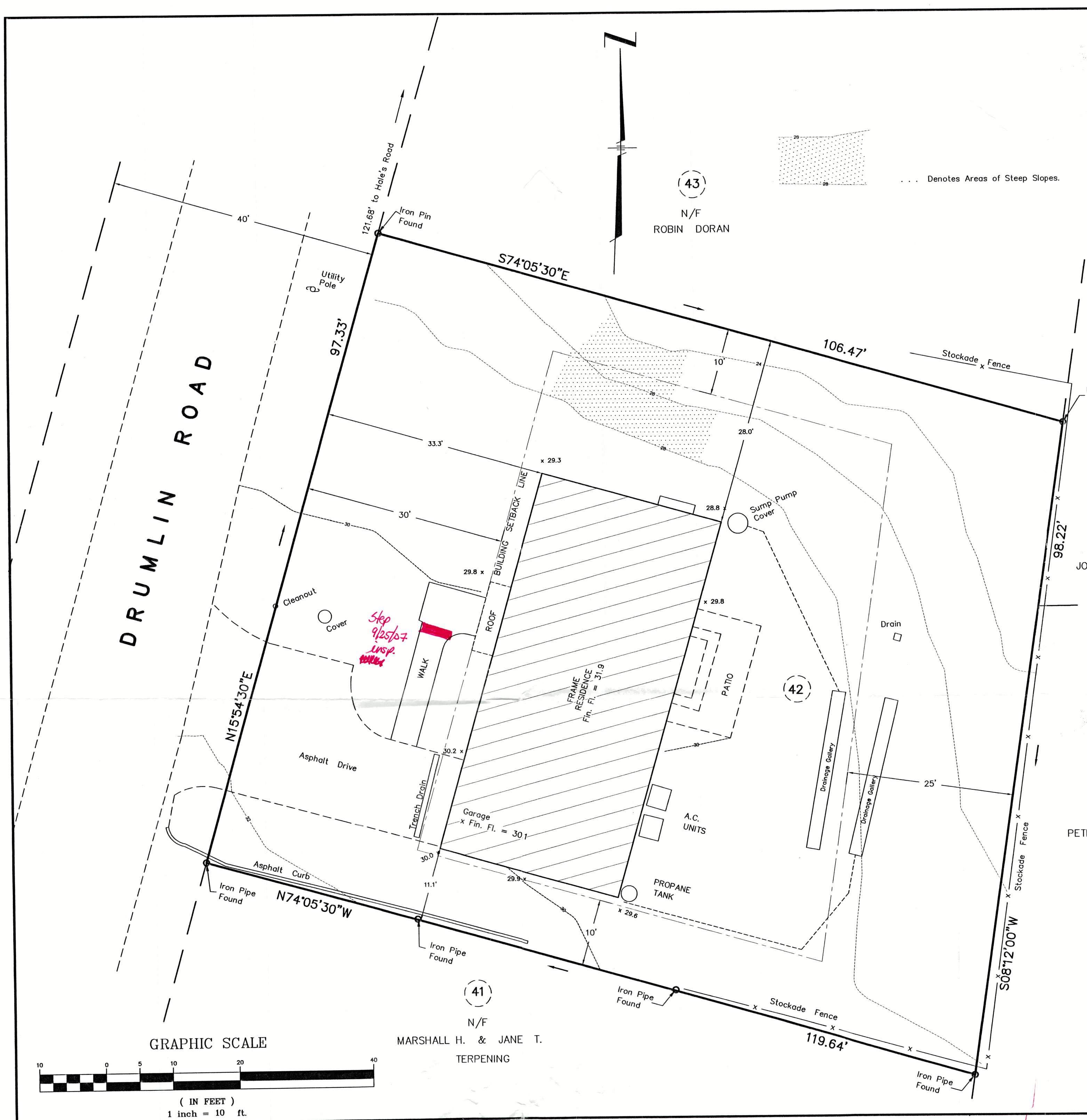




NOTES:

1. This survey and map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. It is an Improvement Location Survey based upon a Dependent Resurvey and is intended to depict the position, horizontally and, where required, vertically, between particular existing or proposed improvements with respect to applicable municipal or statutory requirements. The purpose is to enable determination of compliance with said improvements.
3. This survey conforms to Horizontal Accuracy Class A-2.
4. Total Area = 11,004 Sq. Ft.; 0.253 Acres.
5. Parcel is located in Residential Zone AA.
6. Property shown on Assessor's Map D6, as Lot 044.
7. No abstract of title, nor title commitment provided, all documents of record reviewed are noted hereon as noted hereon.
8. Underground improvements or encroachments if any are not shown.
9. Map References:
 - A. Property shown as lot '42' on a certain map entitled "Plot Plan Lot 42, Compo Manor, Inc., Scale: 1"=20', Oct. 3, 1952", by John K. Bright, L.S. Said map on file in the Westport Town Clerk's Office bearing No. 3298.
 - B. Refer to Map No. 3141 W.L.R.
10. Property is situated in Flood Zone 'C' (areas of minimal flooding) as shown on F.I.R.M., Comm. Panel 090019 0004 B, revised Dec. 4, 1984.
11. Property does not contain wetlands as per Town of Westport Topographic Map sheet D-6.
12. Steep Slopes determined by field topographic survey performed by Leonard Surveyors on May 25, 2007.
12. Refer to deed recorded in Vol. 2429, Pg. 338 of the Westport Land Records.
13. Coverage Calculations:

Existing:	
Total Lot Area =	11,004 Sq. Ft.
Wetland Area =	0 Sq. Ft.
Steep Slope Area =	280 Sq. Ft. x 0.80 = 224 Sq. Ft.
Net Lot Area =	10,780 Sq. Ft.
Driveway Area =	595 Sq. Ft.
Building Area =	1,705 Sq. Ft.
Total Lot Coverage =	2,300 Sq. Ft. = 20.90%
Maximum Allowable Lot Coverage =	10,780 Sq. Ft. x 0.80 = 2,695 Sq. Ft.
14. Datum: Approximate Mean Sea Level; NGVD 1929. Contour Interval: Two Feet.
15. Drainage shown hereon taken from installer's sketch and has not been verified in the field.
16. Roof pitch ratio is 6.5/12.

ROOF HEIGHTS
AVERAGE GRADE = 29.7
PEAK ELEVATION = 58.5
EAVE ELEVATION = 50.3
MIDPOINT ELEVATION = 54.4
MIDPOINT ABOVE AVERAGE GRADE = 29.7

Revised final
RECEIVED

NOV 07 2007

WESTPORT P. & Z. C.

AS-BUILT

PREPARED FOR

LIVY HOWARD

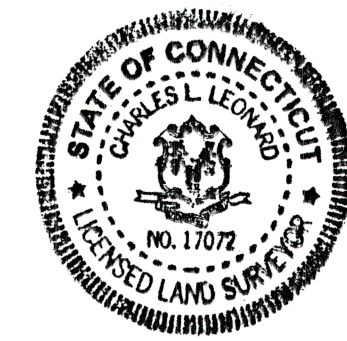
#5 DRUMLIN ROAD

WESTPORT ~ CONNECTICUT
SCALE: 1" = 10' MAY 25, 2007

UPDATED: SEPTEMBER 17, 2007
ROOF PITCH RATIO ADDED: NOVEMBER 5, 2007

LEONARD SURVEYORS, LLC

"CERTIFIED SUBSTANTIALLY CORRECT"
CLASS A-2 ACCURACY



Charles L. Leonard
CHARLES L. LEONARD, L.S., CONN. REG. No. 17072

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