

ZONING DATA				
ZONING DISTRICT: RESIDENCE A DISTRICT				
7 WILD ROSE ROAD				
DIMENSIONAL		REQUIRED/ALLOWED	AS-BUILT	CONFORMS
LOT AREA		21,780 SF (0.5 AC.)	9,000 SF (0.207 AC.)	N ¹
BASE LOT AREA			9,000 SF (0.027 AC.)	
TOTAL COVERAGE	MAX.	25% / 2,250 SF	17.3% / 1,805 SF	Y
BUILDING COVERAGE	MAX.	15% / 1,350 SF	14.2% / 1,344 SF	Y
SHAPE	MINIMUM	100' x 150' RECTANGLE	<100' x 150' RECTANGLE	N ¹
	FRONT	30'	(16.8', 46.9')	N ¹
	SIDE	7.5' ²	(0.4', 6.8')	N ¹
	REAR	25'	N/A	N/A
BUILDING HEIGHT	MAXIMUM	2 1/2 STORES 35'	2 1/2 STORES 23'8"	Y

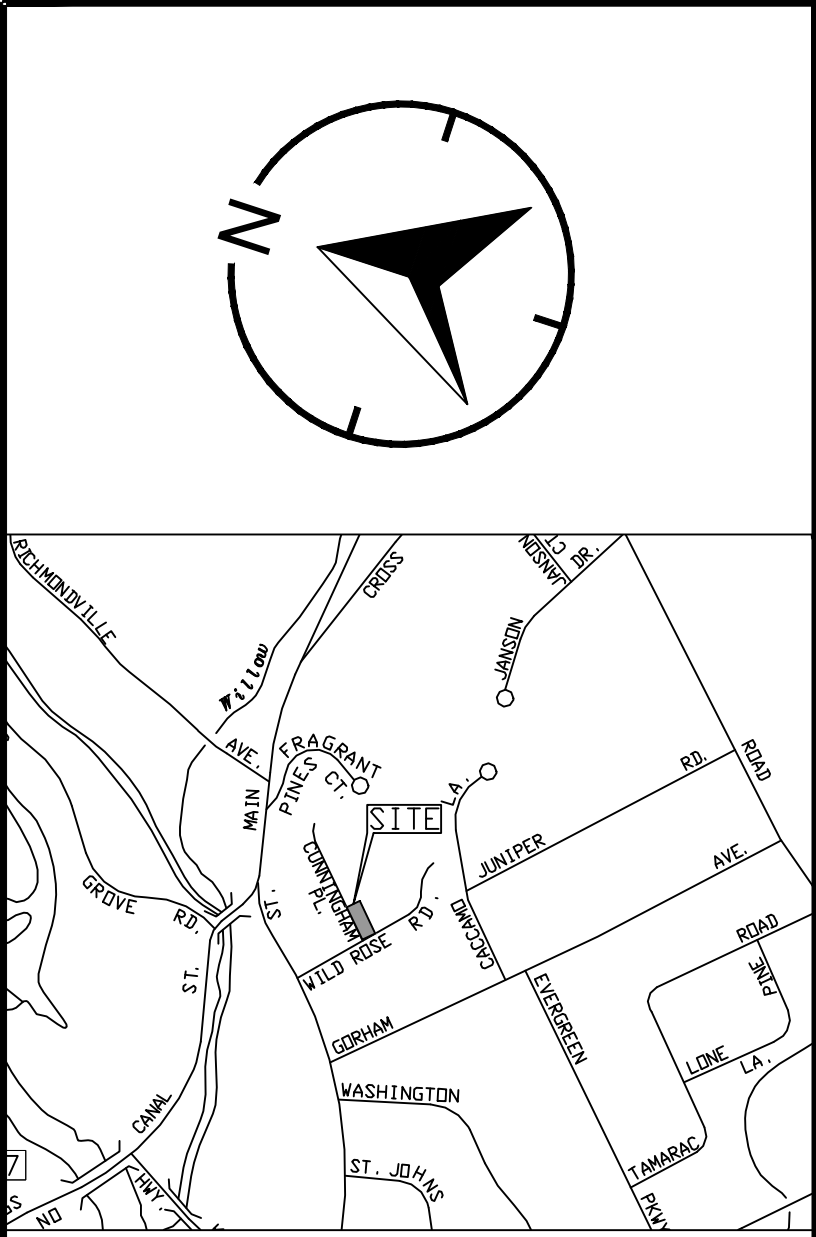
NOTES:

1. PRE-EXISTING NON-CONFORMING LOT
2. REDUCED SETBACKS AS PER SECTION 6.3.1 IN THE WESTPORT ZONING REGULATIONS
3. PRE-EXISTING NON-CONFORMING STRUCTURES

LEGEND	
SYMBOLS	DESCRIPTION
○	IRON PIN (FOUND)
⊙ SSMH	SEWER MANHOLE
⌒ UP#	UTILITY POLE
○ WM	WATER METER
----	PROPERTY LINE
W	WATER LINE
— 20 — 20 — 20 — 20 —	CONTOUR
X 20.1	SPOT ELEVATION

SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON OCTOBER 26, 2018.
2. THIS SURVEY IS A ZONING LOCATION & TOPOGRAPHIC SURVEY WITH THE BOUNDARY DETERMINATION CATEGORY OF WHICH IS A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS 1: 2 AND VERTICAL ACCURACY CLASS 1: 2 AND IS INTENDED TO DEPICT OR NOTE THE POSITION OF EXISTING OR PROPOSED IMPROVEMENT WITH RESPECT TO APPLICABLE MUNICIPAL SETBACK REQUIREMENTS IN ORDER TO ENABLE DETERMINATION OF COMPLIANCE WITH SAID REGULATIONS.
3. THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE, ANY USE OTHER THAN FOR THAT WHICH WAS INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARER'S DECLARATION NULL AND VOID.
4. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT SHOWN.
5. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OF SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.
6. THIS DECLARATION SHOWN RUNS TO THE PERSON, OR PERSONS FOR WHOM THE SURVEY WAS PREPARED FOR THIS DECLARATION IS NOT TRANSFERABLE.
7. REFER TO MAP NO. 89B, IN WESTPORT LAND RECORDS.
8. VERTICAL DATUM: NAVD88
9. SUBJECT PROPERTY IS LOCATED IN FEMA FLOOD ZONE "X" AS SHOWN ON FEMA FIRM PANEL NO. 09001C 0413G, EFFECTIVE JULY 8, 2013.
10. STRUCTURES DEPICTED ARE MORE THAN 3 YEARS OLD.



07/29/2025	FINAL AS-BUILT
11/06/2024	OWNER NAME CHANGE
REVISION DATE	ISSUE

LANDTECH

SITE/CIVIL • ENVIRONMENTAL • SURVEYING • PLANNING

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PROJECT LOCATION:

7 WILD ROSE ROAD
WESTPORT, CT

PROJECT No.		24246-01	
DATE: 10/02/2024	DRAWN BY: L.A.M.	CHECKED BY: TAD	
SCALE: 1" = 10'			

