

STANDARD	MINIMUM/REQUIRED	EXISTING CONDITIONS	PROPOSED	AS BUILT
Minimum Lot Area	9.375	11.854	11.854	
Minimum Square Footage	75	95	95	
Minimum Lot Frontage	20	125	125	
Minimum Lot Area per Dwelling Unit	9.375	11.854	11.854	
Minimum Subject From Street Line	30'	31.57'	30.5'	
Min. Subject From Street Line Corner Lot	22'	30.24'	25.5'	
Min. Subject From One Side Property Line	7'	27.03'	27.8'	
Minimum Subject From Side Property Line	25'	N/A	N/A	
Minimum Subject From Rear Property Line	30'	32.36'	33.5'	
Minimum Floor Area - One Story Building	750 sq. ft.	1657±	N/A	
Minimum Floor Area - Two or more Story	1,000 sq. ft.	N/A	4100±	
Minimum Height for a Building or Structure	32'	18±	31.9'	
Maximum Number of Stories Per Building	2 1/2	1	2 1/2	
Maximum Building Footprint	20%	17%	21.4%	
Maximum Building Footprint Percentage of Lot Area	17% (NAD 1983)	8.08*	14.0'	
Maximum Building Footprint Percentage of Lot Area	40%	15%	34.6%	

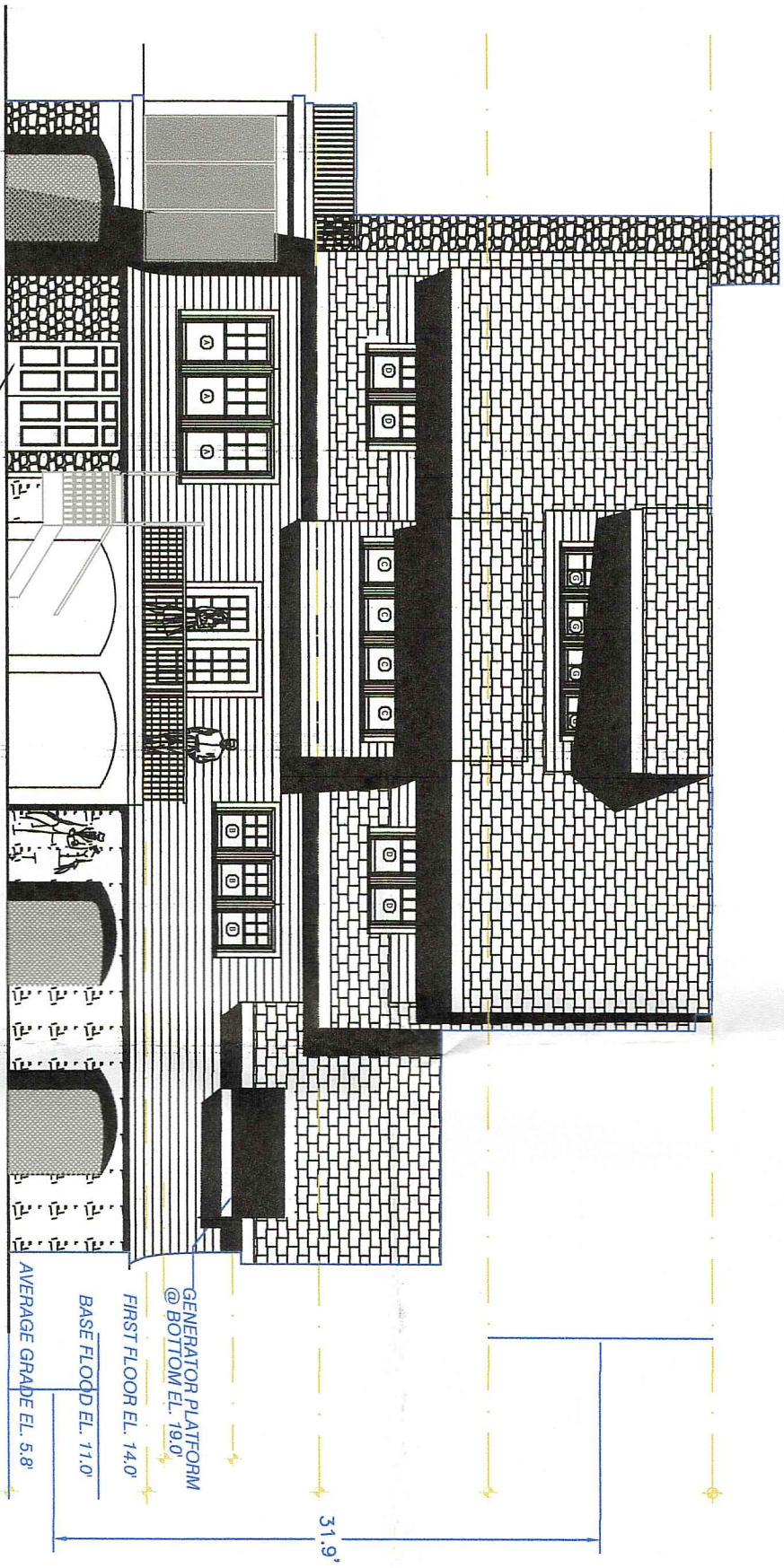
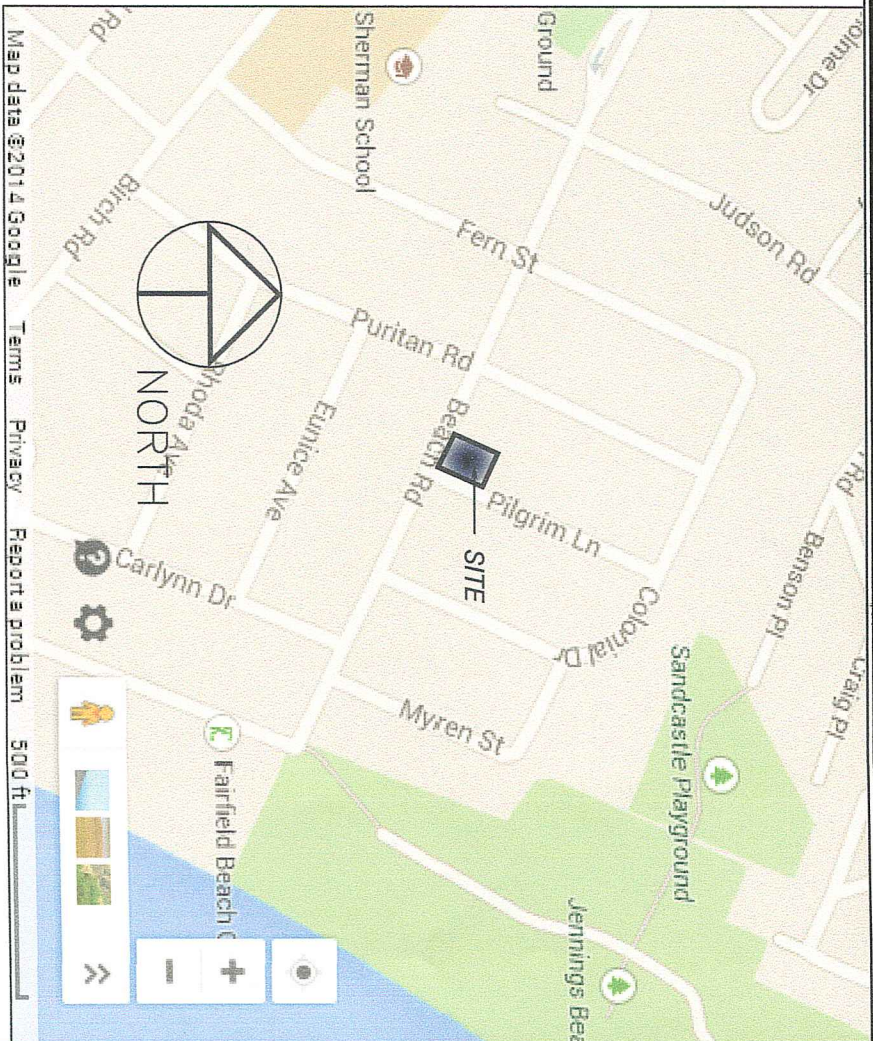
BUILDING ZONE: A

GENERAL NOTES:

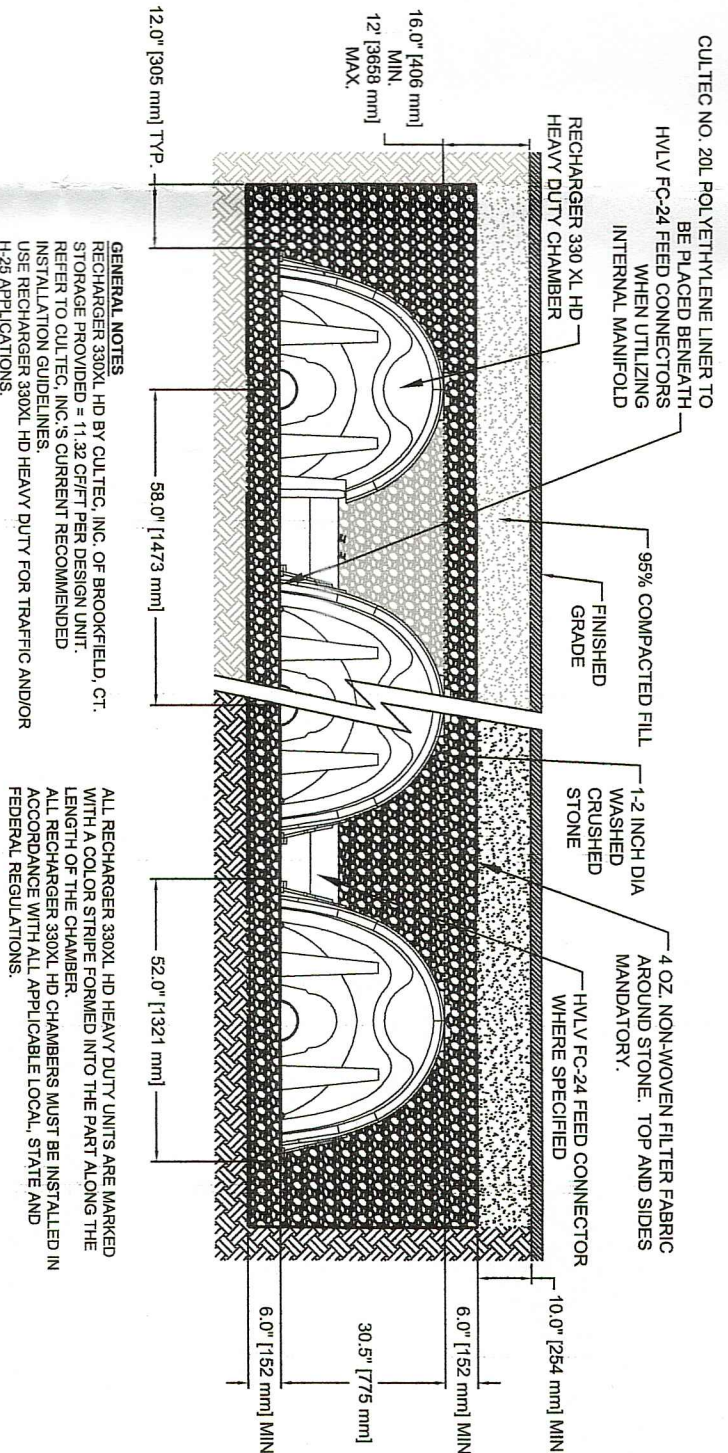
1. This Map has been prepared pursuant to the Regulations of the Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps of the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 20, 1980.
2. This Survey conforms to Class A-2.
3. The Type of survey performed is a Limited Property Boundary Survey, and it is intended to be Existing Building Location Survey.
4. Boundary determination is based upon a Dependent Recovery (see Map REFERENCES and Record Deeds).
5. North Arrow is based on Map Reference # 1.
6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
7. This map is NOT VALID if altered or used by any party other than the one depicted in the back of this map.
8. Property Lines Established According to Record Deeds as east.
9. Physical Features Such as Stone Walls, Wire Fences, Monument, Iron Pins or Pipes, Etc., when under consideration to establish current deed lines.
10. Underpinned Utility, Structure and Field Locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or other sources. The locations of these features are shown as approximate only and are not to be considered as precise in nature. Additionally, other such features may exist on the site the existence of which are unknown to this firm. The size, location and existence of all such features BEFORE YOU DIG 1-800-852-4555.
11. Lot surveyed by town sewer system and public water supply.
12. Entire Subject Property Under Zone A/E EL. 111 per Flood Insurance Rate Map, Community Panel Number 0007000456 from 450 OF 625, EFFECTIVE DATE 07/01/2013
13. Bench Mark Provided by Fairfield Engineering Department.
14. Elevations are based on N.A.V.D. Datum 1988.

MAP REFERENCES:

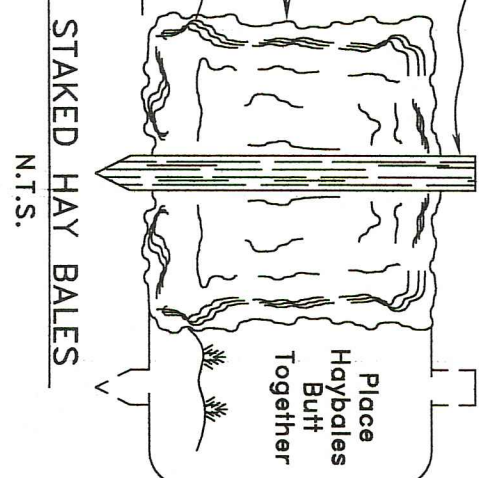
1. Map of COLONIAL GARDENS, Fairfield, Connecticut, Dated March 4, 1941, Scale 1"=40', Prepared by Andrew A. Harrington, Record Map # 1142.



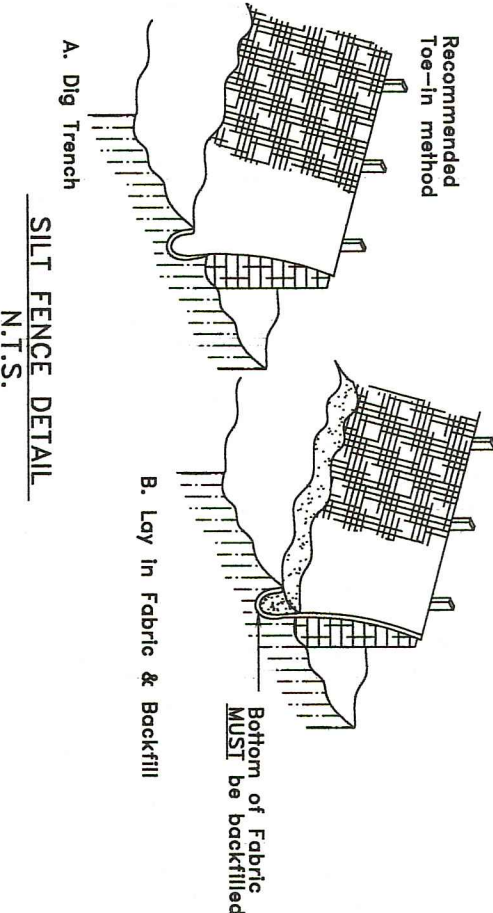
PROPOSED BUILDING HEIGHT CALCULATION



Daniel O'Brien
Vol. 840, Page 357



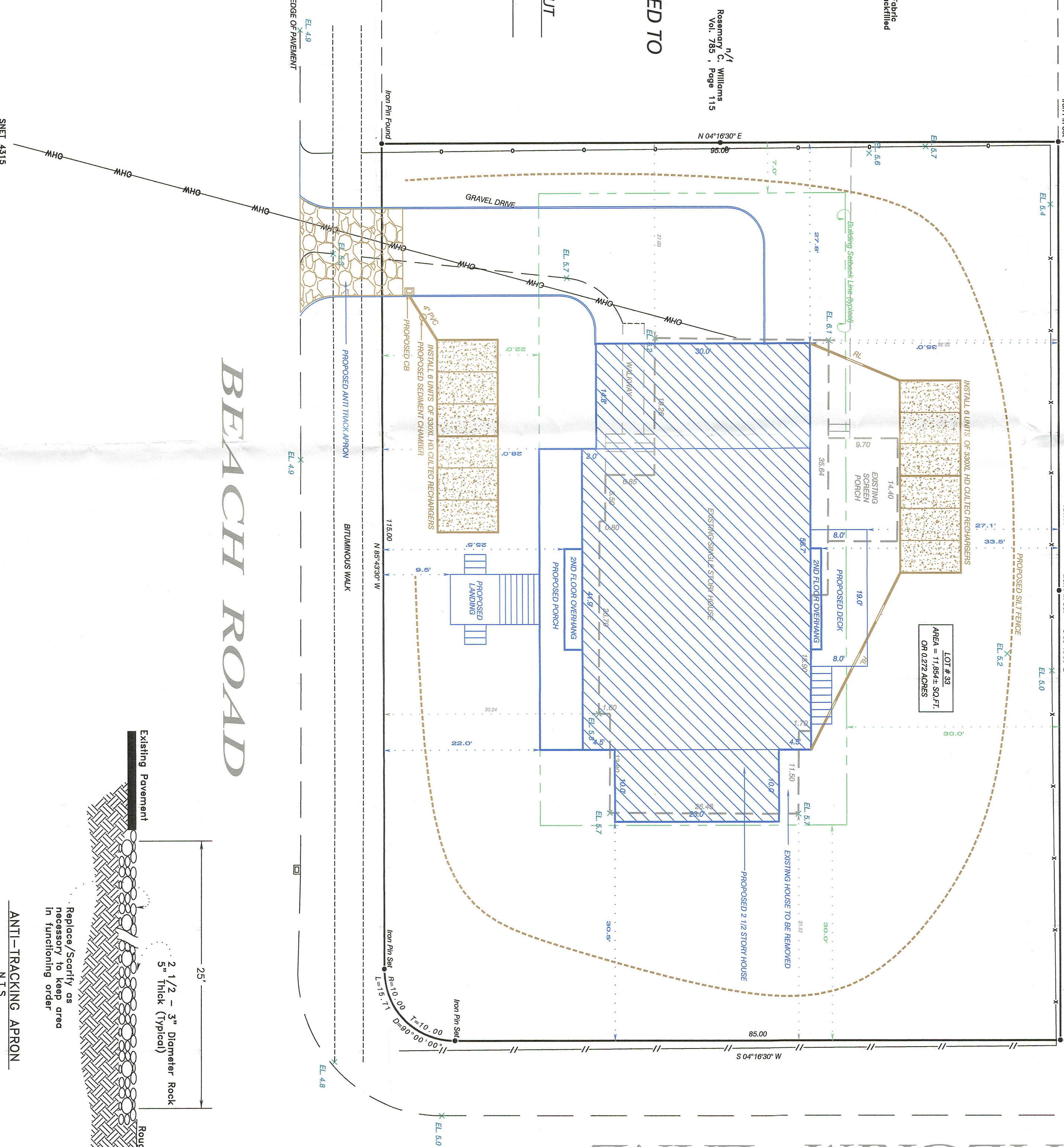
STAKED HAY BALES
N.T.S.



Recommended
Toe-in method
N.T.S.

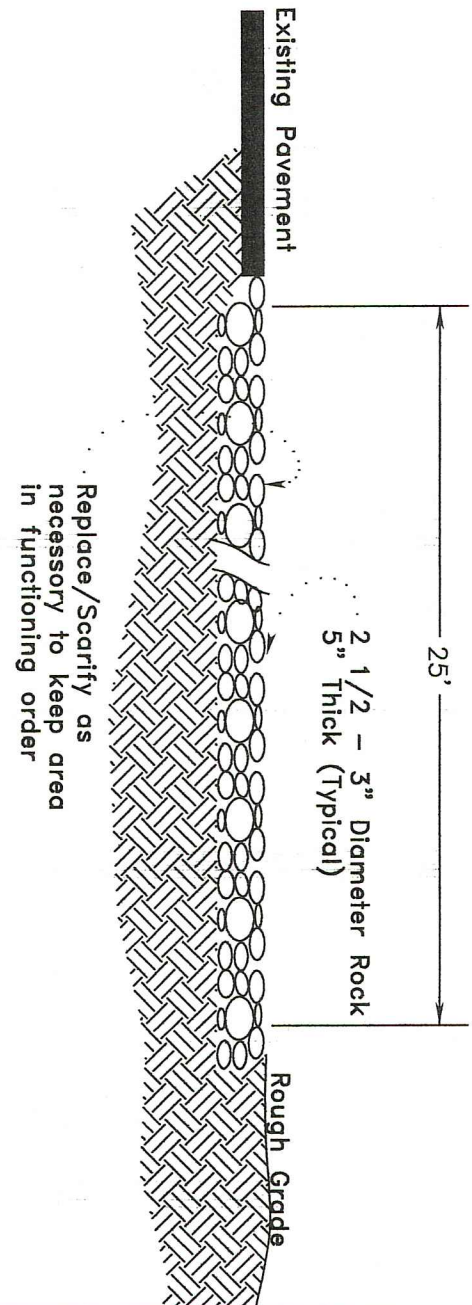
COVER FLUSHED TO
GRADE

18" X 18" SEDIMENT CHAMBER



BEACH ROAD

PILGRIM LANE



ANTI-TRACKING APRON
N.T.S.
(At Driveway Entrance)

LEGEND

SYMBOL	DESCRIPTION
—○—○—○—	Utility Pole
—●—●—●—	Manhole
—□—□—□—	Catch Basin
—△—△—△—	Spot Elevation
—○—○—○—	Property Line
—○—○—○—	Stockade Fence
—x—x—x—	Post-and-Rail Fence
—x—x—x—	Wood Fence
—x—x—x—	Drainage Line
—○—○—○—	Overhead Utility Wires
—○—○—○—	Area of Site Disturbance
—○—○—○—	Foot Leader Connection
—○—○—○—	Lot

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TITLE BLOCK
APPLICANT: SAME AS OWNER
ASSESSORS MAP # 139, PARCELS # 117
DESCRIPTION: THE knowledge and belief this map is substantially correct as noted herein

REVISIONS

DATE	DESCRIPTION
04/08/14	PROPOSED DECK & FRONT WALK

MICHAEL M. WALSH
655 BEACH ROAD, FAIRFIELD, CONNECTICUT
SCALE: 1"= 10'
DATE: MARCH 11, 2014