updates

1-yr % chg = percent change comparing the current YTD time period to the same YTD time period one year ago.
2-yr % chg = percent change comparing the current YTD time period to the same YTD time period two years ago.

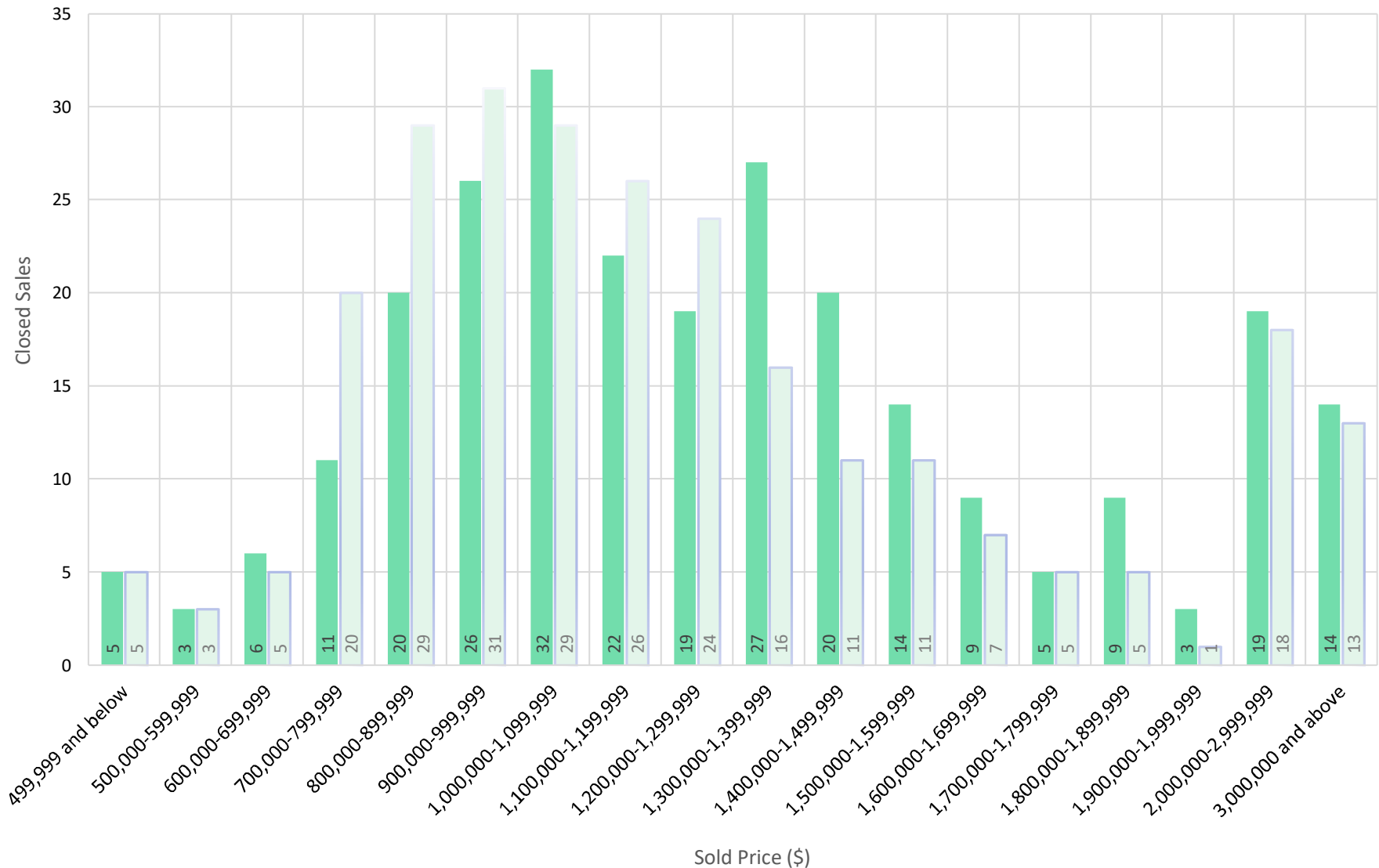
SOURCE: Honolulu Board of REALTORS®, residential resales compiled from MLS data.

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Single-Family Homes Sold

August 2026 vs. August 2025

2026 2025



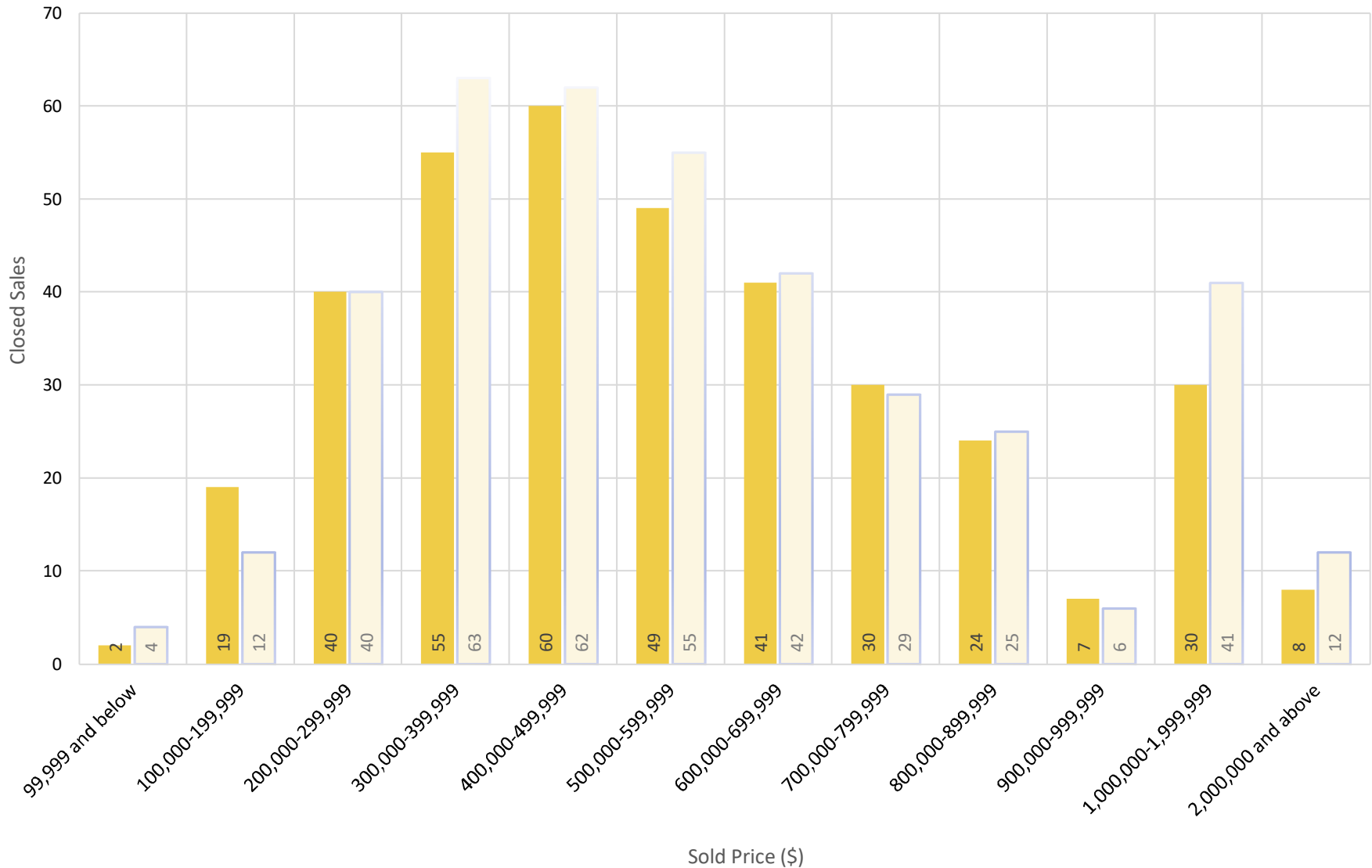
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Condos Sold

August 2026 vs. August 2025

■ 2026 ■ 2025



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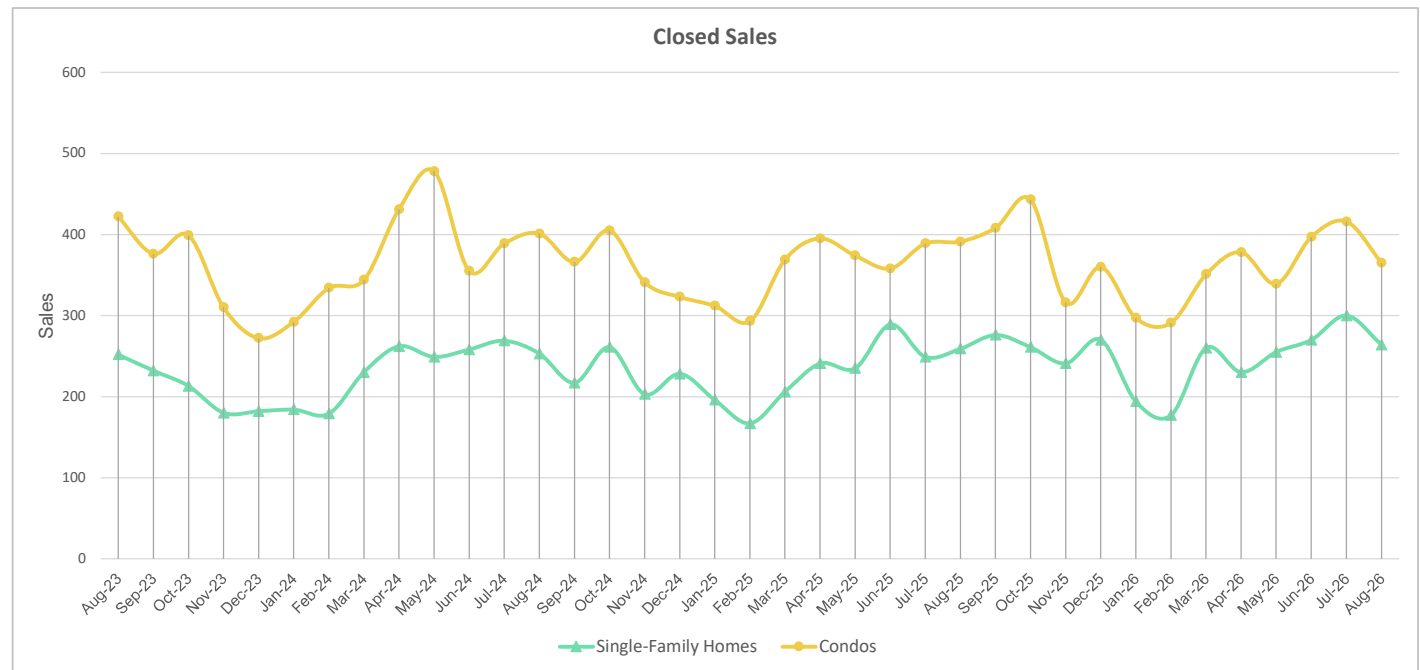
Closed Sales

August 2026

OAHU, HAWAII

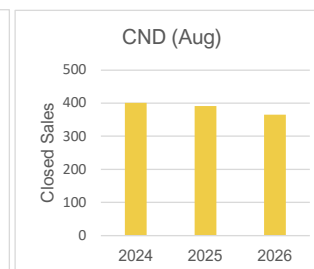
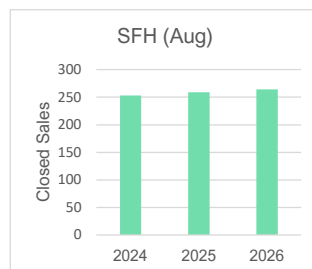
(A count of properties that have closed in a given month)

Mo-Yr	Single-Family Homes	Condos	Total
Aug-23	252	422	674
Sep-23	232	376	608
Oct-23	213	399	612
Nov-23	180	310	490
Dec-23	182	272	454
Jan-24	184	292	476
Feb-24	179	334	513
Mar-24	230	344	574
Apr-24	262	431	693
May-24	249	478	727
Jun-24	258	355	613
Jul-24	269	389	658
Aug-24	253	401	654
Sep-24	217	366	583
Oct-24	261	405	666
Nov-24	203	341	544
Dec-24	228	323	551
Jan-25	196	312	508
Feb-25	167	293	460
Mar-25	206	369	575
Apr-25	241	395	636
May-25	235	374	609
Jun-25	289	358	647
Jul-25	249	389	638
Aug-25	259	391	650
Sep-25	276	408	684
Oct-25	261	443	704
Nov-25	241	316	557
Dec-25	270	360	630
Jan-26	194	297	491
Feb-26	177	291	468
Mar-26	260	351	611
Apr-26	230	378	608
May-26	255	339	594
Jun-26	270	397	667
Jul-26	300	416	716
Aug-26	264	365	629



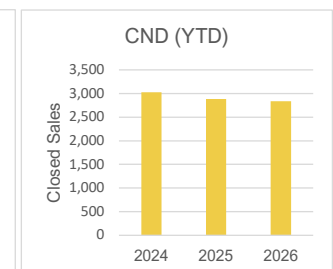
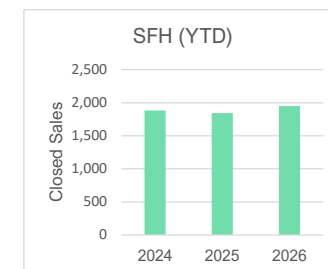
Monthly Closed Sales

August	SFH	YoY %chg	CND	YoY %chg
2024	253	0.4%	401	-5.0%
2025	259	2.4%	391	-2.5%
2026	264	1.9%	365	-6.6%



Year-to-Date Closed Sales

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	1,884	7.5%	3,024	-6.0%
2025	1,842	-2.2%	2,881	-4.7%
2026	1,950	5.9%	2,834	-1.6%



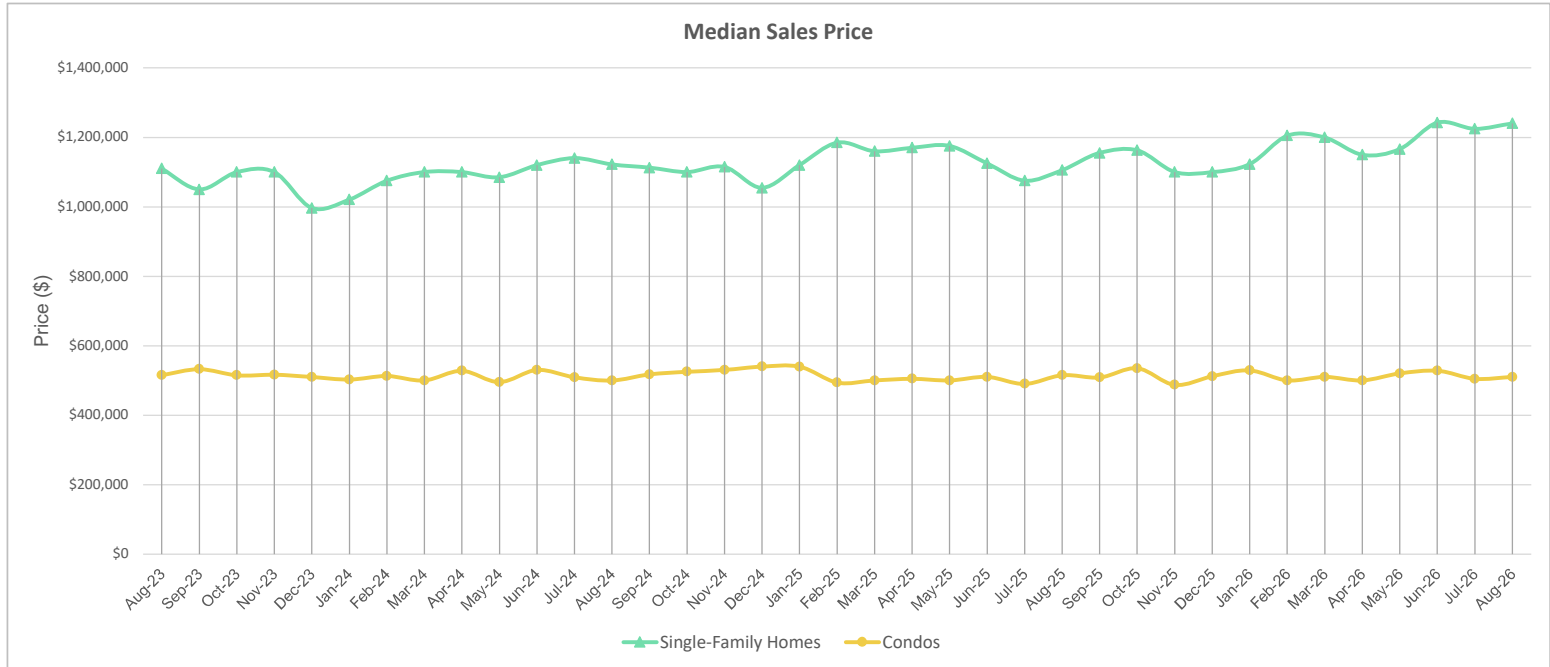
Median Sales Price

August 2026

OAHU, HAWAII

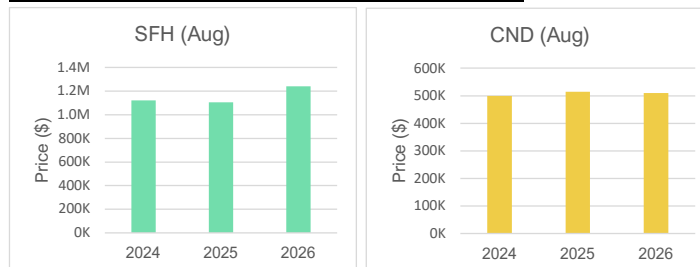
(The median sales price of all closed properties in a given month)

Mo/Yr	Single-Family Homes	Condos
Aug-23	\$1,110,000	\$515,000
Sep-23	\$1,050,000	\$532,500
Oct-23	\$1,100,000	\$515,000
Nov-23	\$1,100,055	\$516,179
Dec-23	\$996,500	\$510,000
Jan-24	\$1,021,016	\$502,500
Feb-24	\$1,075,000	\$512,500
Mar-24	\$1,100,000	\$500,000
Apr-24	\$1,100,000	\$528,000
May-24	\$1,085,000	\$495,000
Jun-24	\$1,120,000	\$530,000
Jul-24	\$1,140,000	\$509,000
Aug-24	\$1,122,000	\$500,000
Sep-24	\$1,112,722	\$517,500
Oct-24	\$1,100,000	\$525,000
Nov-24	\$1,115,000	\$530,000
Dec-24	\$1,054,500	\$540,000
Jan-25	\$1,120,000	\$539,500
Feb-25	\$1,185,000	\$494,000
Mar-25	\$1,160,000	\$500,000
Apr-25	\$1,170,000	\$505,000
May-25	\$1,175,000	\$500,000
Jun-25	\$1,125,000	\$510,000
Jul-25	\$1,075,000	\$490,000
Aug-25	\$1,105,500	\$515,000
Sep-25	\$1,155,000	\$508,750
Oct-25	\$1,162,500	\$535,000
Nov-25	\$1,100,000	\$487,450
Dec-25	\$1,100,000	\$512,000
Jan-26	\$1,122,500	\$529,000
Feb-26	\$1,205,000	\$500,000
Mar-26	\$1,199,500	\$510,000
Apr-26	\$1,150,000	\$500,000
May-26	\$1,166,000	\$520,000
Jun-26	\$1,242,500	\$528,000
Jul-26	\$1,224,500	\$504,500
Aug-26	\$1,240,000	\$510,000



Monthly Median Sales Price

August	SFH	YoY %chg	CND	YoY %chg
2024	\$1,122,000	1.1%	\$500,000	-2.9%
2025	\$1,105,500	-1.5%	\$515,000	3.0%
2026	\$1,240,000	12.2%	\$510,000	-1.0%



Year-to-Date Median Sales Price

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	\$1,100,000	4.8%	\$508,000	1.2%
2025	\$1,140,000	3.6%	\$505,000	-0.6%
2026	\$1,190,000	4.4%	\$512,000	1.4%



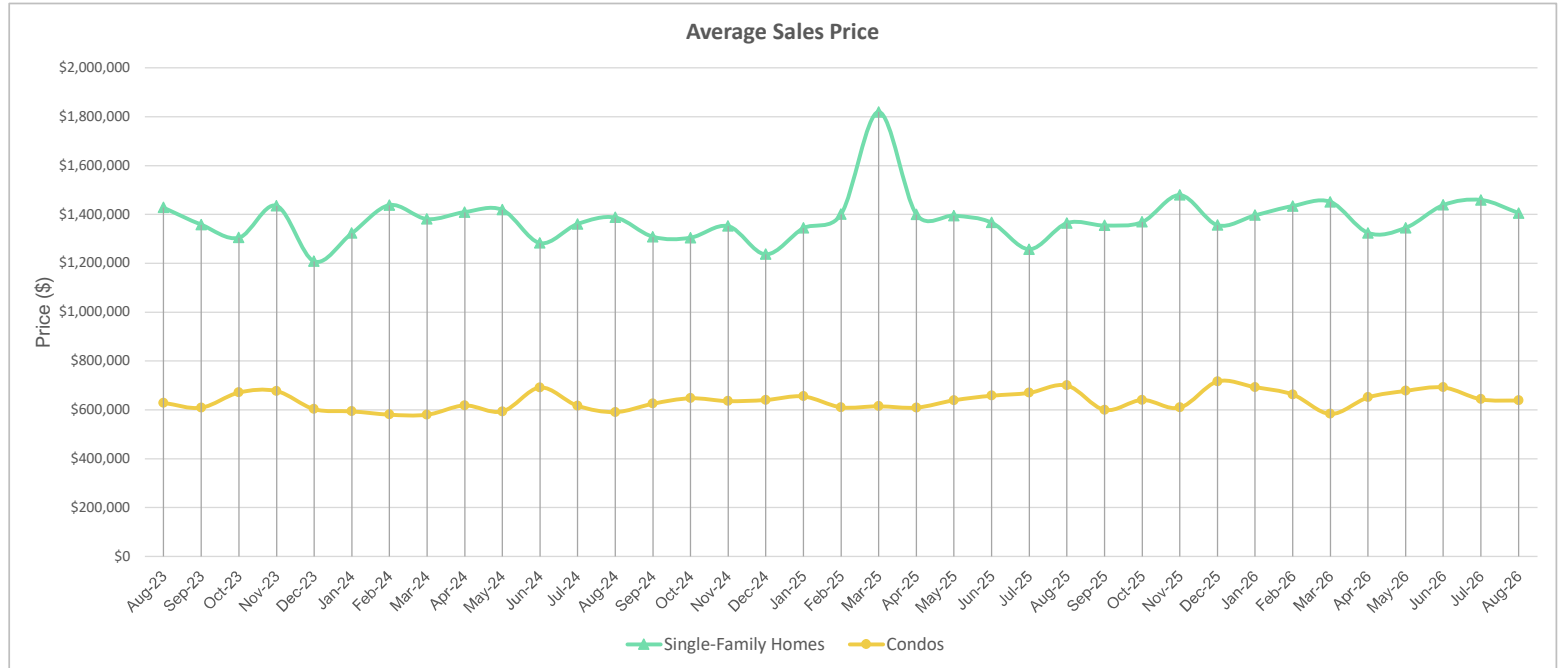
Average Sales Price

August 2026

OAHU, HAWAII

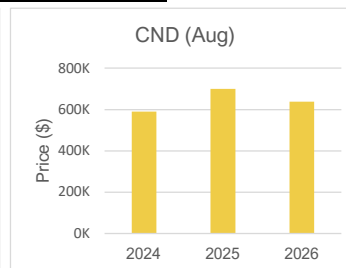
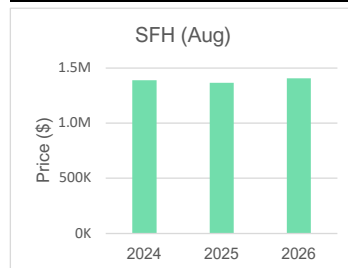
(The average sales price of all closed properties in a given month)

Mo/Yr	Single-Family Homes	Condos
Aug-23	\$1,427,996	\$628,127
Sep-23	\$1,357,981	\$608,222
Oct-23	\$1,304,757	\$670,805
Nov-23	\$1,434,999	\$676,625
Dec-23	\$1,207,793	\$602,535
Jan-24	\$1,323,172	\$593,630
Feb-24	\$1,437,693	\$580,274
Mar-24	\$1,380,838	\$579,500
Apr-24	\$1,408,991	\$617,664
May-24	\$1,419,039	\$592,964
Jun-24	\$1,282,503	\$690,803
Jul-24	\$1,360,415	\$616,302
Aug-24	\$1,387,740	\$590,171
Sep-24	\$1,307,833	\$625,154
Oct-24	\$1,304,557	\$647,091
Nov-24	\$1,351,976	\$635,715
Dec-24	\$1,236,689	\$639,866
Jan-25	\$1,344,122	\$654,915
Feb-25	\$1,400,996	\$610,108
Mar-25	\$1,819,326	\$614,751
Apr-25	\$1,399,728	\$608,762
May-25	\$1,394,811	\$638,701
Jun-25	\$1,366,459	\$657,973
Jul-25	\$1,257,138	\$669,476
Aug-25	\$1,364,588	\$699,361
Sep-25	\$1,354,522	\$599,603
Oct-25	\$1,369,130	\$640,304
Nov-25	\$1,479,291	\$609,012
Dec-25	\$1,355,856	\$715,954
Jan-26	\$1,396,618	\$692,222
Feb-26	\$1,434,214	\$662,301
Mar-26	\$1,451,141	\$583,090
Apr-26	\$1,324,187	\$651,177
May-26	\$1,344,566	\$677,536
Jun-26	\$1,438,289	\$691,560
Jul-26	\$1,458,986	\$643,134
Aug-26	\$1,405,238	\$637,812



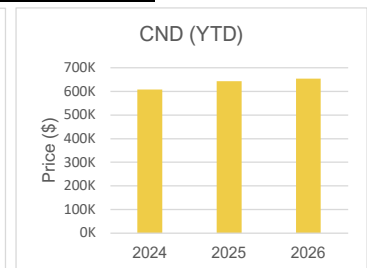
Monthly Average Sales Price

August	SFH	YoY %chg	CND	YoY %chg
2024	\$1,387,740	-2.8%	\$590,171	-6.0%
2025	\$1,364,588	-1.7%	\$699,361	18.5%
2026	\$1,405,238	3.0%	\$637,812	-8.8%



Year-to-Date Average Sales Price

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	\$1,371,830	3.5%	\$607,837	-1.4%
2025	\$1,410,122	2.8%	\$643,548	5.9%
2026	\$1,409,007	-0.1%	\$653,308	1.5%



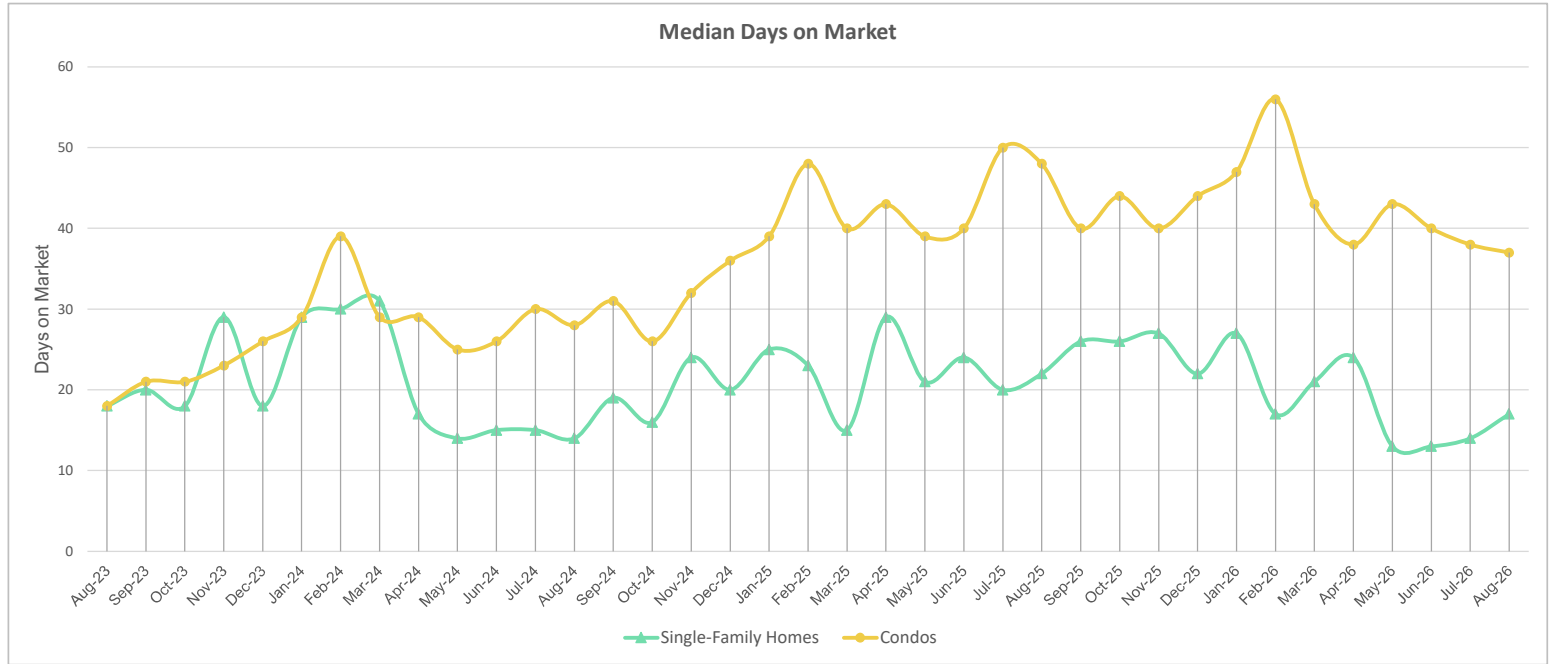
Median Days on Market

August 2026

OAHU, HAWAII

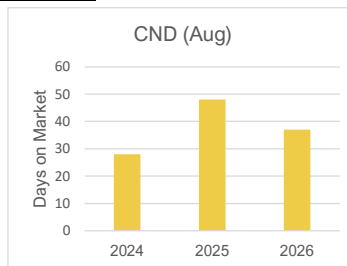
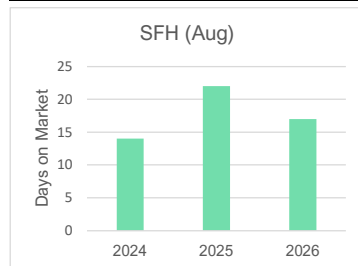
(Days on Market represents the number of days from when a property is first listed to when an offer is accepted; the Median Days on Market represents the median of all sales in a given month)

Mo/Yr	Single-Family Homes	Condos
Aug-23	18	18
Sep-23	20	21
Oct-23	18	21
Nov-23	29	23
Dec-23	18	26
Jan-24	29	29
Feb-24	30	39
Mar-24	31	29
Apr-24	17	29
May-24	14	25
Jun-24	15	26
Jul-24	15	30
Aug-24	14	28
Sep-24	19	31
Oct-24	16	26
Nov-24	24	32
Dec-24	20	36
Jan-25	25	39
Feb-25	23	48
Mar-25	15	40
Apr-25	29	43
May-25	21	39
Jun-25	24	40
Jul-25	20	50
Aug-25	22	48
Sep-25	26	40
Oct-25	26	44
Nov-25	27	40
Dec-25	22	44
Jan-26	27	47
Feb-26	17	56
Mar-26	21	43
Apr-26	24	38
May-26	13	43
Jun-26	13	40
Jul-26	14	38
Aug-26	17	37



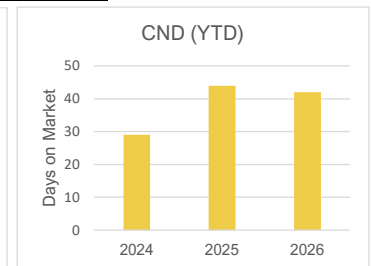
Monthly Median Days on Market

August	SFH	YoY %chg	CND	YoY %chg
2024	14	-22.2%	28	55.6%
2025	22	57.1%	48	71.4%
2026	17	-22.7%	37	-22.9%



Year-to-Date Median Days on Market

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	18	-21.7%	29	45.0%
2025	22	22.2%	44	51.7%
2026	17	-22.7%	42	-4.5%



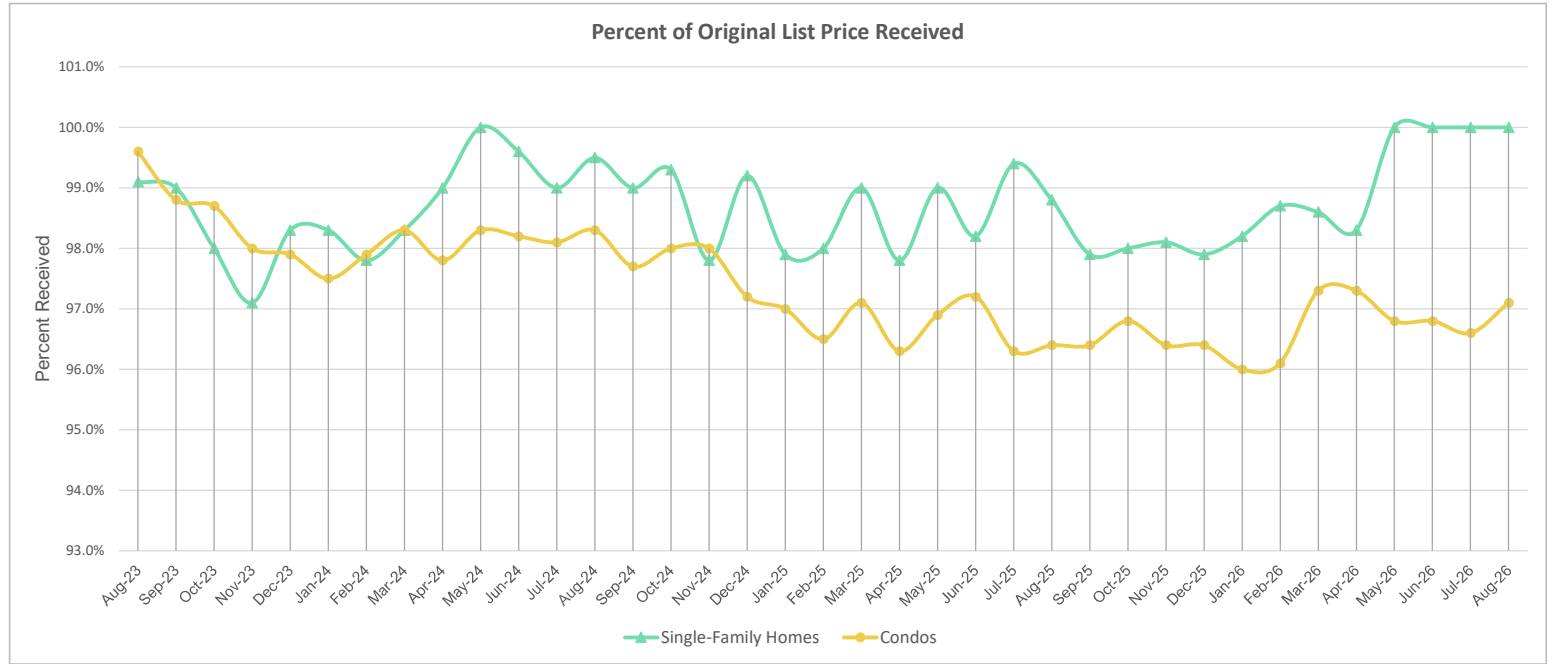
Percent of Original List Price Received

August 2026

OAHU, HAWAII

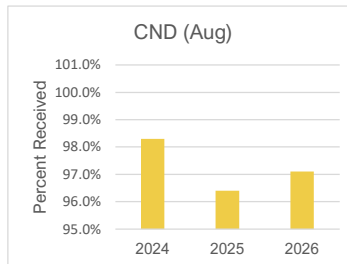
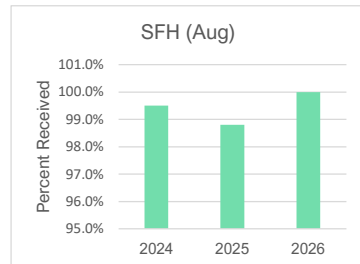
(The percentage found when dividing a property's sales price by the original list price; reported percentage is the median of all sales for the period indicated)

Mo/Yr	Single-Family Homes	Condos
Aug-23	99.1%	99.6%
Sep-23	99.0%	98.8%
Oct-23	98.0%	98.7%
Nov-23	97.1%	98.0%
Dec-23	98.3%	97.9%
Jan-24	98.3%	97.5%
Feb-24	97.8%	97.9%
Mar-24	98.3%	98.3%
Apr-24	99.0%	97.8%
May-24	100.0%	98.3%
Jun-24	99.6%	98.2%
Jul-24	99.0%	98.1%
Aug-24	99.5%	98.3%
Sep-24	99.0%	97.7%
Oct-24	99.3%	98.0%
Nov-24	97.8%	98.0%
Dec-24	99.2%	97.2%
Jan-25	97.9%	97.0%
Feb-25	98.0%	96.5%
Mar-25	99.0%	97.1%
Apr-25	97.8%	96.3%
May-25	99.0%	96.9%
Jun-25	98.2%	97.2%
Jul-25	99.4%	96.3%
Aug-25	98.8%	96.4%
Sep-25	97.9%	96.4%
Oct-25	98.0%	96.8%
Nov-25	98.1%	96.4%
Dec-25	97.9%	96.4%
Jan-26	98.2%	96.0%
Feb-26	98.7%	96.1%
Mar-26	98.6%	97.3%
Apr-26	98.3%	97.3%
May-26	100.0%	96.8%
Jun-26	100.0%	96.8%
Jul-26	100.0%	96.6%
Aug-26	100.0%	97.1%



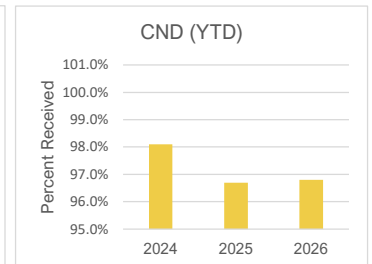
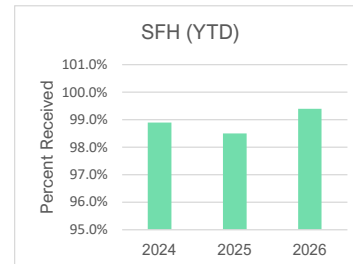
Monthly Percent of Original List Price Received

August	SFH	YoY %chg	CND	YoY %chg
2024	99.5%	0.4%	98.3%	-1.3%
2025	98.8%	-0.7%	96.4%	-1.9%
2026	100.0%	1.2%	97.1%	0.7%



Year-to-Date Percent of Original List Price Received

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	98.9%	0.6%	98.1%	-0.6%
2025	98.5%	-0.4%	96.7%	-1.4%
2026	99.4%	0.9%	96.8%	0.1%



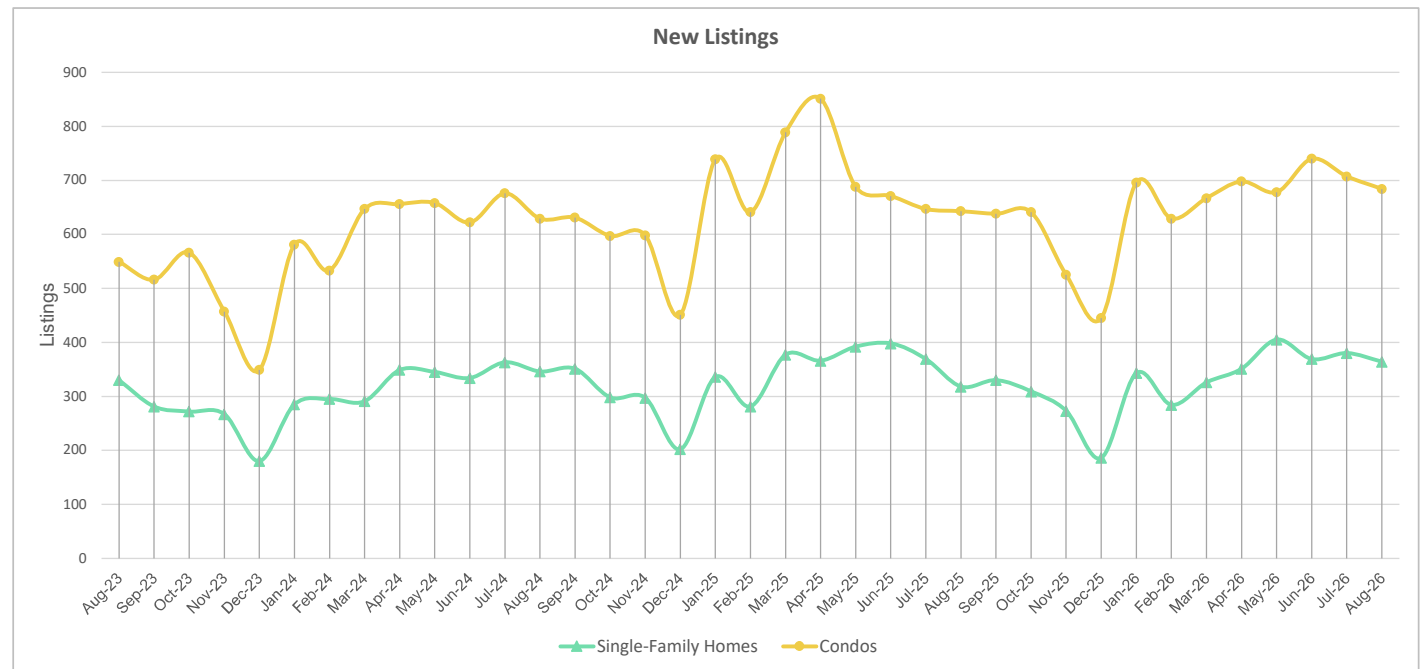
New Listings

August 2026

OAHU, HAWAII

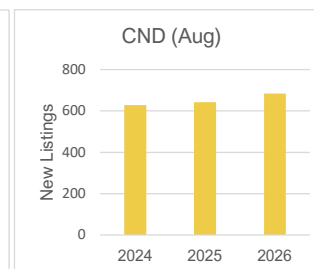
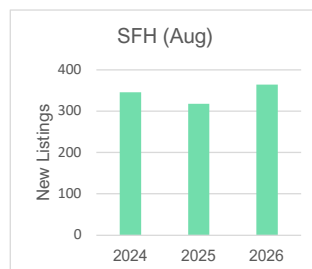
(A count of properties that have been newly listed on the market in a given month)

Mo-Yr	Single-Family Homes	Condos	Total
Aug-23	330	549	879
Sep-23	281	516	797
Oct-23	272	566	838
Nov-23	267	457	724
Dec-23	180	349	529
Jan-24	285	581	866
Feb-24	295	533	828
Mar-24	291	647	938
Apr-24	349	656	1,005
May-24	345	658	1,003
Jun-24	334	622	956
Jul-24	363	676	1,039
Aug-24	346	629	975
Sep-24	351	631	982
Oct-24	298	597	895
Nov-24	297	598	895
Dec-24	202	451	653
Jan-25	336	739	1,075
Feb-25	281	641	922
Mar-25	377	789	1,166
Apr-25	366	851	1,217
May-25	392	688	1,080
Jun-25	398	671	1,069
Jul-25	369	647	1,016
Aug-25	318	643	961
Sep-25	330	638	968
Oct-25	309	641	950
Nov-25	273	525	798
Dec-25	186	445	631
Jan-26	343	696	1,039
Feb-26	284	629	913
Mar-26	326	667	993
Apr-26	351	698	1,049
May-26	405	678	1,083
Jun-26	369	740	1,109
Jul-26	380	707	1,087
Aug-26	364	684	1,048



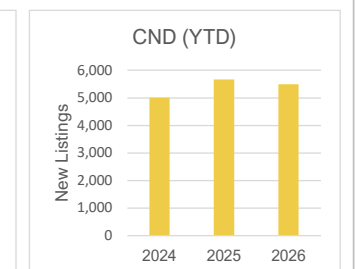
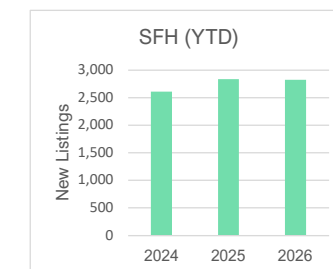
Monthly New Listings

August	SFH	YoY %chg	CND	YoY %chg
2024	346	4.8%	629	14.6%
2025	318	-8.1%	643	2.2%
2026	364	14.5%	684	6.4%



Year-to-Date New Listings

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	2,608	12.2%	5,002	18.1%
2025	2,837	8.8%	5,669	13.3%
2026	2,822	-0.5%	5,499	-3.0%



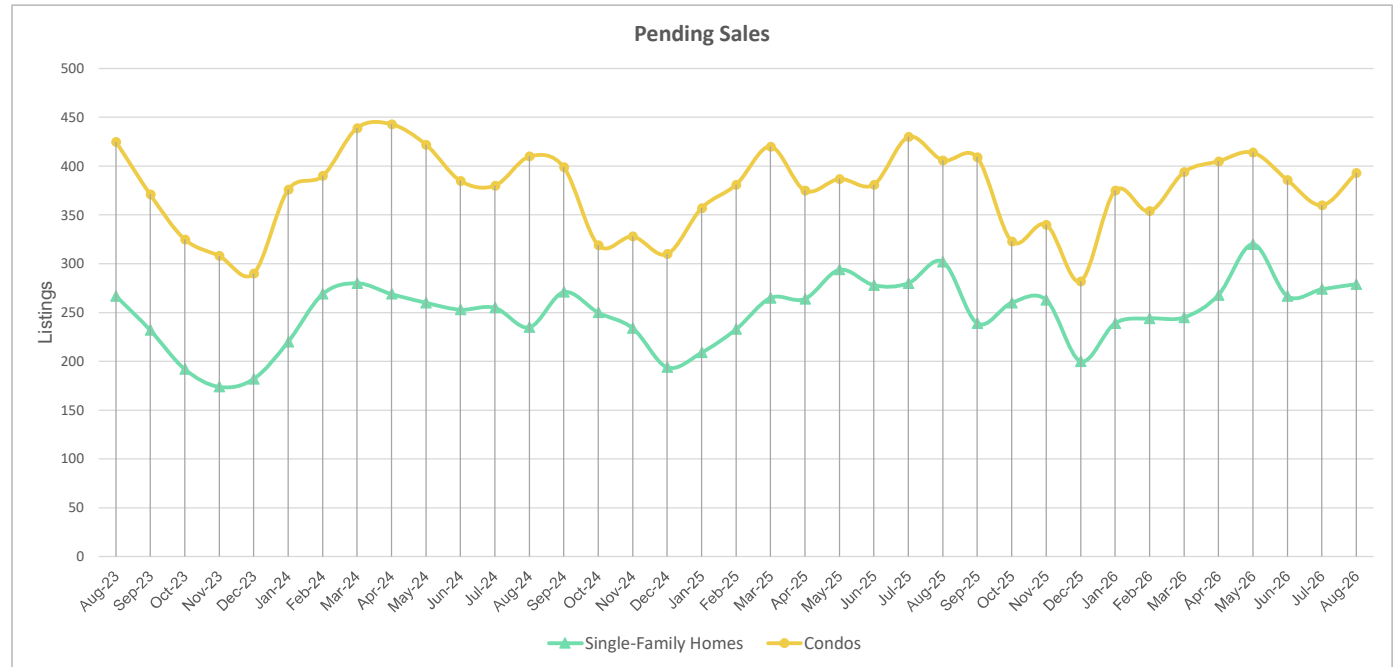
Pending Sales*

August 2026

OAHU, HAWAII

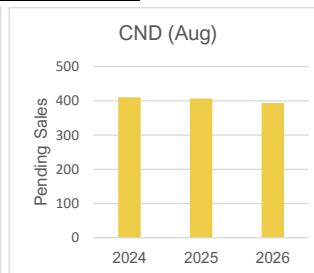
(A measure of contract activity represented by a count of properties that have had offers accepted on them during a given month)

Mo/Yr	Single-Family Homes	Condos	Total
Aug-23	267	425	692
Sep-23	232	371	603
Oct-23	192	325	517
Nov-23	174	308	482
Dec-23	182	290	472
Jan-24	220	376	596
Feb-24	269	390	659
Mar-24	280	439	719
Apr-24	269	443	712
May-24	260	422	682
Jun-24	253	385	638
Jul-24	255	380	635
Aug-24	235	410	645
Sep-24	271	399	670
Oct-24	250	319	569
Nov-24	234	328	562
Dec-24	194	310	504
Jan-25	209	357	566
Feb-25	233	381	614
Mar-25	265	420	685
Apr-25	264	375	639
May-25	294	387	681
Jun-25	278	381	659
Jul-25	280	430	710
Aug-25	302	406	708
Sep-25	239	409	648
Oct-25	260	323	583
Nov-25	263	340	603
Dec-25	200	282	482
Jan-26	239	375	614
Feb-26	244	354	598
Mar-26	245	394	639
Apr-26	268	405	673
May-26	320	414	734
Jun-26	267	386	653
Jul-26	274	360	634
Aug-26	279	393	672



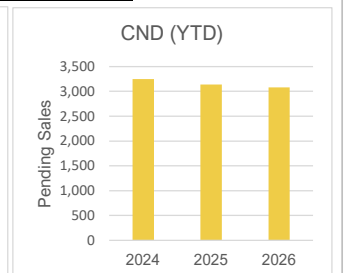
Monthly Pending Sales

August	SFH	YoY %chg	CND	YoY %chg
2024	235	-12.0%	410	-3.5%
2025	302	28.5%	406	-1.0%
2026	279	-7.6%	393	-3.2%



Year-to-Date Pending Sales

August	YTD SFH	YoY %chg	YTD CND	YoY %chg
2024	2,041	1.2%	3,245	-5.3%
2025	2,125	4.1%	3,137	-3.3%
2026	2,136	0.5%	3,081	-1.8%



*Methodology updated as of 2021 to reflect a count of properties that entered contract within the given month and remain in escrow status at the end of the month (also applied to historical data shown above).

Pending Sales, in reports prior to 2021, reflect a count of all listings that held a Pending (P) status throughout the given month.

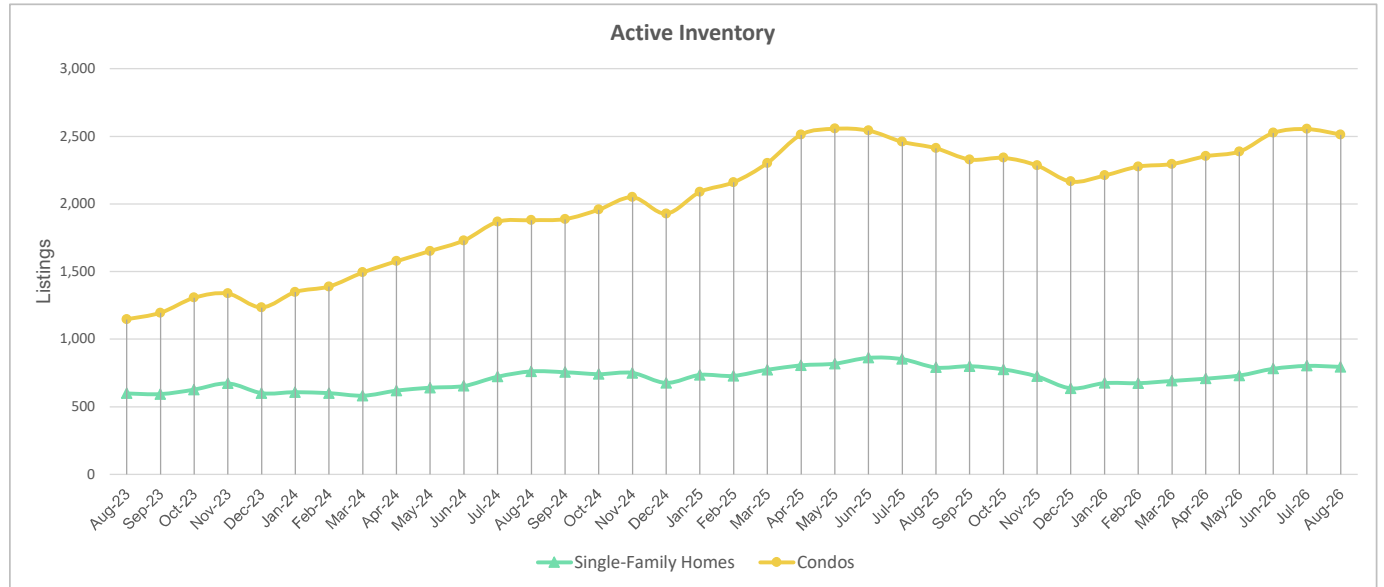
Active Inventory*

August 2026

OAHU, HAWAII

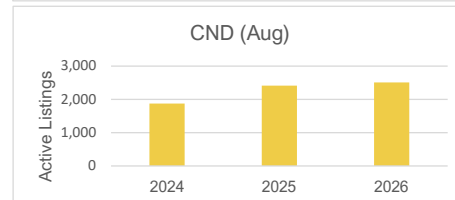
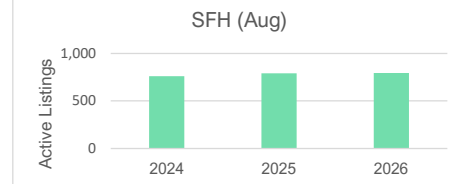
(The number of properties in Active (A) status at the end of the given month)

Mo/Yr	Single-Family Homes	Condos	Total
Aug-23	598	1,146	1,744
Sep-23	592	1,194	1,786
Oct-23	626	1,306	1,932
Nov-23	672	1,337	2,009
Dec-23	600	1,234	1,834
Jan-24	607	1,348	1,955
Feb-24	599	1,388	1,987
Mar-24	581	1,493	2,074
Apr-24	618	1,576	2,194
May-24	640	1,651	2,291
Jun-24	653	1,729	2,382
Jul-24	722	1,867	2,589
Aug-24	760	1,879	2,639
Sep-24	755	1,887	2,642
Oct-24	741	1,957	2,698
Nov-24	749	2,049	2,798
Dec-24	675	1,928	2,603
Jan-25	734	2,088	2,822
Feb-25	728	2,160	2,888
Mar-25	773	2,302	3,075
Apr-25	805	2,512	3,317
May-25	818	2,556	3,374
Jun-25	861	2,542	3,403
Jul-25	852	2,459	3,311
Aug-25	790	2,412	3,202
Sep-25	798	2,327	3,125
Oct-25	775	2,341	3,116
Nov-25	724	2,284	3,008
Dec-25	635	2,165	2,800
Jan-26	674	2,210	2,884
Feb-26	673	2,276	2,949
Mar-26	691	2,294	2,985
Apr-26	707	2,353	3,060
May-26	730	2,387	3,117
Jun-26	781	2,525	3,306
Jul-26	802	2,554	3,356
Aug-26	794	2,512	3,306

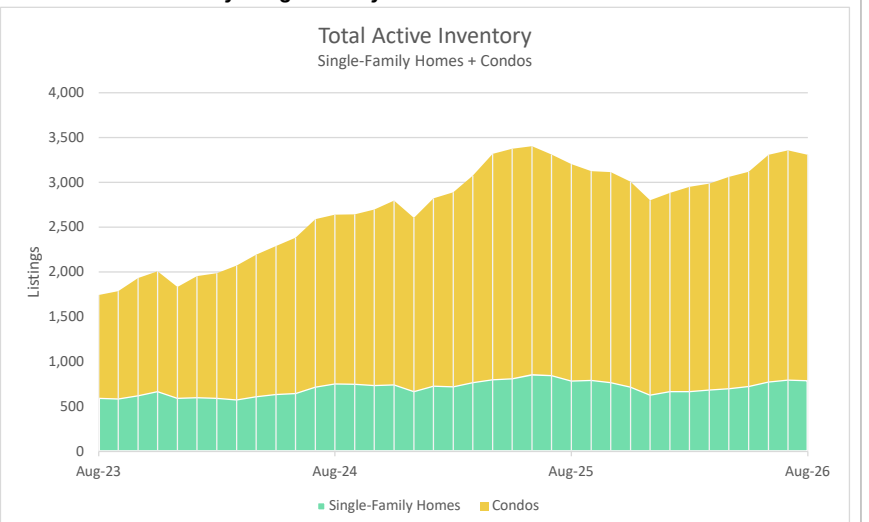


Active Inventory

August	SFH	YoY %chg	CND	YoY %chg
2024	760	27.1%	1,879	64.0%
2025	790	3.9%	2,412	28.4%
2026	794	0.5%	2,512	4.1%



Total Active Inventory: Single-Family Homes + Condos



*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

Total Inventory In Escrow*

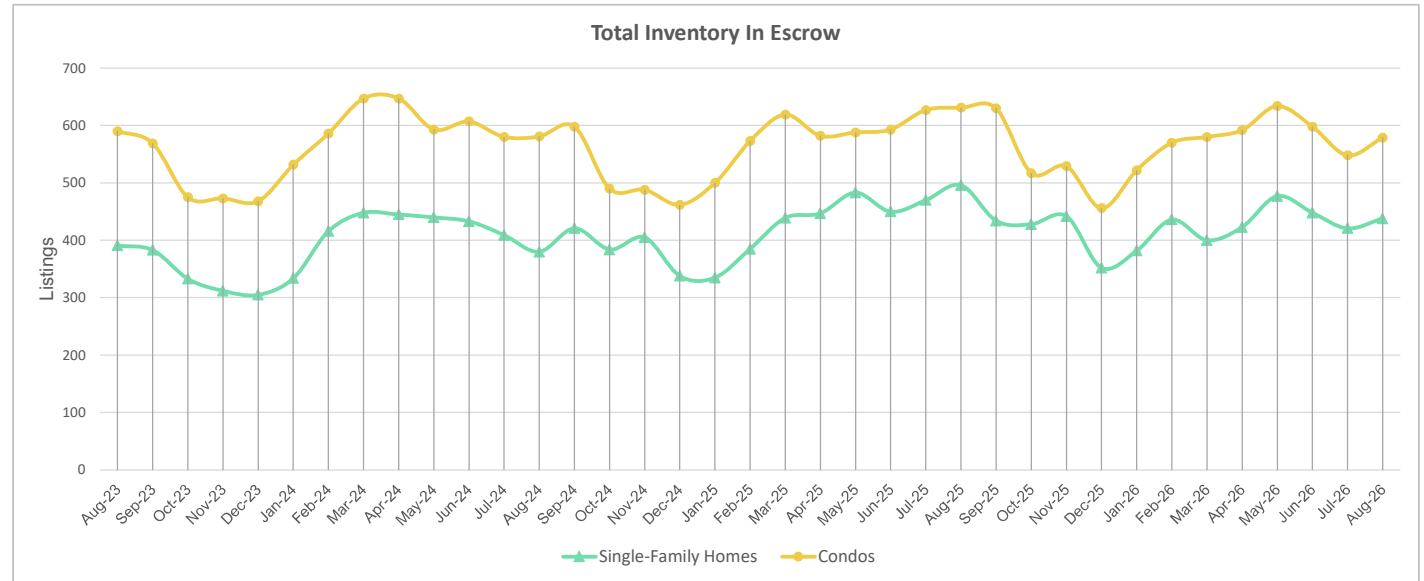
August 2026

OAHU, HAWAII

(The number of properties under contract at the end of the given month / combined listings in C and P status)

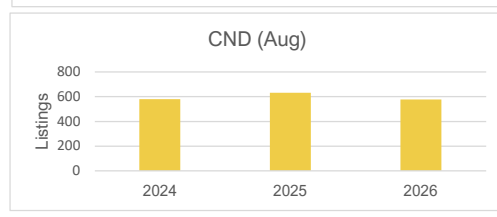
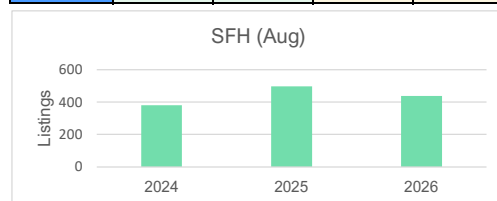
Mo/Yr	Single-Family Homes	Condos	Total
Aug-23	391	590	981
Sep-23	383	569	952
Oct-23	333	475	808
Nov-23	312	473	785
Dec-23	305	468	773
Jan-24	334	532	866
Feb-24	416	586	1,002
Mar-24	448	647	1,095
Apr-24	445	647	1,092
May-24	440	593	1,033
Jun-24	433	607	1,040
Jul-24	409	580	989
Aug-24	380	581	961
Sep-24	421	598	1,019
Oct-24	384	490	874
Nov-24	405	488	893
Dec-24	338	462	800
Jan-25	335	500	835
Feb-25	385	573	958
Mar-25	439	619	1,058
Apr-25	447	582	1,029
May-25	483	588	1,071
Jun-25	450	593	1,043
Jul-25	470	627	1,097
Aug-25	496	631	1,127
Sep-25	434	630	1,064
Oct-25	428	517	945
Nov-25	442	529	971
Dec-25	352	456	808
Jan-26	382	522	904
Feb-26	436	570	1,006
Mar-26	400	580	980
Apr-26	423	592	1,015
May-26	477	634	1,111
Jun-26	448	598	1,046
Jul-26	421	548	969
Aug-26	438	579	1,017

*New indicator added to reports as of 2021, including applicable historical data.

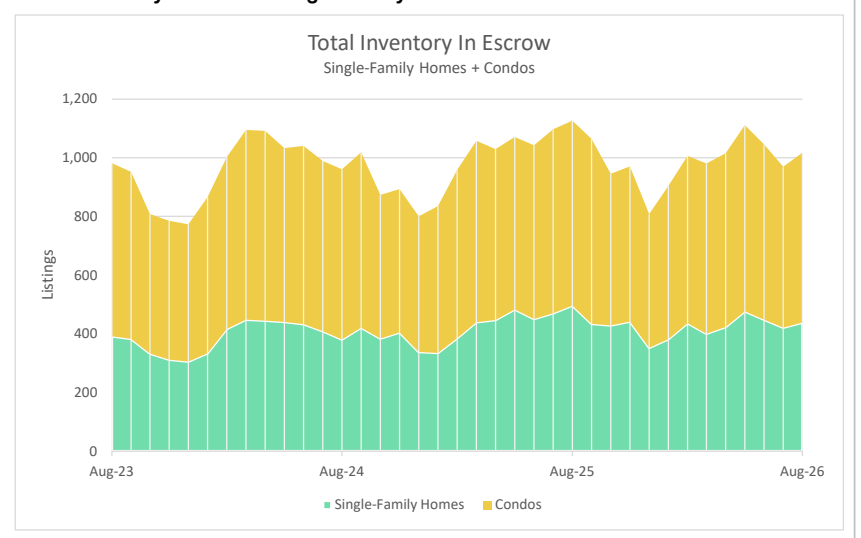


Total Inventory In Escrow

August	SFH	YoY %chg	CND	YoY %chg
2024	380	-2.8%	581	-1.5%
2025	496	30.5%	631	8.6%
2026	438	-11.7%	579	-8.2%



Total Inventory In Escrow: Single-Family Homes + Condos



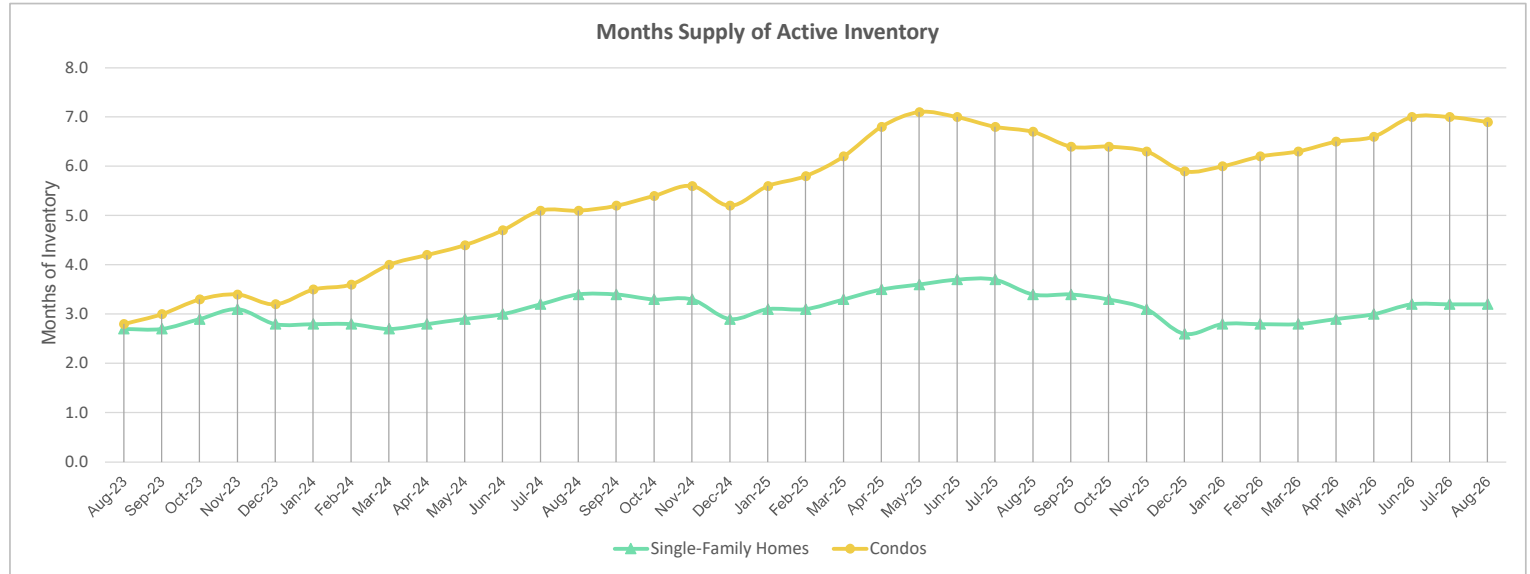
Months Supply of Active Inventory*

August 2026

OAHU, HAWAII

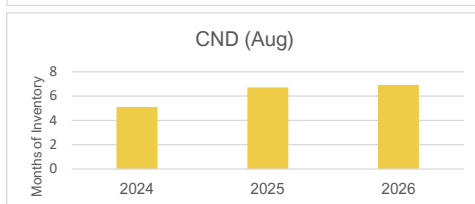
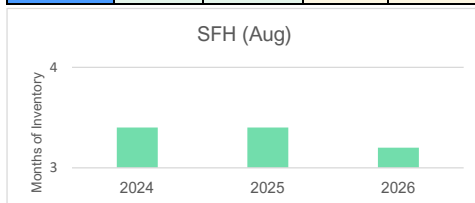
(Compares active inventory to a rolling 12-month average closed sales)

Mo/Yr	Single-Family Homes	Condos
Aug-23	2.7	2.8
Sep-23	2.7	3.0
Oct-23	2.9	3.3
Nov-23	3.1	3.4
Dec-23	2.8	3.2
Jan-24	2.8	3.5
Feb-24	2.8	3.6
Mar-24	2.7	4.0
Apr-24	2.8	4.2
May-24	2.9	4.4
Jun-24	3.0	4.7
Jul-24	3.2	5.1
Aug-24	3.4	5.1
Sep-24	3.4	5.2
Oct-24	3.3	5.4
Nov-24	3.3	5.6
Dec-24	2.9	5.2
Jan-25	3.1	5.6
Feb-25	3.1	5.8
Mar-25	3.3	6.2
Apr-25	3.5	6.8
May-25	3.6	7.1
Jun-25	3.7	7.0
Jul-25	3.7	6.8
Aug-25	3.4	6.7
Sep-25	3.4	6.4
Oct-25	3.3	6.4
Nov-25	3.1	6.3
Dec-25	2.6	5.9
Jan-26	2.8	6.0
Feb-26	2.8	6.2
Mar-26	2.8	6.3
Apr-26	2.9	6.5
May-26	3.0	6.6
Jun-26	3.2	7.0
Jul-26	3.2	7.0
Aug-26	3.2	6.9

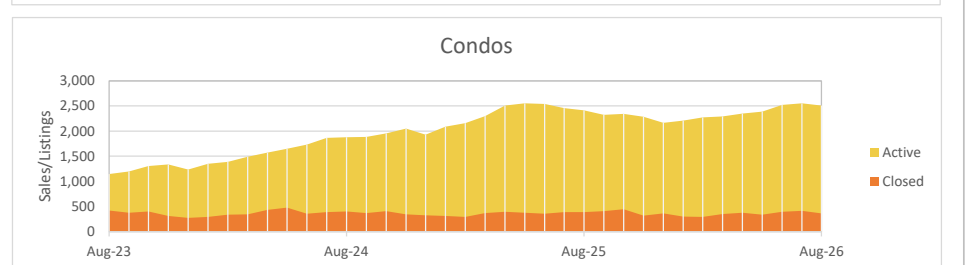
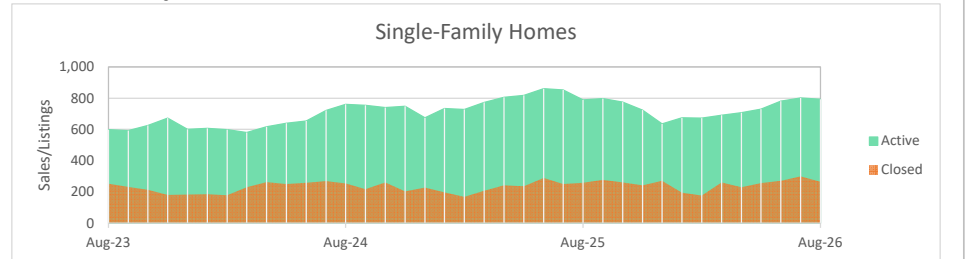


Months Supply of Active Inventory

August	SFH	YoY %chg	CND	YoY %chg
2024	3.4	25.9%	5.1	82.1%
2025	3.4	0.0%	6.7	31.4%
2026	3.2	-5.9%	6.9	3.0%



Active Inventory vs. Closed Sales



*Methodology updated as of 2021 (also applied to historical data shown on this chart).

Months of Inventory, in reports prior to 2021, reflect a comparison of active listings to average pending sales.

Housing Supply Overview

August 2026

OAHU, HAWAII

(A year-over-year overview of the availability and sales of properties in a given month, by price range)

Single-Family Homes	Closed Sales			Median Days on Market			Percent of Original List Price Received			New Listings			Pending Sales			Active Inventory			Total Inventory In Escrow			Months Supply of Active Inventory		
	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg
\$449,999 and below	4	2	100.0%	96	145	-33.8%	90.7%	78.5%	15.5%	6	2	200.0%	4	4	0.0%	16	7	128.6%	11	13	-15.4%	5.3	2.3	130.4%
\$450,000 - \$599,999	4	6	-33.3%	64	33	93.9%	96.5%	93.4%	3.3%	11	4	175.0%	14	9	55.6%	14	18	-22.2%	20	17	17.6%	2.0	3.0	-33.3%
\$600,000 - \$699,999	6	5	20.0%	5	11	-54.5%	85.0%	98.6%	-13.8%	6	15	-60.0%	8	11	-27.3%	21	39	-46.2%	18	27	-33.3%	2.3	4.9	-53.1%
\$700,000 - \$799,999	11	20	-45.0%	22	32	-31.3%	100.0%	99.3%	0.7%	16	23	-30.4%	18	28	-35.7%	45	49	-8.2%	32	42	-23.8%	3.2	3.3	-3.0%
\$800,000 - \$899,999	20	29	-31.0%	13	23	-43.5%	100.0%	98.3%	1.7%	34	32	6.3%	32	28	14.3%	57	57	0.0%	54	56	-3.6%	2.1	2.0	5.0%
\$900,000 - \$999,999	26	31	-16.1%	11	27	-59.3%	100.0%	98.5%	1.5%	36	36	0.0%	33	31	6.5%	59	64	-7.8%	47	50	-6.0%	2.0	2.4	-16.7%
\$1,000,000 - \$1,499,999	120	106	13.2%	22	16	37.5%	99.6%	99.9%	-0.3%	128	91	40.7%	104	105	-1.0%	204	204	0.0%	160	168	-4.8%	2.1	2.4	-12.5%
\$1,500,000 - 1,999,999	40	29	37.9%	12	15	-20.0%	100.0%	100.0%	0.0%	63	46	37.0%	38	47	-19.1%	139	130	6.9%	52	69	-24.6%	4.1	3.9	5.1%
\$2,000,000 - \$2,999,999	19	18	5.6%	11	35	-68.6%	102.1%	97.0%	5.3%	39	35	11.4%	20	25	-20.0%	106	98	8.2%	29	31	-6.5%	5.6	6.5	-13.8%
\$3,000,000 and above	14	13	7.7%	11	20	-45.0%	100.2%	100.0%	0.2%	25	34	-26.5%	8	14	-42.9%	133	124	7.3%	15	23	-34.8%	11.1	12.4	-10.5%
All Single-Family Homes	264	259	1.9%	17	22	-22.7%	100.0%	98.8%	1.2%	364	318	14.5%	279	302	-7.6%	794	790	0.5%	438	496	-11.7%	3.2	3.4	-5.9%

Condos	Closed Sales			Median Days on Market			Percent of Original List Price Received			New Listings			Pending Sales			Active Inventory			Total Inventory In Escrow			Months Supply of Active Inventory		
	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg	Aug-26	Aug-25	%chg
\$149,999 and below	9	9	0.0%	73	96	-24.0%	92.9%	88.9%	4.5%	23	9	155.6%	10	12	-16.7%	70	57	22.8%	21	21	0.0%	5.8	4.8	20.8%
\$150,000 - \$299,999	52	47	10.6%	68	47	44.7%	92.6%	96.6%	-4.1%	92	61	50.8%	43	56	-23.2%	367	258	42.2%	70	81	-13.6%	8.2	6.5	26.2%
\$300,000 - \$399,999	55	63	-12.7%	32	55	-41.8%	97.5%	94.9%	2.7%	104	104	0.0%	64	62	3.2%	404	434	-6.9%	90	91	-1.1%	7.0	7.4	-5.4%
\$400,000 - \$499,999	60	62	-3.2%	35	30	16.7%	97.8%	97.1%	0.7%	103	107	-3.7%	55	68	-19.1%	359	387	-7.2%	93	96	-3.1%	6.2	6.5	-4.6%
\$500,000 - \$599,999	49	55	-10.9%	30	50	-40.0%	97.5%	97.5%	0.0%	97	100	-3.0%	75	70	7.1%	285	297	-4.0%	91	112	-18.8%	5.0	5.6	-10.7%
\$600,000 - \$699,999	41	42	-2.4%	34	61	-44.3%	98.4%	97.1%	1.3%	61	69	-11.6%	45	29	55.2%	231	236	-2.1%	63	56	12.5%	6.2	6.1	1.6%
\$700,000 - \$999,999	61	60	1.7%	30	43	-30.2%	98.2%	97.1%	1.1%	104	108	-3.7%	50	71	-29.6%	392	373	5.1%	78	113	-31.0%	6.8	6.4	6.2%
\$1,000,000 - \$1,499,999	22	22	0.0%	21	70	-70.0%	97.2%	93.8%	3.6%	42	37	13.5%	25	20	25.0%	188	176	6.8%	35	34	2.9%	8.5	8.4	1.2%
\$1,500,000 - \$1,999,999	8	19	-57.9%	36	66	-45.5%	94.9%	96.8%	-2.0%	23	23	0.0%	12	4	200.0%	89	82	8.5%	16	10	60.0%	11.1	9.1	22.0%
\$2,000,000 and above	8	12	-33.3%	156	106	47.2%	91.9%	94.0%	-2.2%	35	25	40.0%	14	14	0.0%	127	112	13.4%	22	17	29.4%	14.1	12.4	13.7%
All Condos	365	391	-6.6%	37	48	-22.9%	97.1%	96.4%	0.7%	684	643	6.4%	393	406	-3.2%	2,512	2,412	4.1%	579	631	-8.2%	6.9	6.7	3.0%

SOURCE: Honolulu Board of REALTORS®, residential resales compiled from MLS data.

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Closed Sales by Price Range: Single-Family Homes

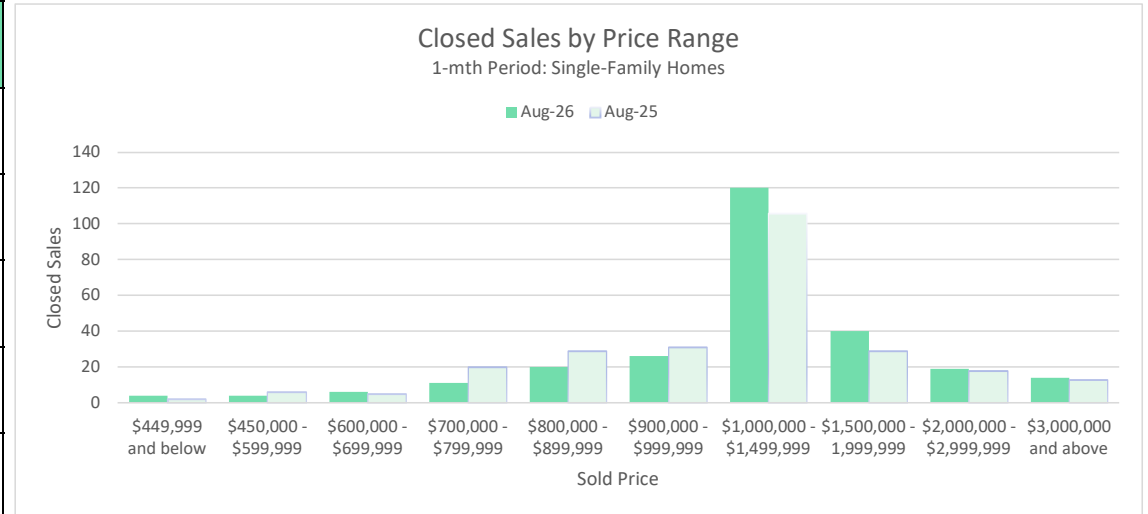
August 2026

OAHU, HAWAII

(A count of properties that have closed in a given month)

Single-Family Homes	Aug-26	Aug-25	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$449,999 and below	4	2	100.0%	37	35	5.7%
\$450,000 - \$599,999	4	6	-33.3%	83	67	23.9%
\$600,000 - \$699,999	6	5	20.0%	106	93	14.0%
\$700,000 - \$799,999	11	20	-45.0%	163	174	-6.3%
\$800,000 - \$899,999	20	29	-31.0%	320	341	-6.2%
\$900,000 - \$999,999	26	31	-16.1%	346	325	6.5%
\$1,000,000 - \$1,499,999	120	106	13.2%	1,157	1,019	13.5%
\$1,500,000 - 1,999,999	40	29	37.9%	411	393	4.6%
\$2,000,000 - \$2,999,999	19	18	5.6%	228	184	23.9%
\$3,000,000 and above	14	13	7.7%	147	120	22.5%
All Single-Family Homes	264	259	1.9%	2,998	2,751	9.0%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Closed Sales by Price Range: Condos

August 2026

OAHU, HAWAII

(A count of properties that have closed in a given month)

Condos	Aug-26	Aug-25	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$149,999 and below	9	9	0.0%	141	145	-2.8%
\$150,000 - \$299,999	52	47	10.6%	536	481	11.4%
\$300,000 - \$399,999	55	63	-12.7%	697	711	-2.0%
\$400,000 - \$499,999	60	62	-3.2%	693	718	-3.5%
\$500,000 - \$599,999	49	55	-10.9%	686	636	7.9%
\$600,000 - \$699,999	41	42	-2.4%	443	462	-4.1%
\$700,000 - \$999,999	61	60	1.7%	693	698	-0.7%
\$1,000,000 - \$1,499,999	22	22	0.0%	264	252	4.8%
\$1,500,000 - \$1,999,999	8	19	-57.9%	98	111	-11.7%
\$2,000,000 and above	8	12	-33.3%	110	102	7.8%
All Condos	365	391	-6.6%	4,361	4,316	1.0%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Median Days on Market by Price Range: Single-Family Homes

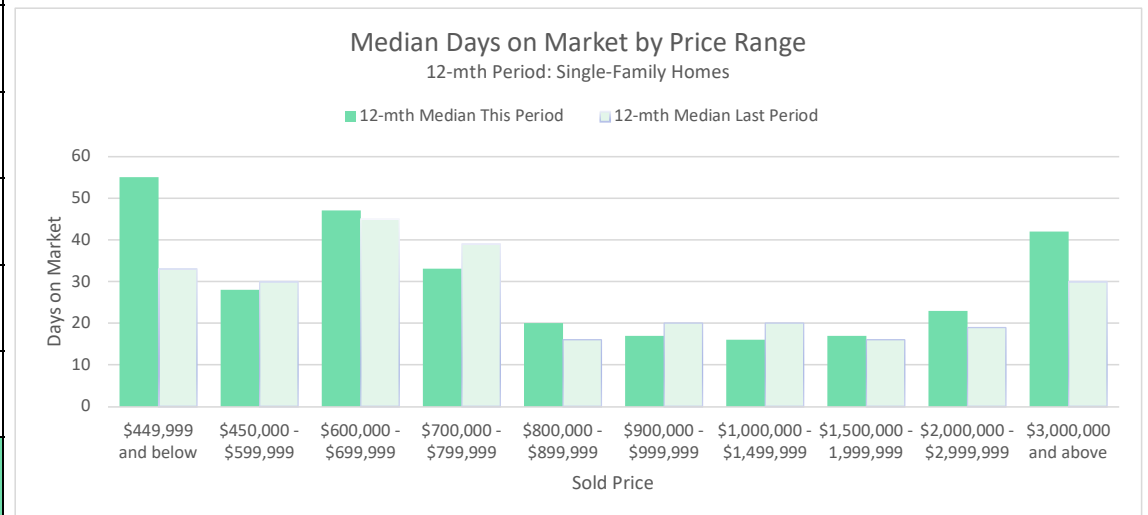
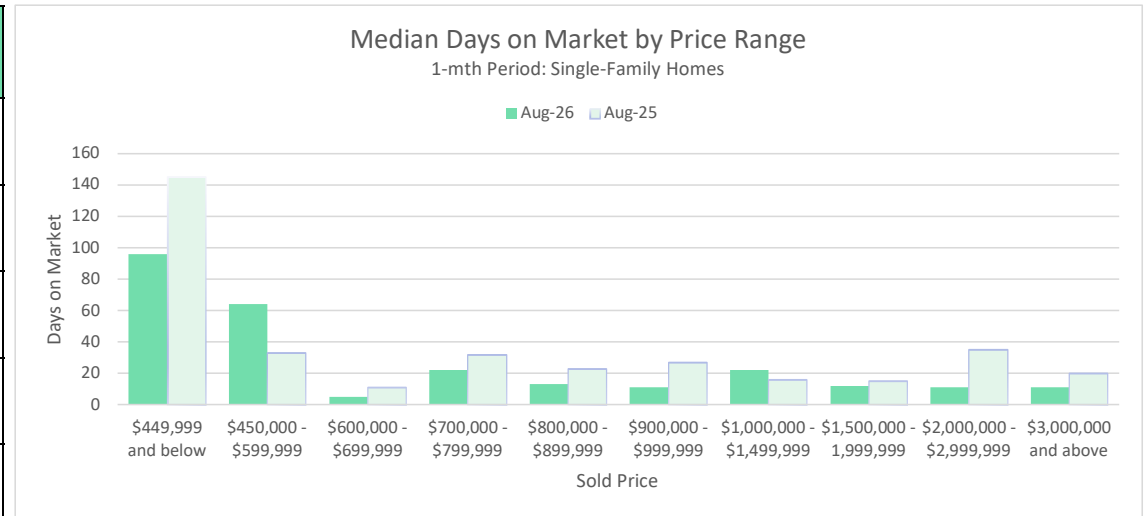
August 2026

OAHU, HAWAII

(The median number of days from when a property is first listed to when an offer is accepted)

Single-Family Homes	Aug-26	Aug-25	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$449,999 and below	96	145	-33.8%	55	33	66.7%
\$450,000 - \$599,999	64	33	93.9%	28	30	-6.7%
\$600,000 - \$699,999	5	11	-54.5%	47	45	4.4%
\$700,000 - \$799,999	22	32	-31.3%	33	39	-15.4%
\$800,000 - \$899,999	13	23	-43.5%	20	16	25.0%
\$900,000 - \$999,999	11	27	-59.3%	17	20	-15.0%
\$1,000,000 - \$1,499,999	22	16	37.5%	16	20	-20.0%
\$1,500,000 - 1,999,999	12	15	-20.0%	17	16	6.3%
\$2,000,000 - \$2,999,999	11	35	-68.6%	23	19	21.1%
\$3,000,000 and above	11	20	-45.0%	42	30	40.0%
All Single-Family Homes	17	22	-22.7%	19	21	-9.5%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Median Days on Market by Price Range: Condos

August 2026

OAHU, HAWAII

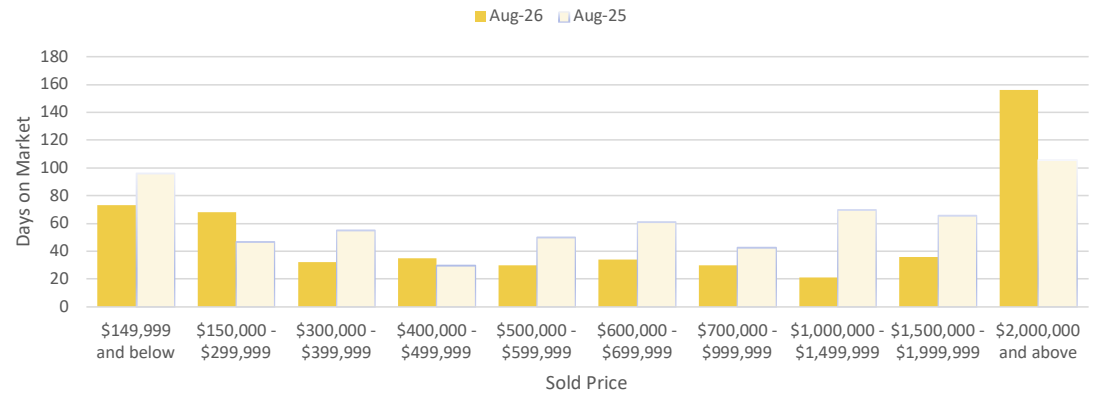
(The median number of days from when a property is first listed to when an offer is accepted)

Condos	Aug-26	Aug-25	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$149,999 and below	73	96	-24.0%	48	41	17.1%
\$150,000 - \$299,999	68	47	44.7%	53	53	0.0%
\$300,000 - \$399,999	32	55	-41.8%	45	42	7.1%
\$400,000 - \$499,999	35	30	16.7%	38	38	0.0%
\$500,000 - \$599,999	30	50	-40.0%	41	36	13.9%
\$600,000 - \$699,999	34	61	-44.3%	34	34	0.0%
\$700,000 - \$999,999	30	43	-30.2%	39	31	25.8%
\$1,000,000 - \$1,499,999	21	70	-70.0%	43	42	2.4%
\$1,500,000 - \$1,999,999	36	66	-45.5%	46	60	-23.3%
\$2,000,000 and above	156	106	47.2%	73	50	46.0%
All Condos	37	48	-22.9%	42	40	5.0%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

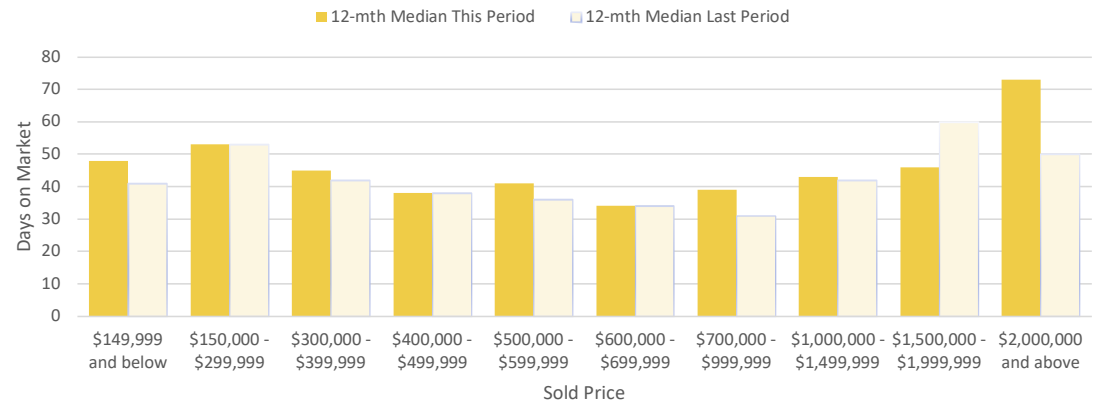
Median Days on Market by Price Range

1-mth Period: Condos



Median Days on Market by Price Range

12-mth Period: Condos



Median Percent of Original List Price Received by Price Range: Single-Family Homes

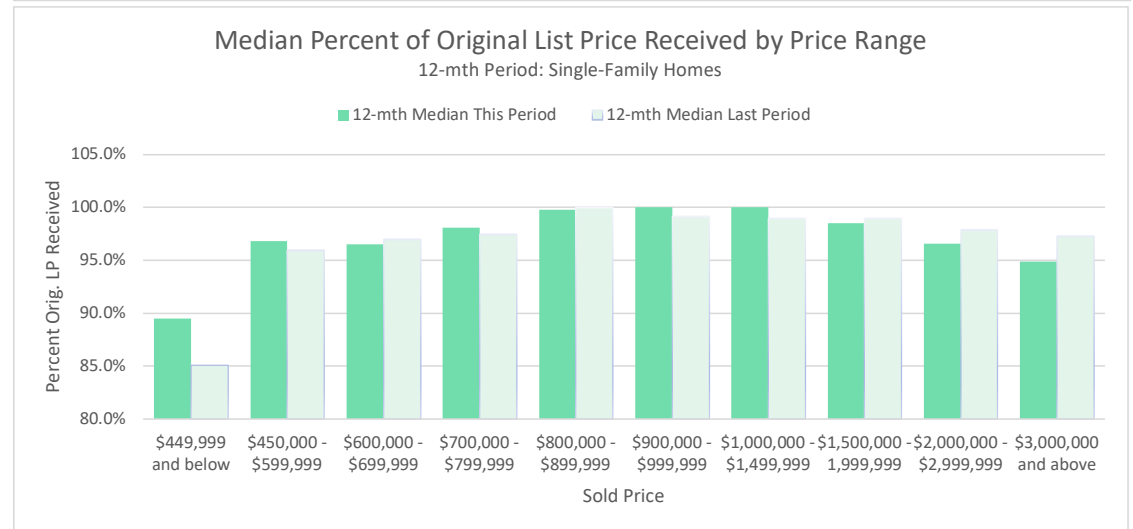
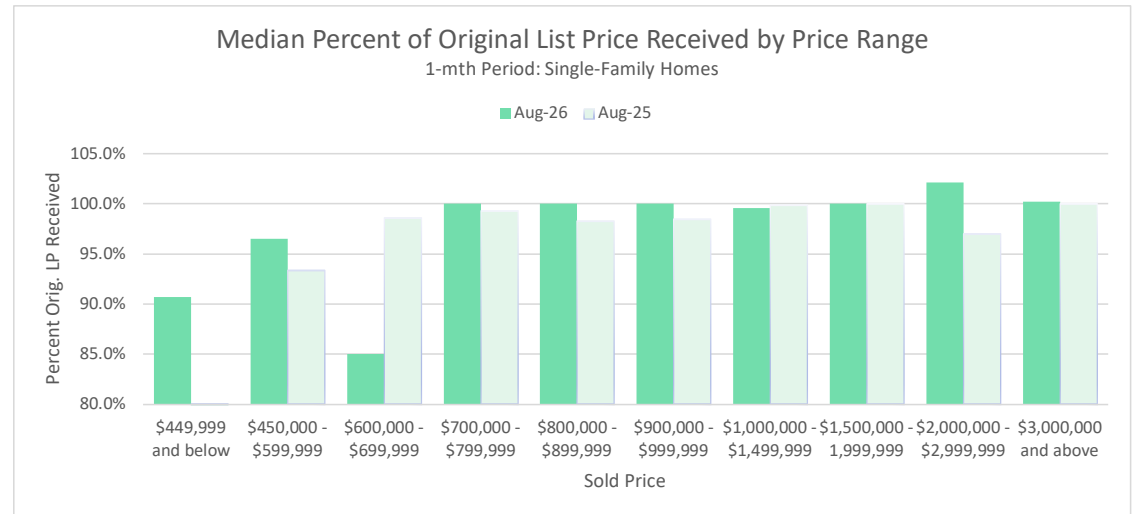
August 2026

OAHU, HAWAII

(The percentage found when dividing a property's sales price by the original list price; reported percentage is the median of all sales for the period and price range indicated)

Single-Family Homes	Aug-26	Aug-25	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$449,999 and below	90.7%	78.5%	15.5%	89.5%	85.1%	5.2%
\$450,000 - \$599,999	96.5%	93.4%	3.3%	96.8%	96.0%	0.8%
\$600,000 - \$699,999	85.0%	98.6%	-13.8%	96.5%	97.0%	-0.5%
\$700,000 - \$799,999	100.0%	99.3%	0.7%	98.1%	97.5%	0.6%
\$800,000 - \$899,999	100.0%	98.3%	1.7%	99.8%	100.0%	-0.2%
\$900,000 - \$999,999	100.0%	98.5%	1.5%	100.0%	99.2%	0.8%
\$1,000,000 - \$1,499,999	99.6%	99.9%	-0.3%	100.0%	99.0%	1.0%
\$1,500,000 - 1,999,999	100.0%	100.0%	0.0%	98.5%	99.0%	-0.5%
\$2,000,000 - \$2,999,999	102.1%	97.0%	5.3%	96.6%	97.9%	-1.3%
\$3,000,000 and above	100.2%	100.0%	0.2%	94.9%	97.3%	-2.5%
All Single-Family Homes	100.0%	98.8%	1.2%	98.8%	98.7%	0.1%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Median Percent of Original List Price Received by Price Range: Condos

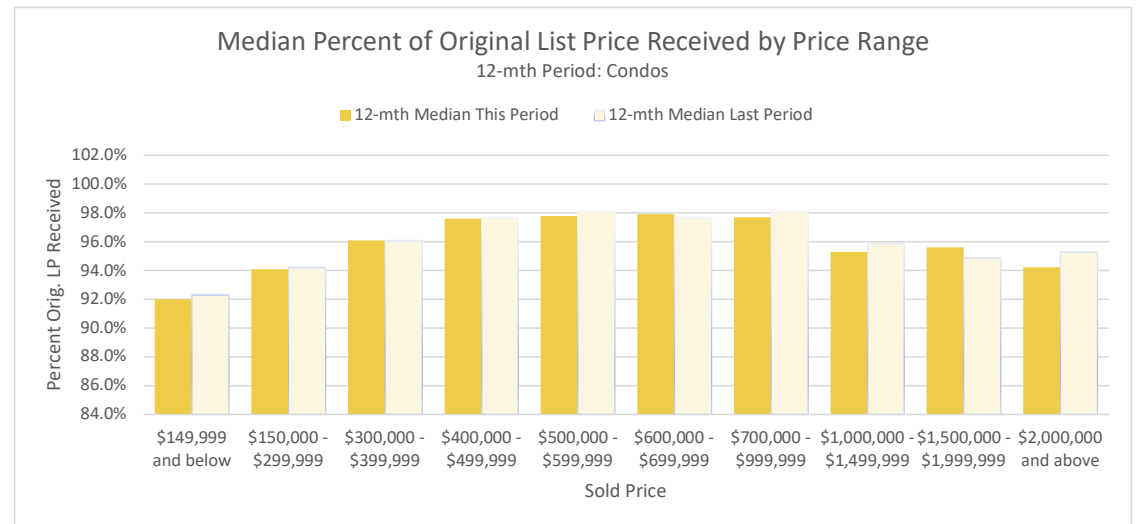
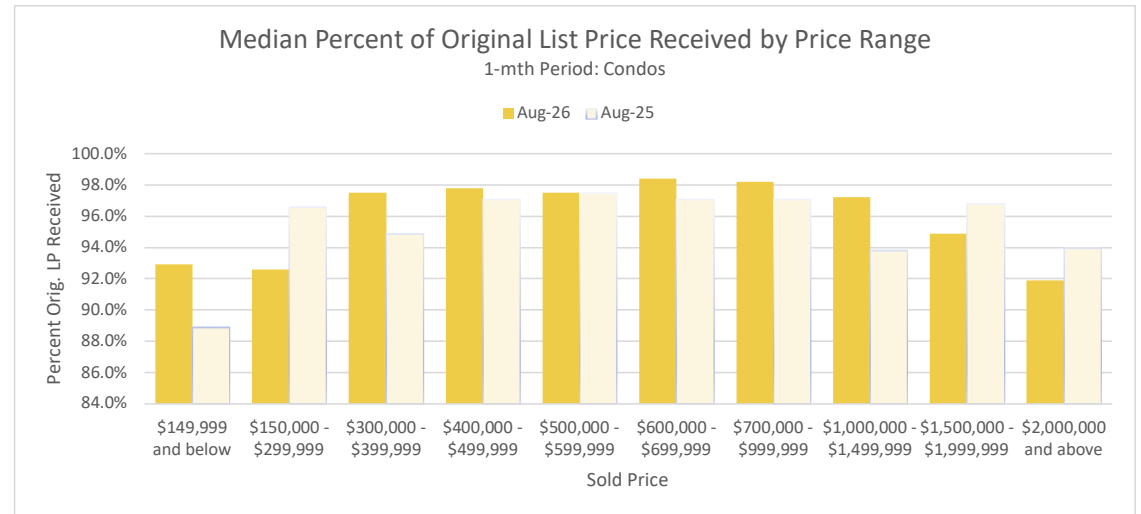
August 2026

OAHU, HAWAII

(The percentage found when dividing a property's sales price by the original list price; reported percentage is the median of all sales for the period and price range indicated)

Condos	Aug-26	Aug-25	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$149,999 and below	92.9%	88.9%	4.5%	92.0%	92.3%	-0.3%
\$150,000 - \$299,999	92.6%	96.6%	-4.1%	94.1%	94.2%	-0.1%
\$300,000 - \$399,999	97.5%	94.9%	2.7%	96.1%	96.1%	0.0%
\$400,000 - \$499,999	97.8%	97.1%	0.7%	97.6%	97.7%	-0.1%
\$500,000 - \$599,999	97.5%	97.5%	0.0%	97.8%	98.2%	-0.4%
\$600,000 - \$699,999	98.4%	97.1%	1.3%	97.9%	97.7%	0.2%
\$700,000 - \$999,999	98.2%	97.1%	1.1%	97.7%	98.2%	-0.5%
\$1,000,000 - \$1,499,999	97.2%	93.8%	3.6%	95.3%	95.9%	-0.6%
\$1,500,000 - \$1,999,999	94.9%	96.8%	-2.0%	95.6%	94.9%	0.7%
\$2,000,000 and above	91.9%	94.0%	-2.2%	94.2%	95.3%	-1.2%
All Condos	97.1%	96.4%	0.7%	96.7%	97.1%	-0.4%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



New Listings by Price Range: Single-Family Homes

August 2026

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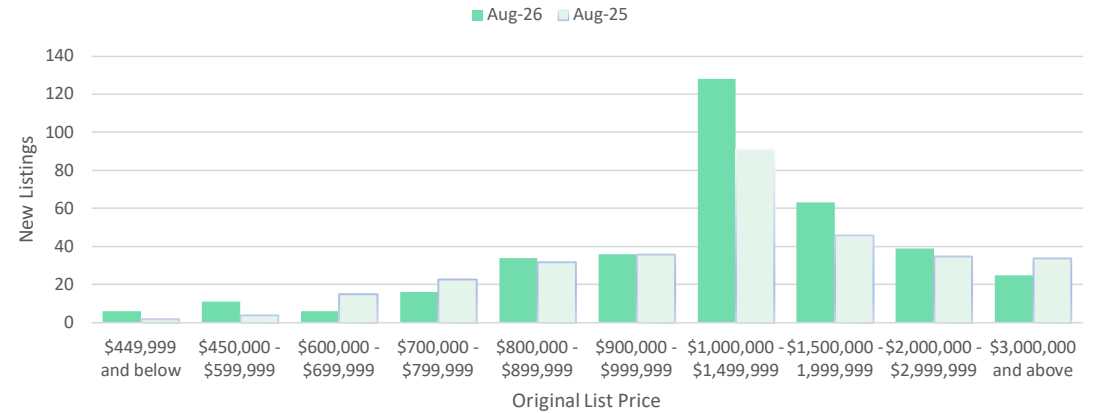
(A count of properties that have been newly listed on the market in a given month)

Single-Family Homes	Aug-26	Aug-25	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$449,999 and below	6	2	200.0%	48	34	41.2%
\$450,000 - \$599,999	11	4	175.0%	108	89	21.3%
\$600,000 - \$699,999	6	15	-60.0%	115	171	-32.7%
\$700,000 - \$799,999	16	23	-30.4%	229	264	-13.3%
\$800,000 - \$899,999	34	32	6.3%	362	423	-14.4%
\$900,000 - \$999,999	36	36	0.0%	422	448	-5.8%
\$1,000,000 - \$1,499,999	128	91	40.7%	1,332	1,318	1.1%
\$1,500,000 - 1,999,999	63	46	37.0%	586	588	-0.3%
\$2,000,000 - \$2,999,999	39	35	11.4%	392	323	21.4%
\$3,000,000 and above	25	34	-26.5%	326	327	-0.3%
All Single-Family Homes	364	318	14.5%	3,920	3,985	-1.6%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

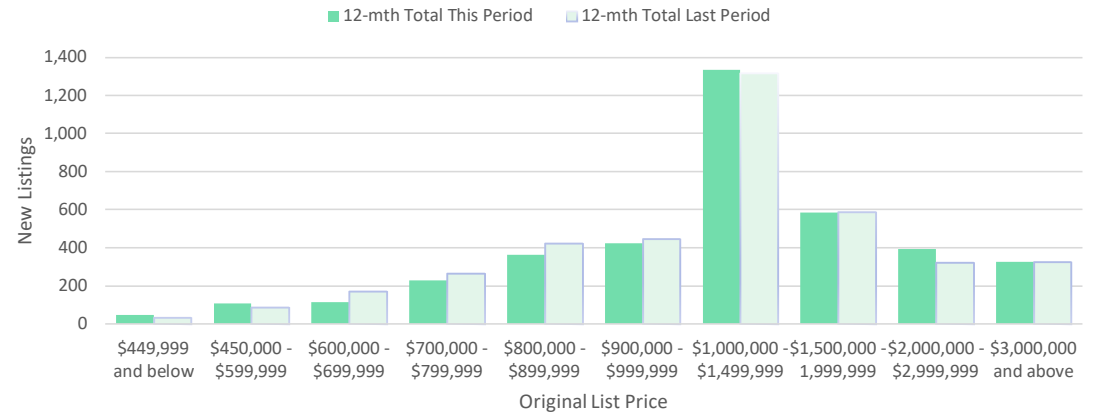
New Listings by Price Range

1-mth Period: Single-Family Homes



New Listings by Price Range

12-mth Period: Single-Family Homes



New Listings by Price Range: Condos

August 2026

OAHU, HAWAII

(A count of properties that have been newly listed on the market in a given month)

Condos	Aug-26	Aug-25	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$149,999 and below	23	9	155.6%	197	191	3.1%
\$150,000 - \$299,999	92	61	50.8%	880	790	11.4%
\$300,000 - \$399,999	104	104	0.0%	1,254	1,245	0.7%
\$400,000 - \$499,999	103	107	-3.7%	1,219	1,330	-8.3%
\$500,000 - \$599,999	97	100	-3.0%	1,129	1,164	-3.0%
\$600,000 - \$699,999	61	69	-11.6%	727	857	-15.2%
\$700,000 - \$999,999	104	108	-3.7%	1,311	1,349	-2.8%
\$1,000,000 - \$1,499,999	42	37	13.5%	517	527	-1.9%
\$1,500,000 - \$1,999,999	23	23	0.0%	255	214	19.2%
\$2,000,000 and above	35	25	40.0%	259	279	-7.2%
All Condos	684	643	6.4%	7,748	7,946	-2.5%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

New Listings by Price Range

1-mth Period: Condos



New Listings by Price Range

12-mth Period: Condos



Pending Sales by Price Range: Single-Family Homes

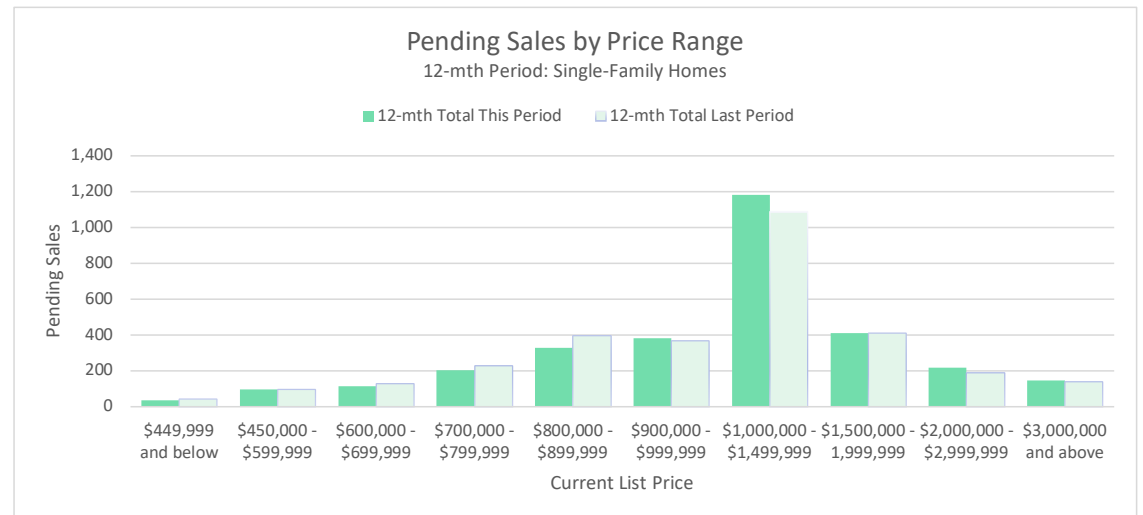
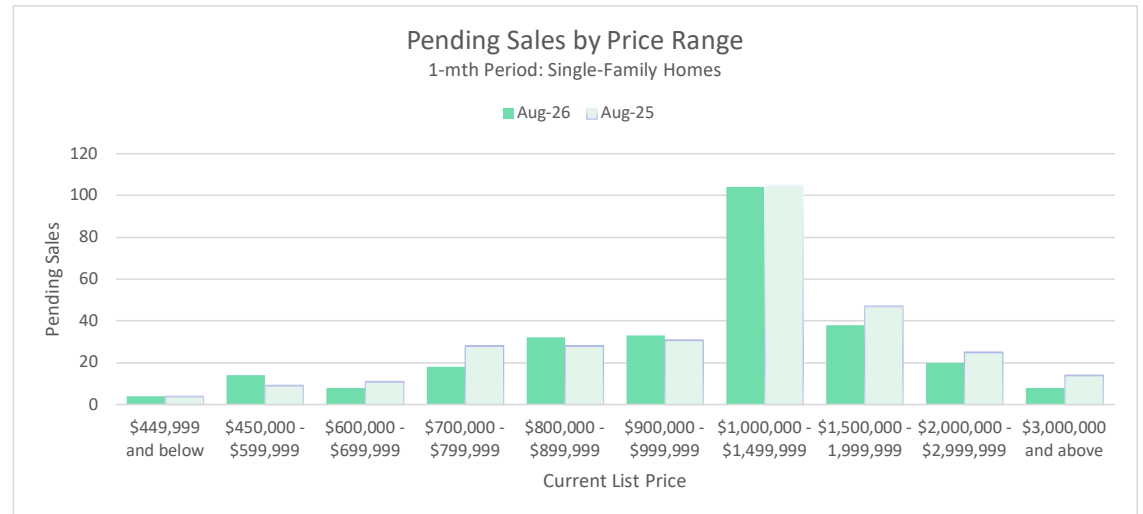
August 2026

OAHU, HAWAII

(A measure of contract activity / a count of properties that have had offers accepted on them in a given month)

Single-Family Homes	Aug-26	Aug-25	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$449,999 and below	4	4	0.0%	34	41	-17.1%
\$450,000 - \$599,999	14	9	55.6%	95	95	0.0%
\$600,000 - \$699,999	8	11	-27.3%	113	126	-10.3%
\$700,000 - \$799,999	18	28	-35.7%	201	226	-11.1%
\$800,000 - \$899,999	32	28	14.3%	326	395	-17.5%
\$900,000 - \$999,999	33	31	6.5%	380	366	3.8%
\$1,000,000 - \$1,499,999	104	105	-1.0%	1,182	1,089	8.5%
\$1,500,000 - 1,999,999	38	47	-19.1%	409	410	-0.2%
\$2,000,000 - \$2,999,999	20	25	-20.0%	215	189	13.8%
\$3,000,000 and above	8	14	-42.9%	143	137	4.4%
All Single-Family Homes	279	302	-7.6%	3,098	3,074	0.8%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Pending Sales by Price Range: Condos

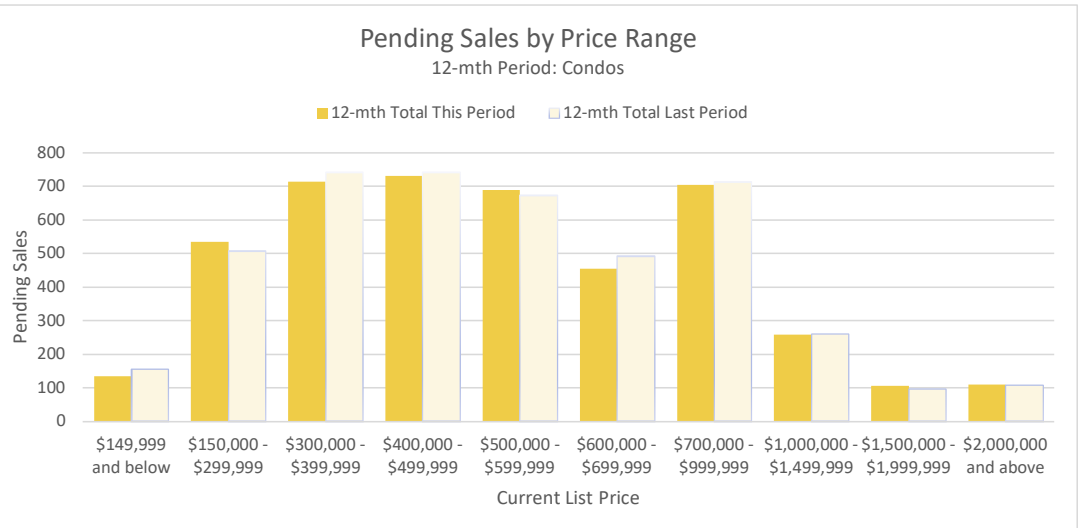
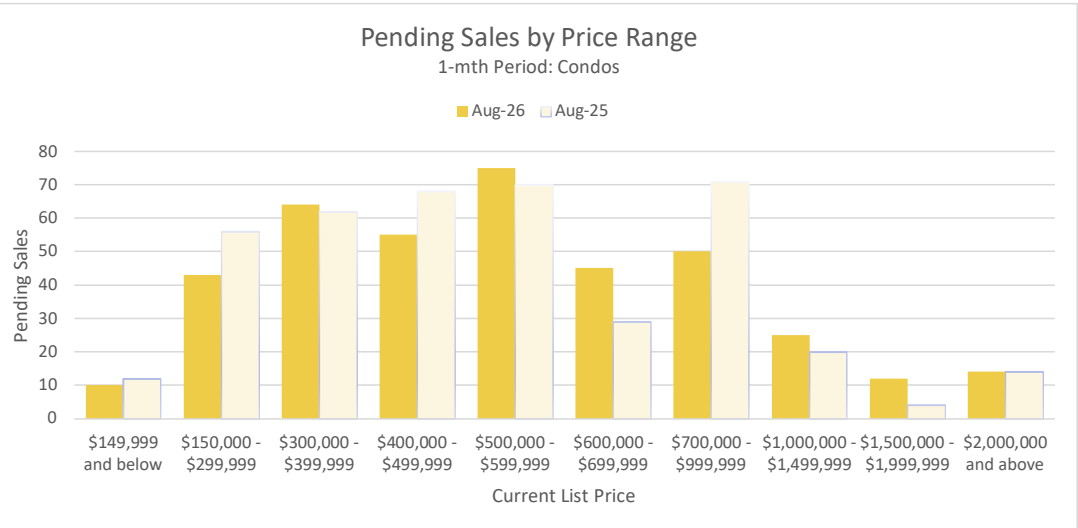
August 2026

OAHU, HAWAII

(A measure of contract activity / a count of properties that have had offers accepted on them in a given month)

Condos	Aug-26	Aug-25	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$149,999 and below	10	12	-16.7%	134	155	-13.5%
\$150,000 - \$299,999	43	56	-23.2%	535	508	5.3%
\$300,000 - \$399,999	64	62	3.2%	714	742	-3.8%
\$400,000 - \$499,999	55	68	-19.1%	731	742	-1.5%
\$500,000 - \$599,999	75	70	7.1%	690	674	2.4%
\$600,000 - \$699,999	45	29	55.2%	454	493	-7.9%
\$700,000 - \$999,999	50	71	-29.6%	704	714	-1.4%
\$1,000,000 - \$1,499,999	25	20	25.0%	259	261	-0.8%
\$1,500,000 - \$1,999,999	12	4	200.0%	105	97	8.2%
\$2,000,000 and above	14	14	0.0%	109	107	1.9%
All Condos	393	406	-3.2%	4,435	4,493	-1.3%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



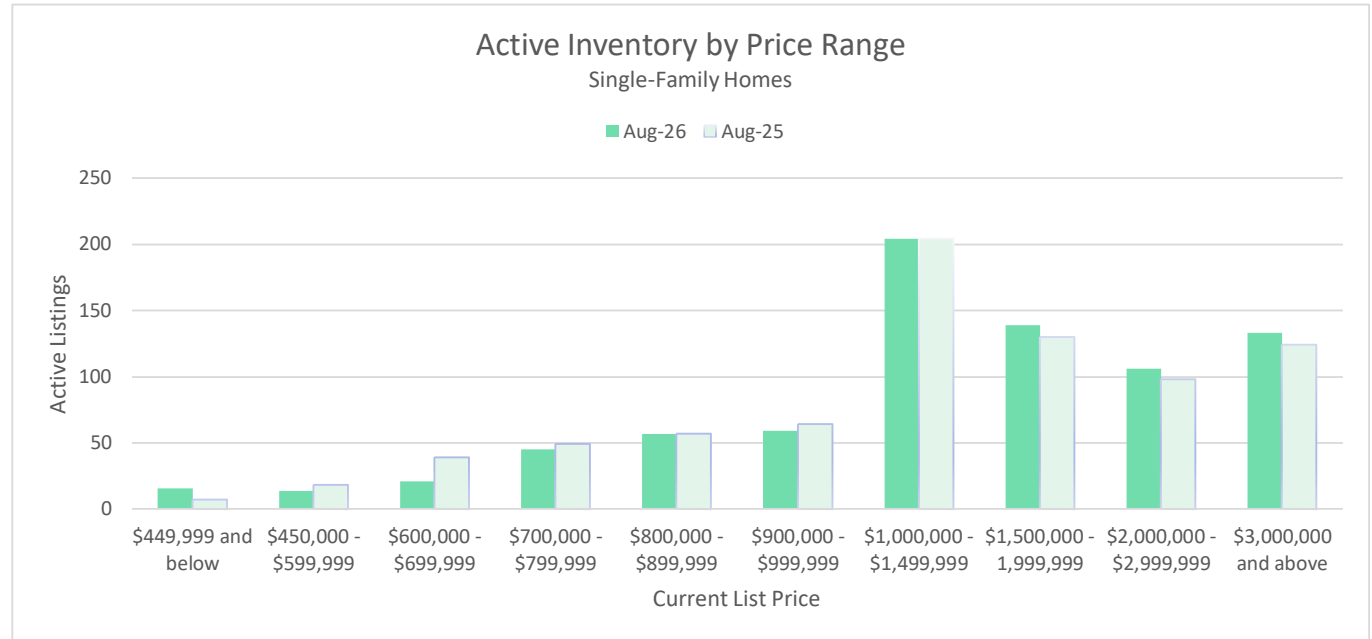
Active Inventory* by Price Range: Single-Family Homes

August 2026

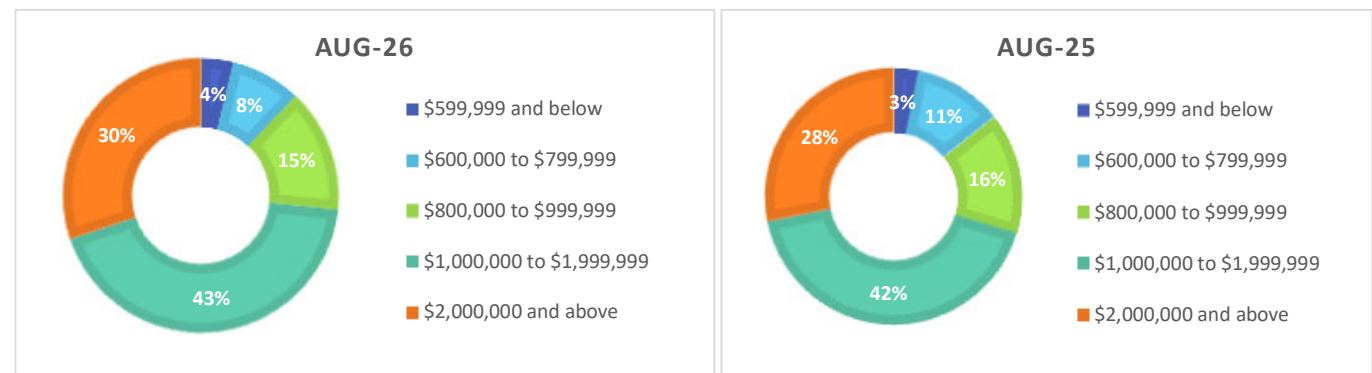
OAHU, HAWAII

(The number of properties active on market at the end of a given month)

Single-Family Homes	Aug-26	Aug-25	YOY chg
\$449,999 and below	16	7	128.6%
\$450,000 - \$599,999	14	18	-22.2%
\$600,000 - \$699,999	21	39	-46.2%
\$700,000 - \$799,999	45	49	-8.2%
\$800,000 - \$899,999	57	57	0.0%
\$900,000 - \$999,999	59	64	-7.8%
\$1,000,000 - \$1,499,999	204	204	0.0%
\$1,500,000 - 1,999,999	139	130	6.9%
\$2,000,000 - \$2,999,999	106	98	8.2%
\$3,000,000 and above	133	124	7.3%
All Single-Family Homes	794	790	0.5%



Active Inventory - Percent Share by Price Range (portion of total active status listings represented by a given price range)



*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

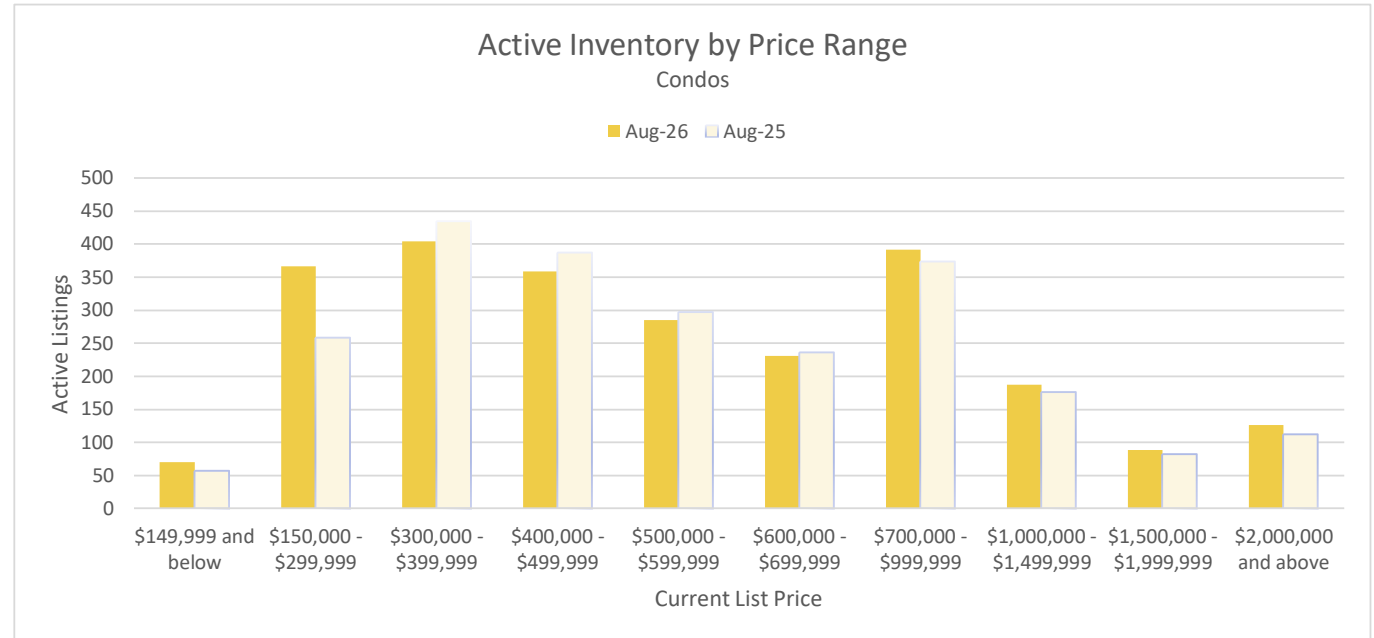
Active Inventory* by Price Range: Condos

August 2026

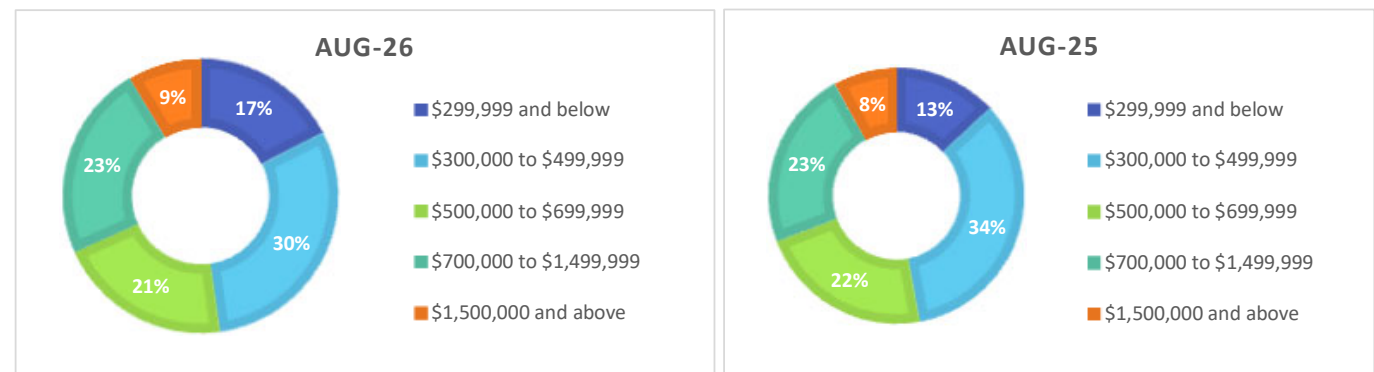
OAHU, HAWAII

(The number of properties active on market at the end of a given month)

Condos	Aug-26	Aug-25	YOY chg
\$149,999 and below	70	57	22.8%
\$150,000 - \$299,999	367	258	42.2%
\$300,000 - \$399,999	404	434	-6.9%
\$400,000 - \$499,999	359	387	-7.2%
\$500,000 - \$599,999	285	297	-4.0%
\$600,000 - \$699,999	231	236	-2.1%
\$700,000 - \$999,999	392	373	5.1%
\$1,000,000 - \$1,499,999	188	176	6.8%
\$1,500,000 - \$1,999,999	89	82	8.5%
\$2,000,000 and above	127	112	13.4%
All Condos	2,512	2,412	4.1%



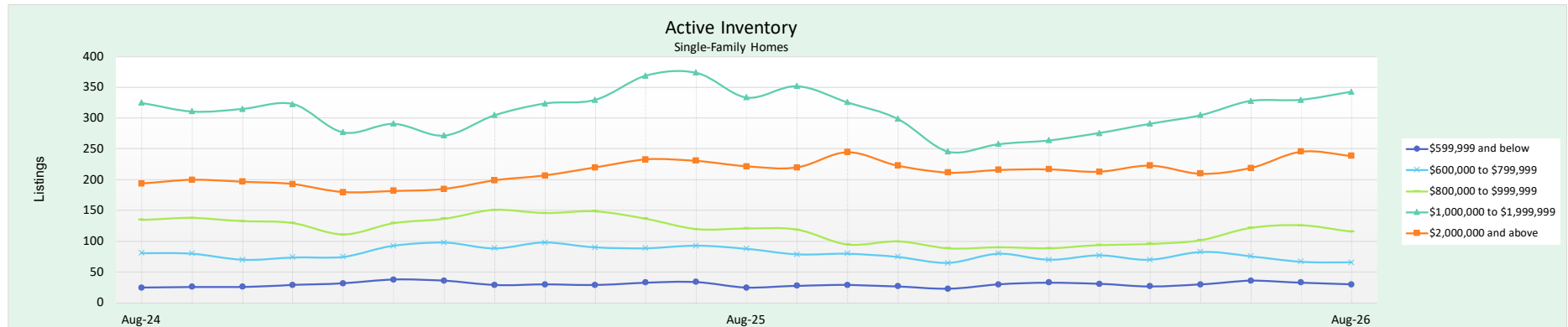
Active Inventory - Percent Share by Price Range (portion of total active status listings represented by a given price range)



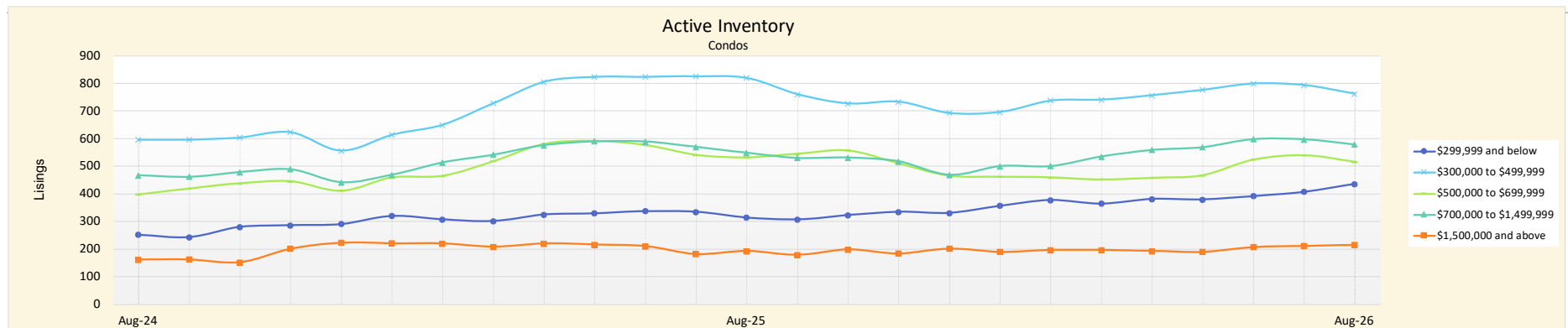
*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

Active Inventory*: Single-Family Homes and Condos

August 2026
OAHU, HAWAII



Single-Family Homes	A-24	S-24	O-24	N-24	D-24	J-25	F-25	M-25	A-25	M-25	J-25	J-25	A-25	S-25	O-25	N-25	D-25	J-26	F-26	M-26	A-26	M-26	J-26	J-26	A-26
\$599,999 and below	25	26	26	29	32	38	36	29	30	29	33	34	25	28	29	27	23	30	33	31	27	30	36	33	30
\$600,000 to \$799,999	81	80	70	74	75	93	98	89	98	90	89	93	88	79	80	75	65	80	70	77	70	83	76	67	66
\$800,000 to \$999,999	135	138	133	130	111	130	137	151	146	149	137	120	121	119	95	100	89	90	89	94	96	102	122	126	116
\$1,000,000 to \$1,999,999	325	311	315	323	277	291	272	305	324	330	369	374	334	352	326	299	246	258	264	276	291	305	328	330	343
\$2,000,000 and above	194	200	197	193	180	182	185	199	207	220	233	231	222	220	245	223	212	216	217	213	223	210	219	246	239
Total	760	755	741	749	675	734	728	773	805	818	861	852	790	798	775	724	635	674	673	691	707	730	781	802	794



Condos	A-24	S-24	O-24	N-24	D-24	J-25	F-25	M-25	A-25	M-25	J-25	J-25	A-25	S-25	O-25	N-25	D-25	J-26	F-26	M-26	A-26	M-26	J-26	J-26	A-26
\$299,999 and below	253	244	281	287	292	321	308	302	326	331	338	336	315	308	324	336	332	358	378	366	382	380	393	408	437
\$300,000 to \$499,999	597	597	605	624	557	615	651	729	806	825	825	827	821	762	728	734	694	697	739	742	758	778	800	795	763
\$500,000 to \$699,999	399	420	439	446	412	460	466	519	582	592	578	542	533	546	558	511	467	463	460	453	459	468	525	541	516
\$700,000 to \$1,499,999	468	463	479	490	443	470	514	543	577	591	590	571	549	531	532	518	470	501	502	536	560	570	599	598	580
\$1,500,000 and above	162	163	153	202	224	222	221	209	221	217	211	183	194	180	199	185	202	191	197	197	194	191	208	212	216
Total	1,879	1,887	1,957	2,049	1,928	2,088	2,160	2,302	2,512	2,556	2,542	2,459	2,412	2,327	2,341	2,284	2,165	2,210	2,276	2,294	2,353	2,387	2,525	2,554	2,512

*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

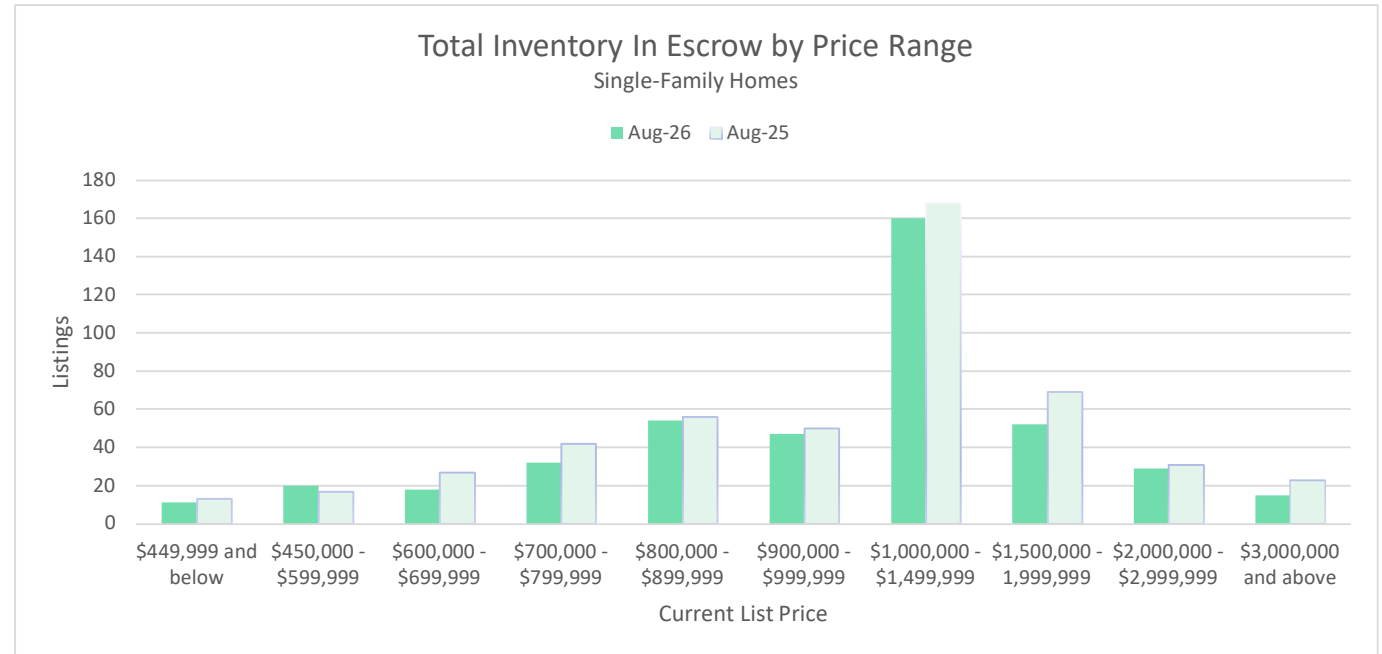
Total Inventory In Escrow* by Price Range: Single-Family Homes

August 2026

OAHU, HAWAII

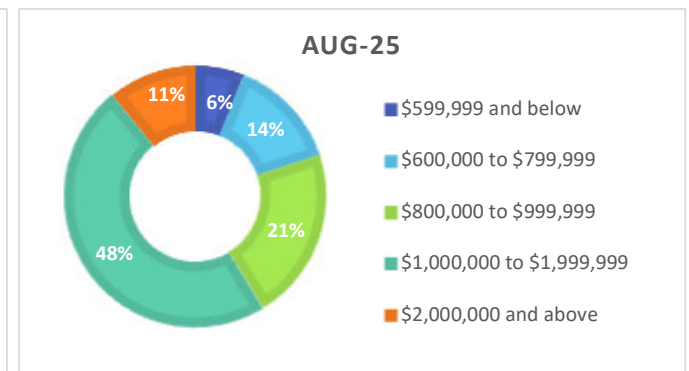
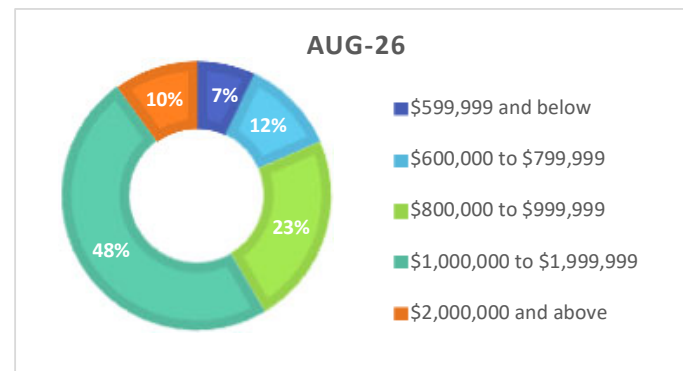
(The number of properties in an escrow status at the end of a given month)

Single-Family Homes	Aug-26	Aug-25	YOY chg
\$449,999 and below	11	13	-15.4%
\$450,000 - \$599,999	20	17	17.6%
\$600,000 - \$699,999	18	27	-33.3%
\$700,000 - \$799,999	32	42	-23.8%
\$800,000 - \$899,999	54	56	-3.6%
\$900,000 - \$999,999	47	50	-6.0%
\$1,000,000 - \$1,499,999	160	168	-4.8%
\$1,500,000 - 1,999,999	52	69	-24.6%
\$2,000,000 - \$2,999,999	29	31	-6.5%
\$3,000,000 and above	15	23	-34.8%
All Single-Family Homes	438	496	-11.7%



Total Inventory In Escrow - Percent Share by Price Range

(portion of total inventory in escrow represented by a given price range)



*New indicator added to reports as of 2021, including applicable historical data.

Total Inventory In Escrow* by Price Range: Condos

August 2026

OAHU, HAWAII

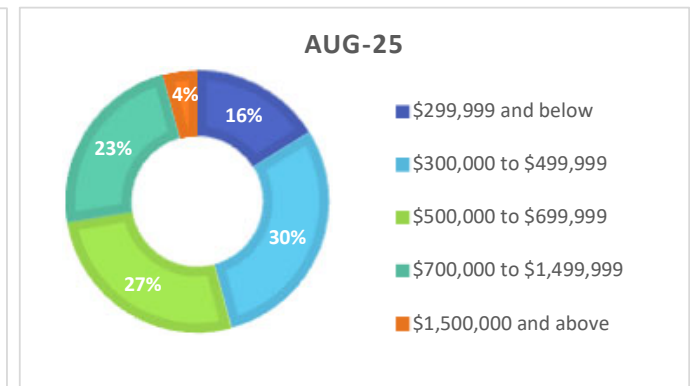
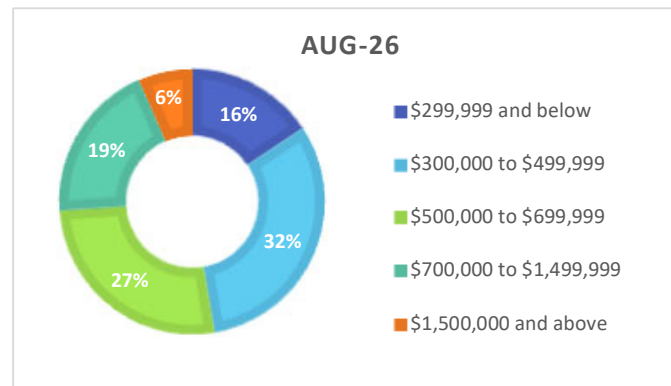
(The number of properties in an escrow status at the end of a given month)

Condos	Aug-26	Aug-25	YOY chg
\$149,999 and below	21	21	0.0%
\$150,000 - \$299,999	70	81	-13.6%
\$300,000 - \$399,999	90	91	-1.1%
\$400,000 - \$499,999	93	96	-3.1%
\$500,000 - \$599,999	91	112	-18.8%
\$600,000 - \$699,999	63	56	12.5%
\$700,000 - \$999,999	78	113	-31.0%
\$1,000,000 - \$1,499,999	35	34	2.9%
\$1,500,000 - \$1,999,999	16	10	60.0%
\$2,000,000 and above	22	17	29.4%
All Condos	579	631	-8.2%



Total Inventory In Escrow - Percent Share by Price Range

(portion of total inventory in escrow represented by a given price range)



*New indicator added to reports as of 2021, including applicable historical data.

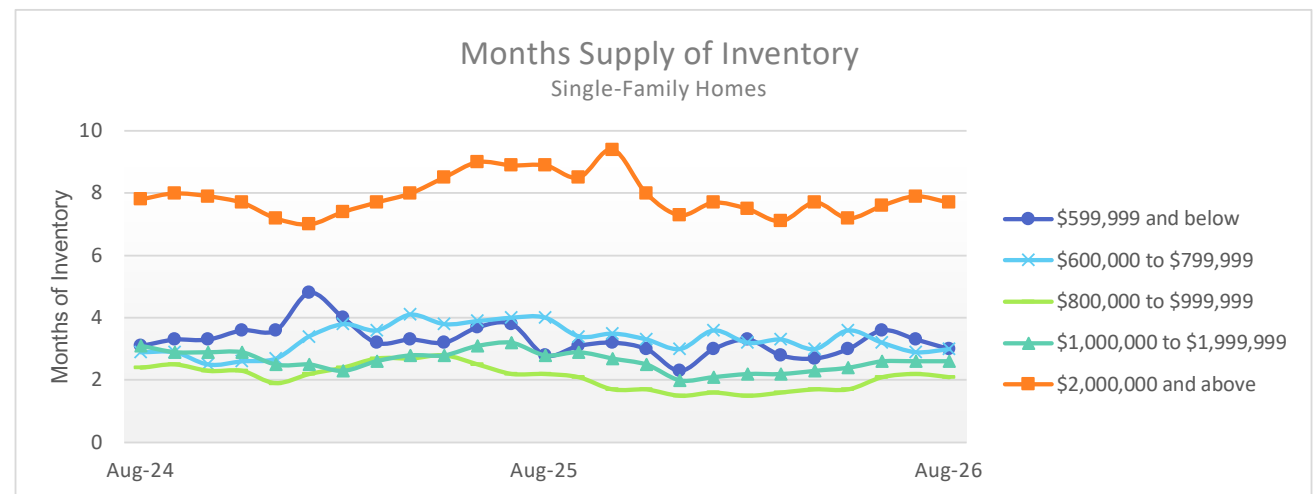
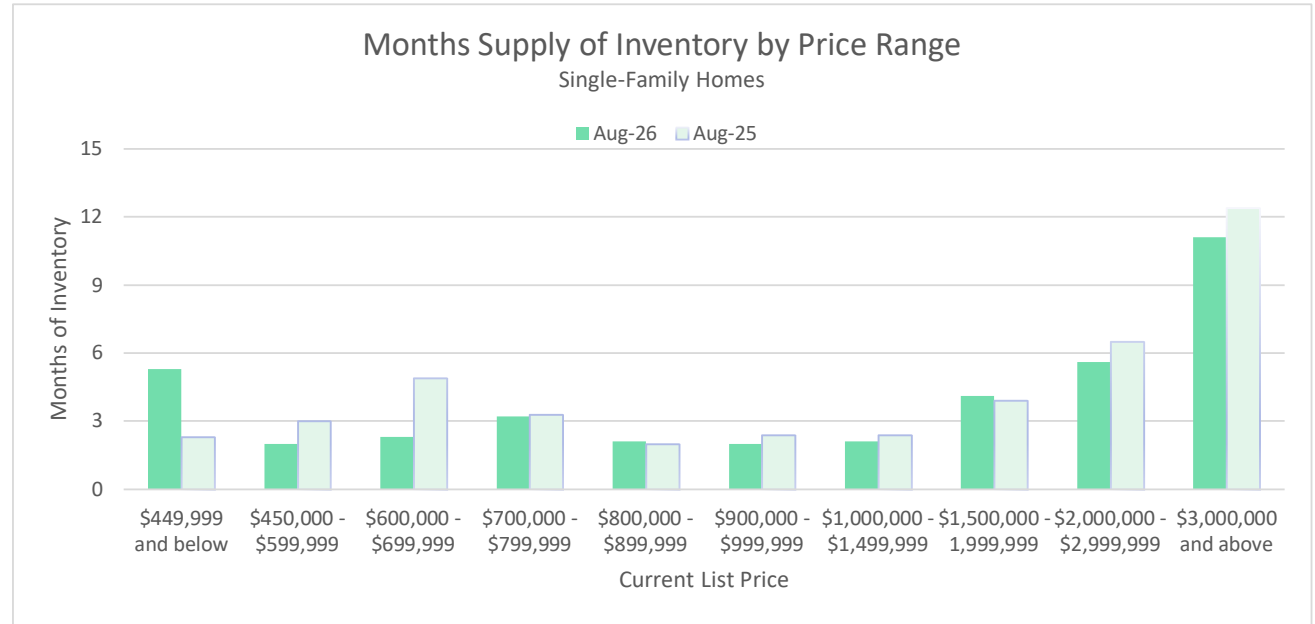
Months Supply of Active Inventory by Price Range: Single-Family Homes

August 2026

OAHU, HAWAII

(Compares active inventory to a rolling 12-month average closed sales)

Single-Family Homes	Aug-26	Aug-25	YOY chg
\$449,999 and below	5.3	2.3	130.4%
\$450,000 - \$599,999	2.0	3.0	-33.3%
\$600,000 - \$699,999	2.3	4.9	-53.1%
\$700,000 - \$799,999	3.2	3.3	-3.0%
\$800,000 - \$899,999	2.1	2.0	5.0%
\$900,000 - \$999,999	2.0	2.4	-16.7%
\$1,000,000 - \$1,499,999	2.1	2.4	-12.5%
\$1,500,000 - 1,999,999	4.1	3.9	5.1%
\$2,000,000 - \$2,999,999	5.6	6.5	-13.8%
\$3,000,000 and above	11.1	12.4	-10.5%
All Single-Family Homes	3.2	3.4	-5.9%



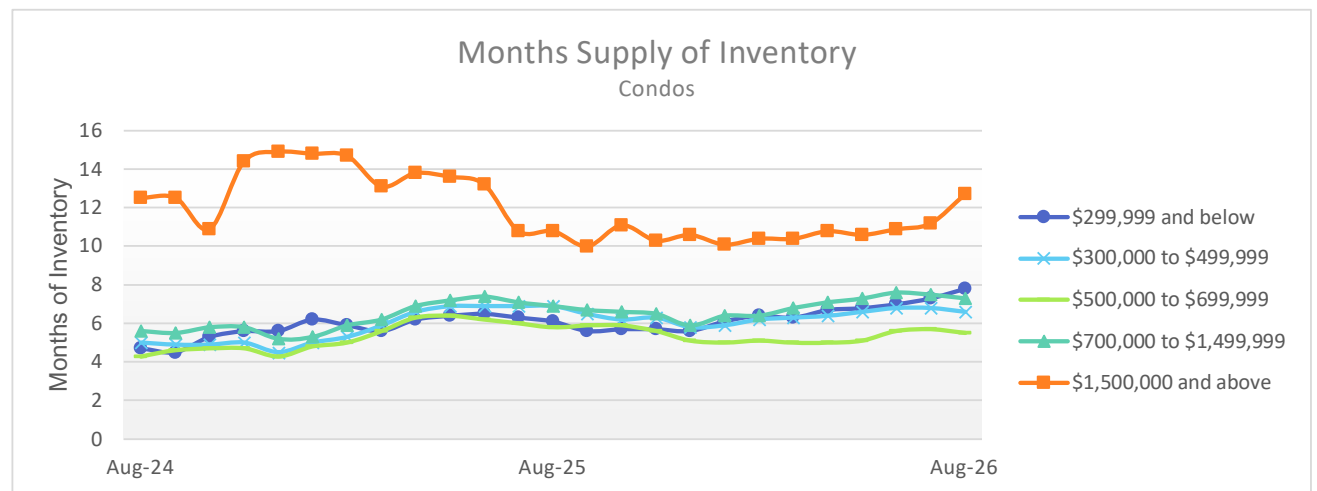
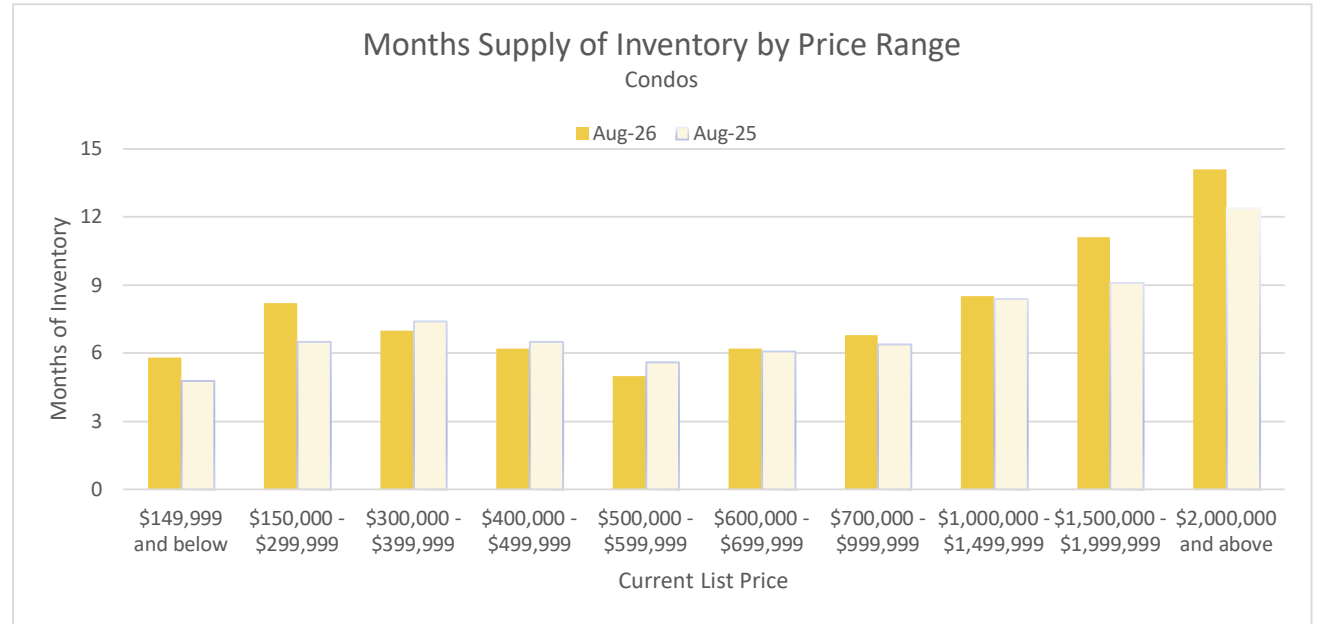
Months Supply of Active Inventory by Price Range: Condos

August 2026

OAHU, HAWAII

(Compares active inventory to a rolling 12-month average closed sales)

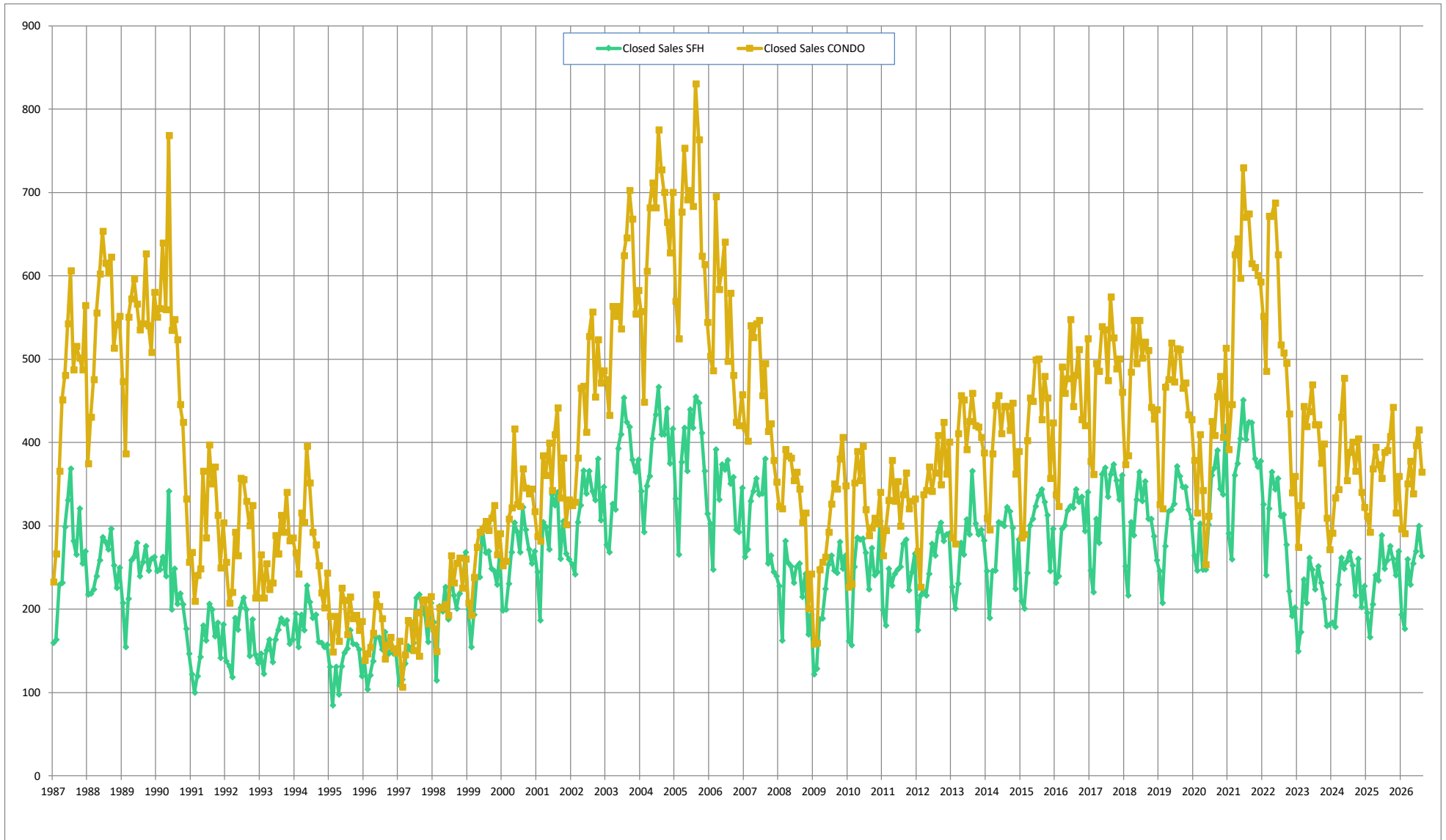
Condos	Aug-26	Aug-25	YOY chg
\$149,999 and below	5.8	4.8	20.8%
\$150,000 - \$299,999	8.2	6.5	26.2%
\$300,000 - \$399,999	7.0	7.4	-5.4%
\$400,000 - \$499,999	6.2	6.5	-4.6%
\$500,000 - \$599,999	5.0	5.6	-10.7%
\$600,000 - \$699,999	6.2	6.1	1.6%
\$700,000 - \$999,999	6.8	6.4	6.2%
\$1,000,000 - \$1,499,999	8.5	8.4	1.2%
\$1,500,000 - \$1,999,999	11.1	9.1	22.0%
\$2,000,000 and above	14.1	12.4	13.7%
All Condos	6.9	6.7	3.0%



Closed Sales

Single-Family Homes and Condos

OAHU, HAWAII: Jan 1987 to the Present



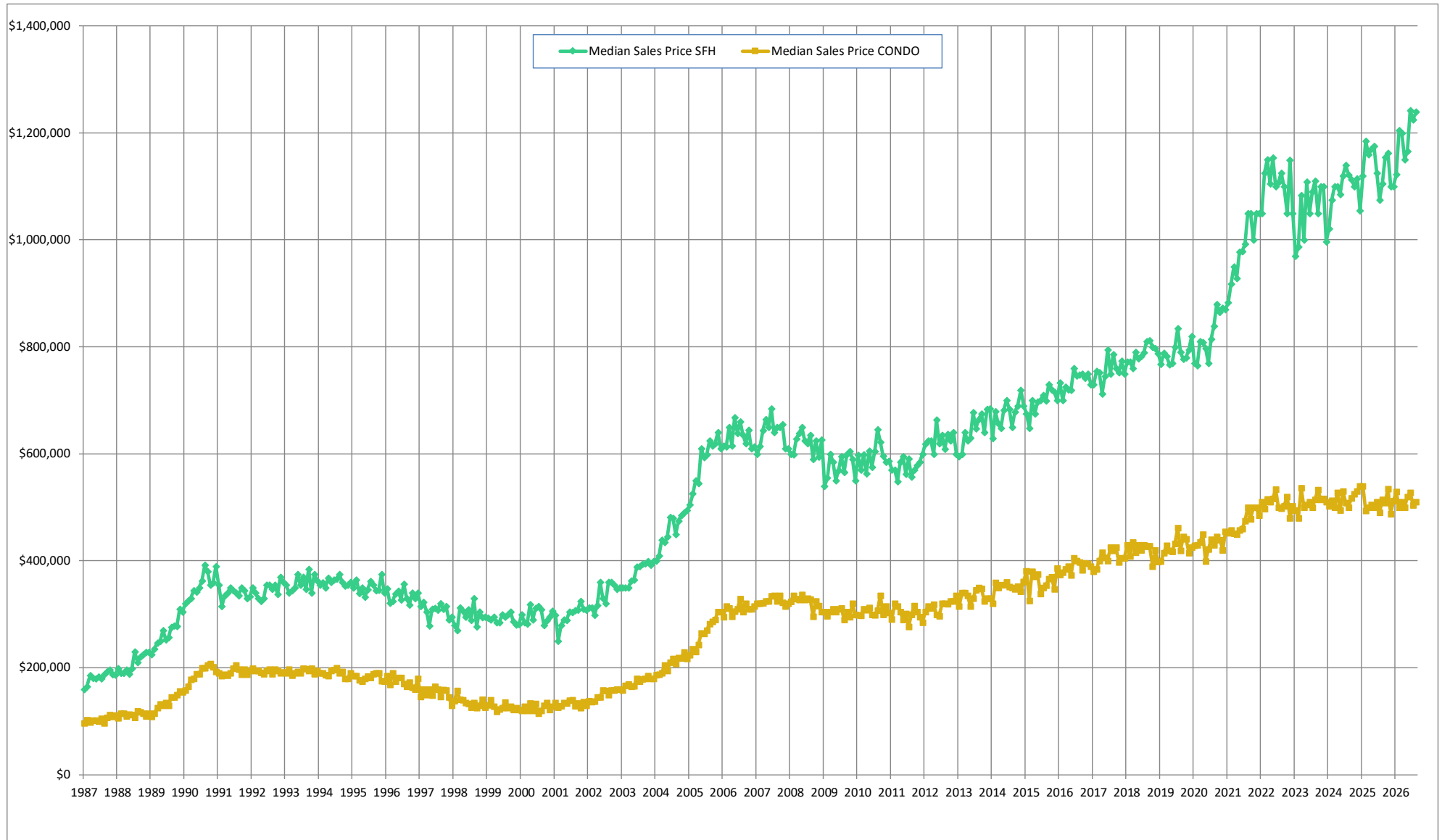
SOURCE: Honolulu Board of REALTORS®, compiled from MLS data.

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Median Sales Price

Single-Family Homes and Condos

OAHU, HAWAII: Jan 1987 to the Present



SOURCE: Honolulu Board of REALTORS®, compiled from MLS data.

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