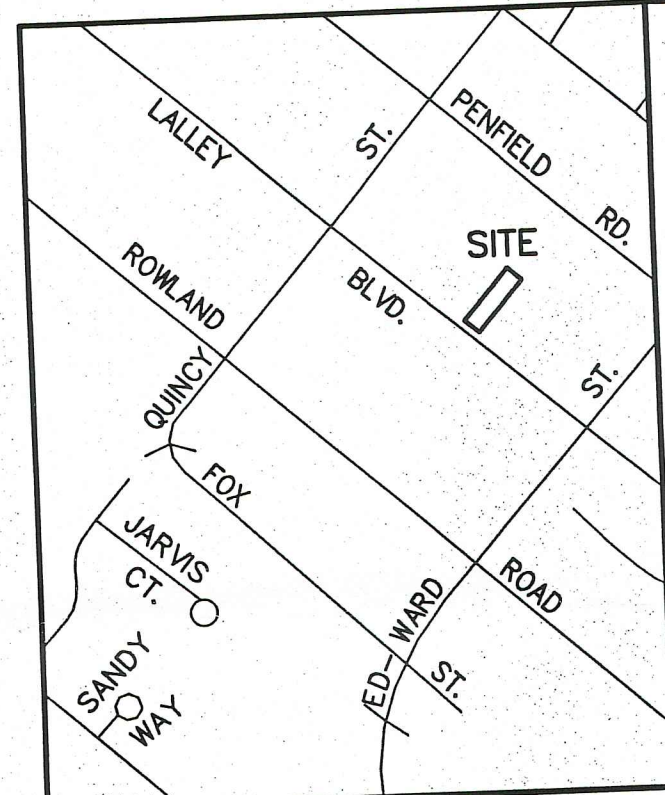




LOCATION MAP
SCALE 1"=500'

NOTES:

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 - "FAIR ACRES IN FAIRFIELD, CONN. FOR: F.E. LALLEY INC., COMPOSITE MAP, OF SECTION 1 BY WM. B. REYNOLDS, SURVEYOR, DATED JUNE 1921; OF SECTION 2 BY WM. B. REYNOLDS, SURVEYOR, DATED NOV. 1921; OF SECTION 3 BY WM. B. REYNOLDS, SURVEYOR, DATED MAY 11, 1931" SCALE: 1"=200', DATED AUG. 16, 1946, PREPARED BY FULLER & CO. INC. (BEING LOTS 127 & 128), ON FILE IN THE FAIRFIELD TOWN CLERK'S OFFICE AS RM #1365.
- PLAN PREPARED FOR SANDRA MILBERG.
- BEARINGS BASED ON RM CT STATE PLANE COORDINATES NAD83. VERTICAL DATUM IS NAVD1988.
- PROPERTIES ARE LOCATED IN RESIDENCE ZONE A.
- PROPERTY LIES IN FEMA FLOOD ZONE AE(11) PER FIRM PANEL 090001C0438G. REVISED JULY 8, 2013.
- CERTIFICATION OF THIS MAP APPLIES TO CONDITIONS AS OF THE ORIGINAL DATE OR REVISED DATE DEPICTED HEREON. EXISTING CONDITIONS ON THIS PROPERTY MAY HAVE CHANGED SINCE THAT DATE AND AN UPDATED SURVEY IS RECOMMENDED TO ACCURATELY DEPICT THE CURRENT CONDITIONS.

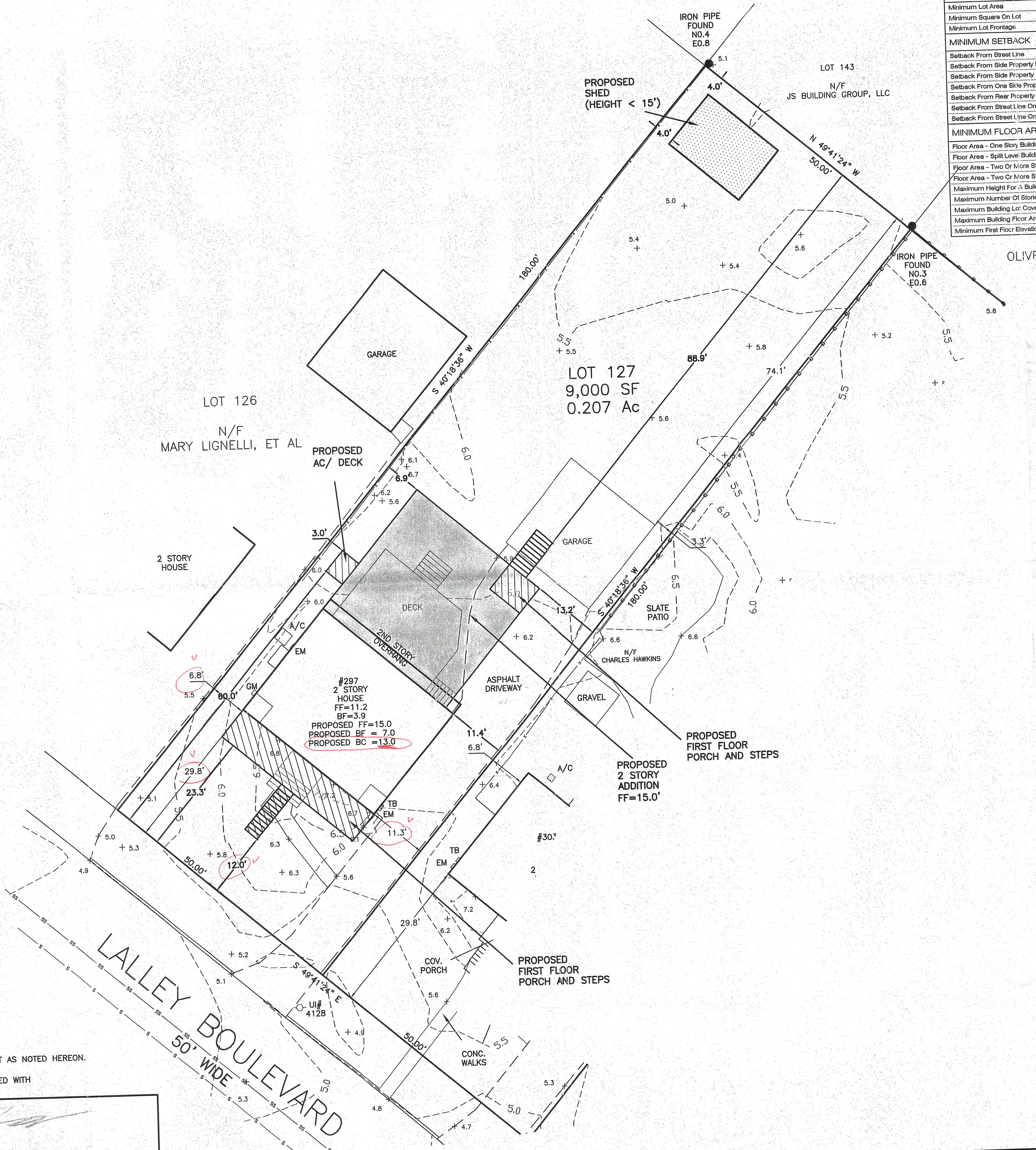
LEGEND	
	EXISTING CONTOUR LINE
	EXISTING SPOT ELEVATION
	STOCKADE FENCE
	WIRE FENCE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	STORM DRAINAGE LINE
	CATCH BASIN
	STORM DRAINAGE MANHOLE
	UTILITY POLE
	ELECTRIC METER
	TELEPHONE BOX
	GAS METER
	DECIDUOUS TREE
	FIRST FLOOR
	BASEMENT FLOOR
	BASEMENT CEILING

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OR AFFIXED WITH THE LIVE STAMP OF THE SIGNATORY.

J. EDWARDS & ASSOCIATES, LLC
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227 Stepien Road
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(203)-268-4205
www.jedwardsassoc.com

JASON EDWARDS, L.S. No. 70308



#297 LALLEY BOULEVARD	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	9,375	9,000	9,000	-
Minimum Square On Lot	75	50	50	-
Minimum Lot Frontage	20	50.00'	50.00'	-
MINIMUM SETBACK				
Setback From Street Line	30	29.8' ±	① 29.8' ±	-
Setback From Side Property Lines - One Story	20	-	-	-
Setback From Side Property Lines - More Than One Story	25	18.1' ±	② 18.1' ±	-
Setback From One Side Property Lines	7	6.8' ±	③ 6.8' ±	-
Setback From Rear Property Lines	30	123.6' ±	④ 88.9' ±	-
Setback From Street Line On A Corner Lot - One Story	17	-	-	-
Setback From Street Line On A Corner Lot - More Than One Story	22	-	-	-
MINIMUM FLOOR AREA				
Floor Area - One Story Building	750	-	-	-
Floor Area - Split Level Building	1,000	-	-	-
Floor Area - Two Or More Story Building Total Floor Area	1,000	1,475	3,328	-
Floor Area - Two Or More Story Building Ground Floor Area	650	773	1,603	-
Maximum Height For A Building Or Structure	32	22'	30' ±	-
Maximum Number Of Stories Per Building	2 1/2	2	2	-
Maximum Building Lot Coverage As A Percentage Of Lot Area	20%	18.2%	⑤ 23.4% ±	-
Maximum Building Floor Area As A Percentage Of Lot Area	40%	21.0%	36.9% ±	-
Minimum First Floor Elevation	-	-	-	-

* TO MAIN HOUSE

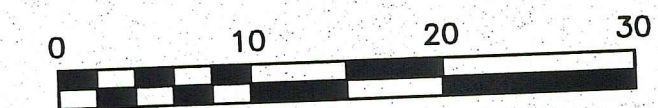
- 12.0' TO PROPOSED STEPS (VARIANCE MAYBE REQUIRED)
- 20.1' TO PROPOSED ADDITION (VARIANCE MAYBE REQUIRED)
- 2.8' TO PROPOSED AC PAD (VARIANCE MAYBE REQUIRED)
- 4.0' TO PROPOSED POOL HOUSE (VARIANCE MAYBE REQUIRED)
- VARIANCE REQUIRED

APPROVED FOR ZONING COMMISSION
FOR EL. IN PL. EX. TWO STY. ONE FAM. D. ;
ADD A TWO 1/2 STY. 28'-7 1/2" X 29'-11" X 32' H.D. BOARD OF BOARDING AD. BLS
ADDITION 4 TWO ONE STY. PORCHES; THE L. HABIT 10-1-2015
FL. 4 ALL MECHS. INCL. THE 130' OF ALL DUCT WK.
* WIRING SHALL BE CONST. ABOVE EL. 11.0 NAVD83
1988; PROPOSED 1ST FL. EL. 15.0'
J.E. Brinkowski 2-8-2016
Zoning Enforcement Officer

STREET ADDRESS #297 LALLEY BOULEVARD
ASSESSORS MAP# 138 PARCEL# 190
ZONE RESIDENCE A
OWNER/APPLICANT SANDRA MILBERG
297 LALLEY BOULEVARD
FAIRFIELD, CT 06824
PROPOSAL CONSTRUCT 2 STORY, PORCH,
AND POOL HOUSE ADDITIONS
DATE SEPTEMBER 8, 2015 SCALE 1"=10'

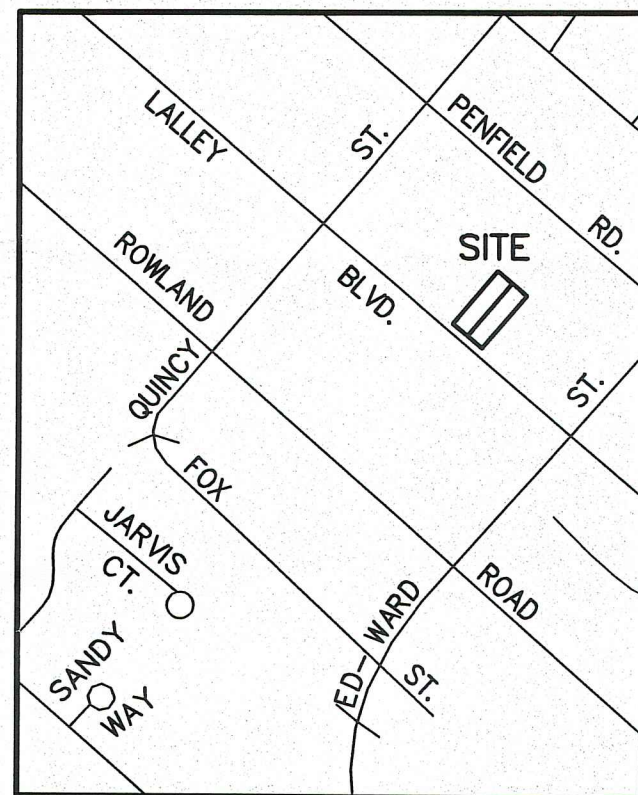
IMPROVEMENT LOCATION SURVEY

PREPARED FOR
SANDRA MILBERG
#297 LALLEY BOULEVARD
FAIRFIELD, CONNECTICUT



SCALE 1"=10'

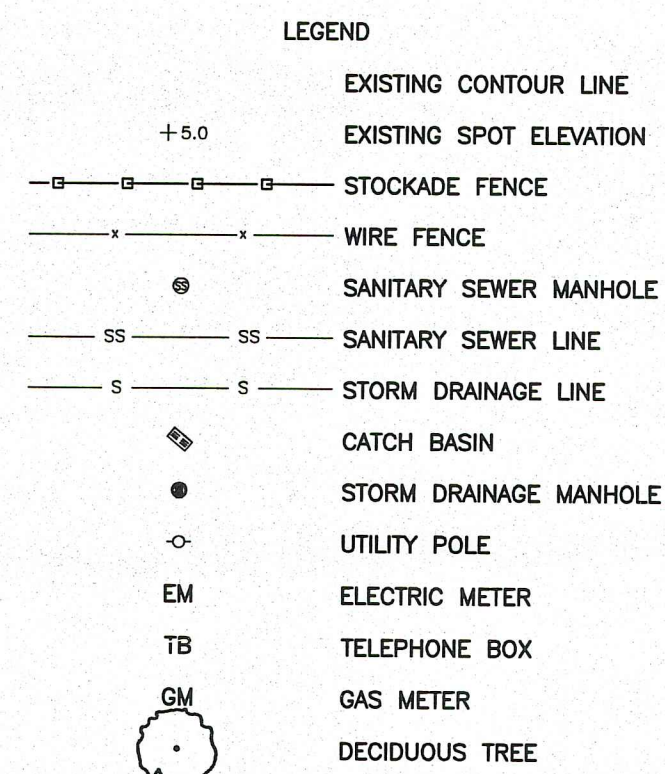
SEPTEMBER 8, 2015
REV. 09-09-15



LOCATION MAP
SCALE 1"=500'

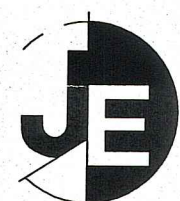
NOTES:

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8. REFERENCED V5453 PG299 - VARIANCE



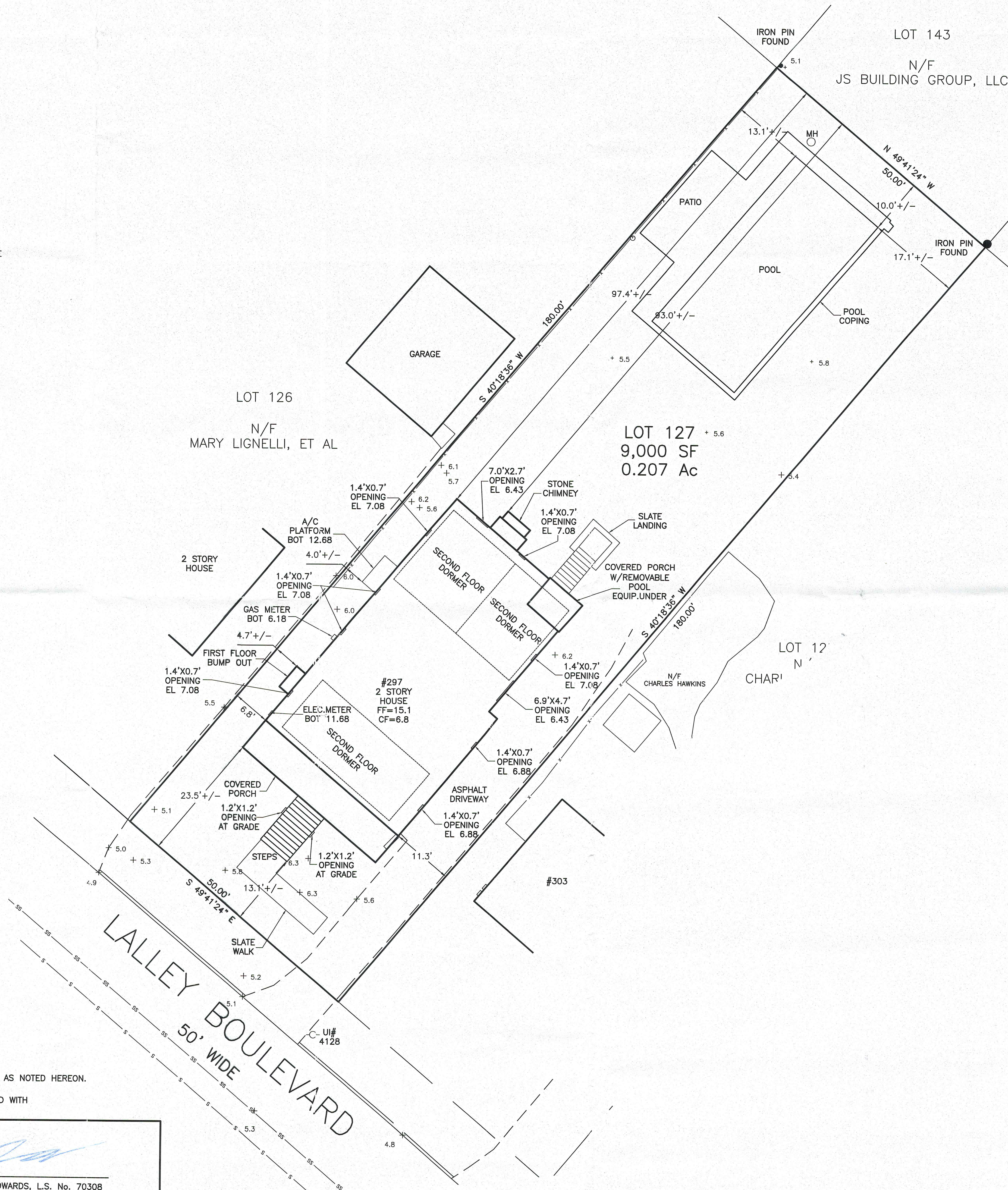
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#297 LALLEY BOULEVARD	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	9,375	9,000	9,000	9,000
Minimum Square On Lot	75	50	50	50
Minimum Lot Frontage	20	50.00	50.00	50.00
MINIMUM SETBACK				
Setback From Street Line	30	29.8'	29.8'	① 23.5'
Setback From Side Property Lines - One Story	20	-	-	-
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Setback From Corner Property Lines	7	6.8'	9.8'	② ③ 6.8'
Setback From Front Property Lines	30	123.6'	88.9'	③ ④ 97.4'
Setback From Street Line On A Corner Lot - One Story	17	-	-	-
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Maximum Number Of Stories Per Building	2 1/2	2	2	2
Maximum Building Lot Coverage As A Percentage Of Lot Area	20%	18.2%	23.7% ±	22.0% ±
Maximum Building Floor Area As A Percentage Of Lot Area	40%	21.0%	36.9% ±	36.6% ±
Minimum First Floor Elevation	11.0	11.2	15.0	15.1

- ① 13.1' FROM FRONT STEPS
- ② 3.8' FROM A/C PLATFORM; 4.7' FROM FIRST FLOOR BUMP OUT
- ③ 93.0' FROM CHIMNEY
- ④ 10.0' FROM POOL
- ⑤ 17.1' FROM POOL

STREET ADDRESS #297 LALLEY BOULEVARD

ASSESSORS MAP# 138 PARCEL# 190 & 189

ZONE RESIDENCE A

OWNER/APPLICANT SANDRA MILBERG
297 LALLEY BOULEVARD
FAIRFIELD, CT. 06824

PROPOSAL AS-BUILT CONDITIONS

DATE JANUARY 12, 2017 SCALE 1"=10'

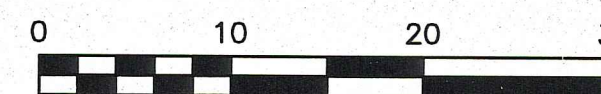
RECEIVED

JAN 19 2017

TOWN PLAN & ZONING DEPT

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
SANDRA MILBERG
#297 LALLEY BOULEVARD
FAIRFIELD, CONNECTICUT



SCALE 1"=10'

JANUARY 12, 2017

37370

FILE NO. 2320