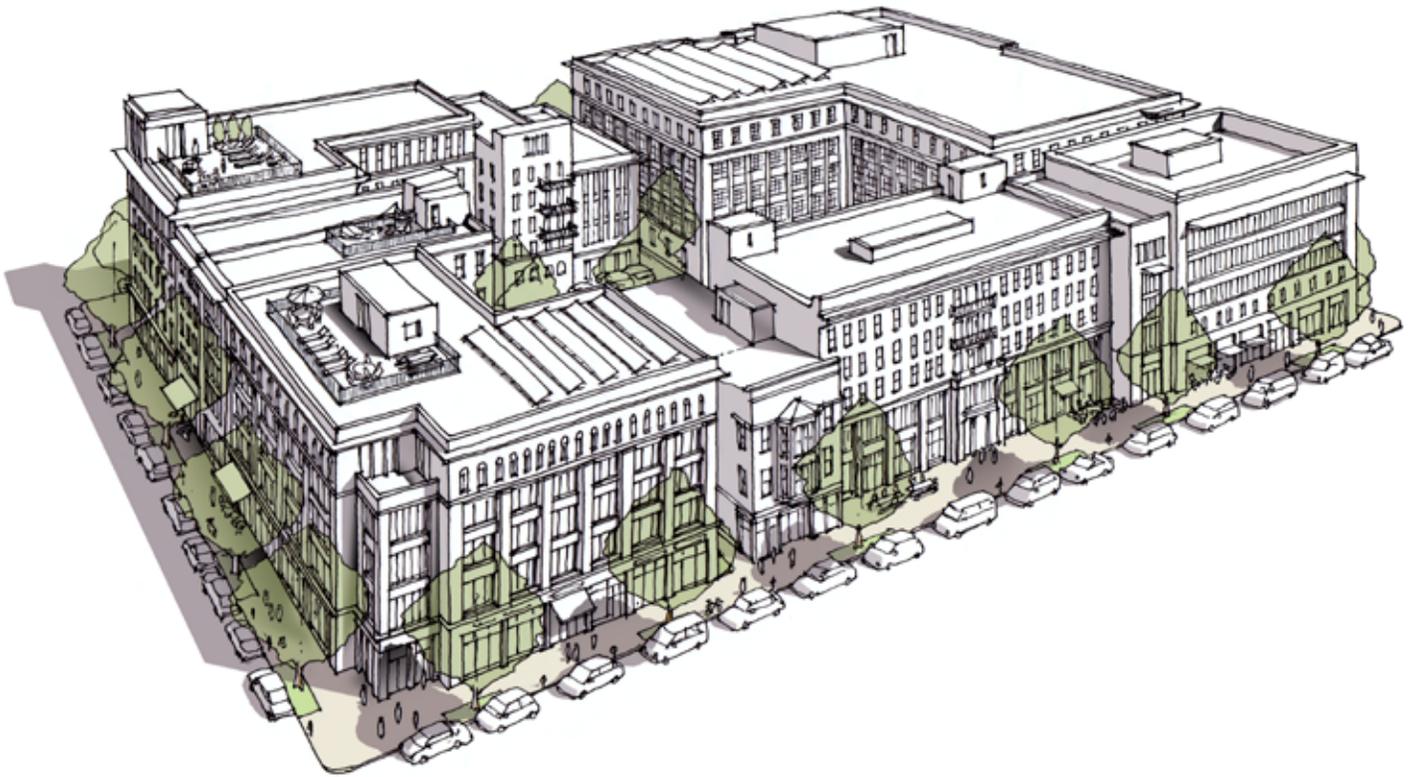


### 4.3 MID-RISE 5 (MR5)

#### 1. Description

The Mid-Rise 5 district is characterized by a variety of moderate to large FLOOR PLATE buildings up to five (5) stories in height with an UPPER STORY STEP-BACK after the fourth (4th) floor. Buildings are set close to the sidewalk to create a defined STREET wall that supports pedestrian activity and a sense of place. The district is primarily commercial, with GROUND STORY USES that address the needs of residents and employees from the immediate neighborhood, but can also provide goods and services to the larger Somerville community and visitors from the broader Boston metropolitan area.



## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

#### 2. Intent

- a. To implement the objectives of the COMPREHENSIVE PLAN of the City of Somerville.
- b. To create, maintain, and enhance areas appropriate for moderate scale, multi-USE and mixed-USE buildings and neighborhood- and community-serving USES.

#### 3. Purpose

- a. To permit the DEVELOPMENT of multi-unit and mixed-USE buildings that do not exceed five (5) stories in height.
- b. To provide quality commercial spaces and permit small and medium scale, neighborhood- and community-serving commercial USES.
- c. To create DWELLING UNIT types, sizes, and BEDROOM counts ideal for larger households in apartment buildings.
- d. To create DWELLING UNIT types, sizes, and BEDROOM counts ideal for smaller households in general buildings.
- e. To permit increased residential density for buildings that are sustainable or that provide 100% AFFORDABLE HOUSING.
- f. To permit increased residential density for buildings that meet the definition of a NET ZERO BUILDING or 100% AFFORDABLE HOUSING.

#### 4. Applicability

- a. The section is applicable to all real property within the Mid-Rise 5 district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

#### 5. Development Review

- a. DEVELOPMENT review is subject to the provisions of Article 15: Administration of this Ordinance.
- b. All DEVELOPMENT, excluding NORMAL MAINTENANCE, requires the submittal of a development review application to the BUILDING OFFICIAL and the issuance of a Certificate of Zoning Compliance prior to the issuance of a BUILDING Permit or Certificate of Occupancy.
- c. Proposed DEVELOPMENT may or may not necessitate the need for SUBDIVISION Plan Approval, Site Plan Approval, a Special Permit, or a Hardship Variance based on the nature of the proposal. In such cases, additional DEVELOPMENT review is required in accordance with Article 15: Administration.
  - i. The Planning Board is the decision making authority for all DEVELOPMENT that requires Site Plan Approval or a Special Permit.
  - ii. The Zoning Board of Appeals is the Review Board for all Hardship Variances.
- d. Upon verification that no additional DEVELOPMENT review is necessary, or completion of the required DEVELOPMENT review, the BUILDING OFFICIAL shall issue a Zoning Compliance CERTIFICATE to certify compliance with the

provisions and procedures of this Ordinance.

#### 6. Building Types

- a. One (1) PRINCIPAL BUILDING TYPE is permitted on each LOT.
- b. The following BUILDING TYPES are permitted by Site Plan Approval in the Mid-Rise 5 district:
  - i. Apartment BUILDING
  - ii. General BUILDING
  - iii. Commercial BUILDING
- c. Apartment Buildings are prohibited on any LOT fronting a PEDESTRIAN STREET.
- d. ACCESSORY STRUCTURES are regulated according to Article 10: DEVELOPMENT Standards of this Ordinance.

## 4.3.7 Apartment Building

A moderate FLOOR PLATE, multi-STORY, PRINCIPAL BUILDING TYPE purpose built for OCCUPATION by residential USES on all stories.

The following images are examples of the apartment BUILDING TYPE and are intended only for illustrative purposes.

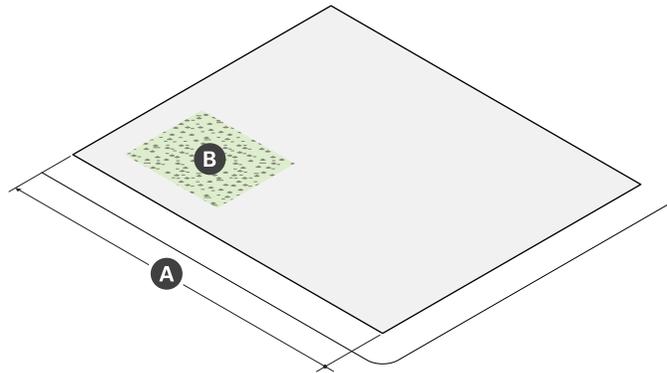


# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 4.3.7. Apartment Building (continued)

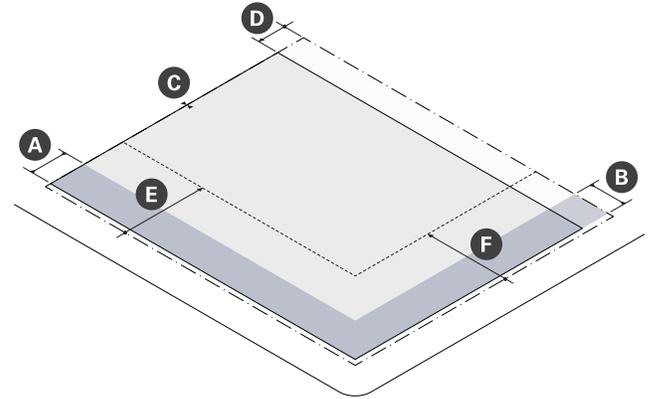
a. Lot Standards



Lot Dimensions	
<b>A</b> LOT WIDTH (min)	30 ft

Lot Development	
LOT Coverage (max)	90%
GREEN SCORE	--
Minimum	0.20
Ideal	0.25
<b>B</b> OPEN SPACE (min)	15%

b. BUILDING Placement



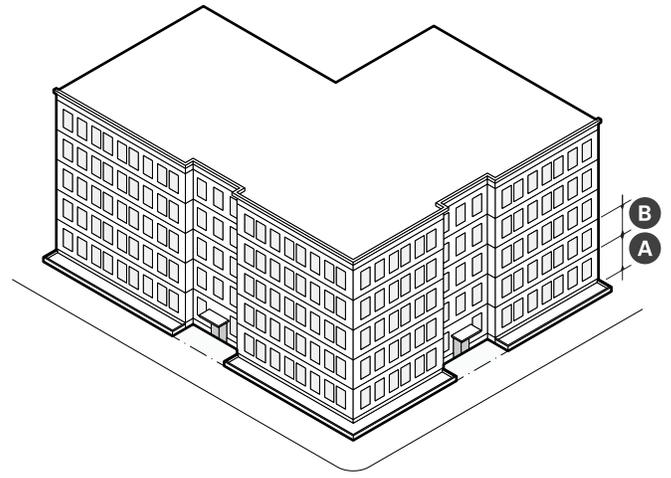
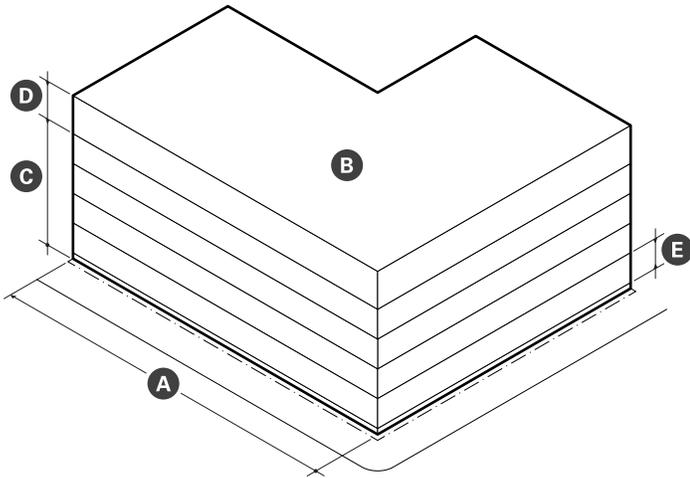
Building Setbacks		
<b>A</b> Primary Front SETBACK (min/max)	2 ft	12 ft
<b>B</b> Secondary Front SETBACK (min/max)	2 ft	12 ft
<b>C</b> Side SETBACK (min)	--	
Abutting an Alley or R-ROW		
	0 ft	
Abutting any non-NR or -LHD		
	0 ft	
	1st - 3rd Story abutting NR or LHD	10 ft
	4th - 5th Story abutting NR or LHD	30 ft
<b>D</b> Rear Setback (min)	--	
Abutting an Alley or R-ROW		
	0 ft	
Abutting any non-NR or -LHD		
	10 ft	
	1st - 3rd Story abutting NR or LHD	20 ft
	4th - 5th Story abutting NR or LHD	30 ft

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	30 ft
<b>F</b> Secondary Front Setback (min)	30 ft

## 4.3.7. Apartment Building (continued)

c. Massing & Height

d. Uses & Features



Main Massing	
<b>A</b> BUILDING WIDTH (max)	200 ft
FACADE Build Out, Primary Front (min)	–
Primary Front	80%
Secondary Front	65%
<b>B</b> FLOOR PLATE (max)	20,000 sf
GROUND STORY Elevation (min)	2 ft
<b>C</b> STORY HEIGHT (min)	10 ft
<b>D</b> Number of Stories (min/max)	3   5
<b>E</b> Step-Back, 5th Story (min)	10 ft
<b>F</b> Building Height, Feet (max)	62 ft
Roof Type	Flat

Facade Composition	
<b>A</b> GROUND STORY FENESTRATION (min/max)	15%   50%
<b>B</b> UPPER STORY FENESTRATION (min/max)	15%   50%
BLANK WALL (max)	20 ft

Use & Occupancy	
GROSS FLOOR AREA per DU	–
LOT AREA < 5,500 sf	1,500
LOT AREA >= 5,500 sf	1,125
NET ZERO BUILDING	850
100% AFFORDABLE HOUSING	850
OUTDOOR AMENITY SPACE (min)	1/DU

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 4.3.7. Apartment Building (continued)

- e. DEVELOPMENT Benefits
  - i. DEVELOPMENT is subject to the provisions of Article 12: DEVELOPMENT Benefits of this Ordinance. Where the provisions of this section conflict with those of Article 12, the provisions of Article 12 apply.
  - ii. DEVELOPMENT of a general building must provide AFFORDABLE DWELLING UNITS as specified on Table 4.3.7.
- f. Design Guidelines
  - i. GROUND STORY DWELLING UNITS should be elevated above the grade of any adjacent sidewalk so that the window sills of the DWELLING UNIT are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
  - ii. FENESTRATION patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in such a way as to minimize privacy impacts.
  - iii. Outdoor AMENITY SPACES that are elevated, such as roof DECKS, fully projecting balconies, and UPPER STORY rear porches should, provide sight-obscuring visual screening at the sides to increase privacy, security, and to limit views of ABUTTING properties from elevated vantage points.

**Table 4.3.7 Required ADUs**

Total DWELLING UNITS	Required ADUs
0 to 3 units	None
4 or more units	20% of units

## 4.3.8 General Building

A moderate FLOOR PLATE, multi-STORY PRINCIPAL BUILDING TYPE with GROUND STORY commercial space and no limitations on the occupancy of UPPER STORIES for permitted USES. The UPPER STORIES of a general BUILDING are typically residential, but a wide variety exists. As the number of stories increases, it becomes more likely for the UPPER STORIES of a general BUILDING to host commercial USES as well as residential.

The following images are examples of the general BUILDING TYPE and are intended only for illustrative purposes.

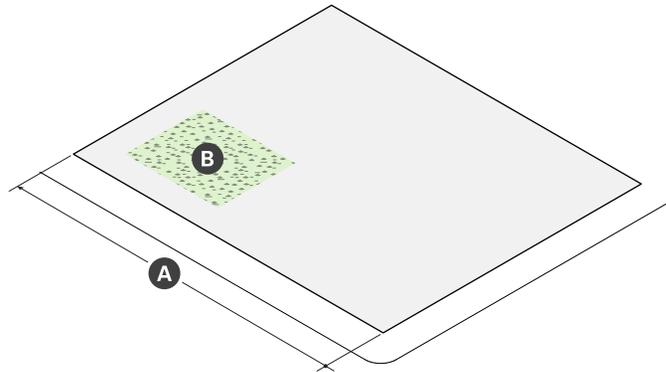


# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 4.3.8. General Building (continued)

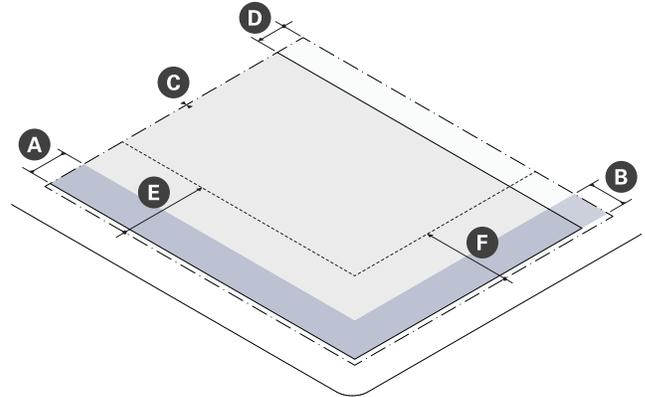
a. LOT Standards



Lot Dimensions	
<b>A</b> LOT WIDTH (min)	30 ft

Lot Development	
LOT Coverage (max)	90%
GREEN SCORE	--
Minimum	0.20
Ideal	0.25
<b>B</b> OPEN SPACE (min)	15%

b. BUILDING Placement



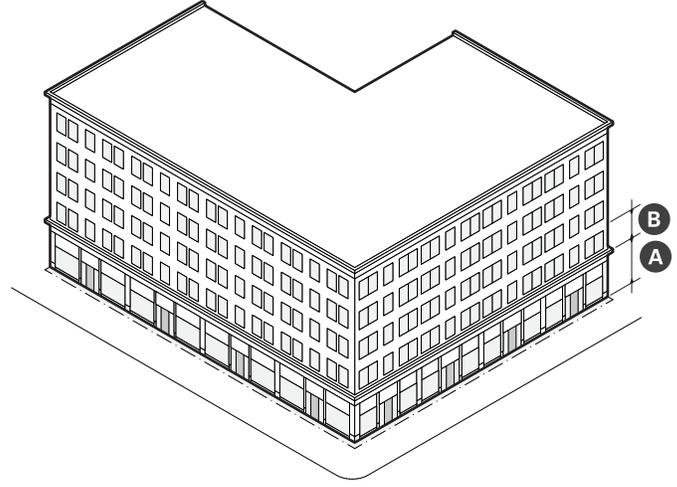
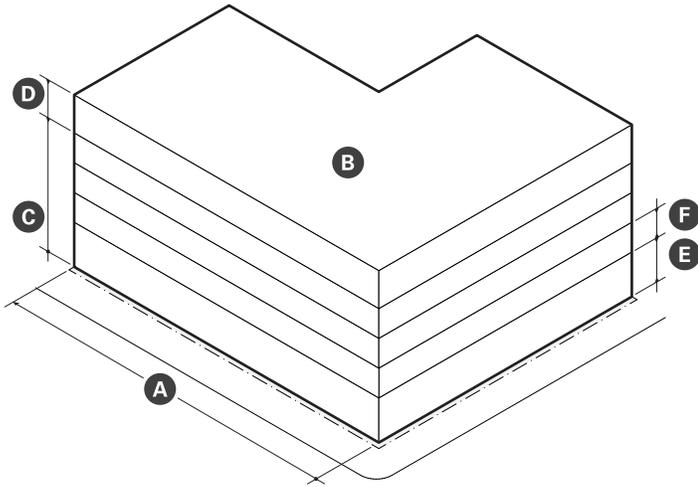
Building Setbacks		
<b>A</b> Primary Front SETBACK (min/max)	2 ft	15 ft
<b>B</b> Secondary Front SETBACK (min/max)	2 ft	15 ft
<b>C</b> Side SETBACK (min)	--	
Abutting an Alley or R-ROW		
	0 ft	
Abutting any non-NR or -LHD		
	0 ft	
	1st - 3rd Story abutting NR or LHD	10 ft
	4th - 5th Story abutting NR or LHD	30 ft
<b>D</b> Rear Setback (min)	--	
Abutting an Alley or R-ROW		
	0 ft	
Abutting any non-NR or -LHD		
	10 ft	
	1st - 3rd Story abutting NR or LHD	20 ft
	4th - 5th Story abutting NR or LHD	30 ft

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	30 ft
<b>F</b> Secondary Front Setback (min)	30 ft

## 4.3.8. General Building (continued)

c. Massing & Height

d. Uses & Features



Main Massing	
<b>A</b> BUILDING WIDTH (max)	200 ft
FACADE Build Out (min)	–
Primary Front	80%
Secondary Front	65%
<b>B</b> FLOOR PLATE (max)	20,000 sf
<b>C</b> GROUND STORY Height (min)	14 ft
<b>D</b> UPPER STORY Height (min)	10 ft
<b>E</b> Number of Stories (min/max)	3   5
<b>F</b> Step-Back, 5th Story (min)	10 ft
<b>G</b> Building Height, Feet (max)	66 ft
Roof Type	Flat

Facade Composition	
<b>A</b> GROUND STORY FENESTRATION (min)	70%
<b>B</b> UPPER STORY FENESTRATION (min/max)	15%   50%
BLANK WALL (max)	20 ft

Use & Occupancy	
GROUND STORY Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft
GROSS FLOOR AREA per DU	–
LOT AREA < 5,500 sf	1,500
LOT AREA >= 5,500 sf	1,125
NET ZERO BUILDING	850
100% AFFORDABLE HOUSING	850
Outdoor AMENITY SPACE (min)	1/DU

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 4.3.8. General Building (continued)

- e. DEVELOPMENT Benefits
  - i. DEVELOPMENT is subject to the provisions of Article 12: DEVELOPMENT Benefits of this Ordinance. Where the provisions of this section conflict with those of Article 12, the provisions of Article 12 apply.
  - ii. DEVELOPMENT of a general building must provide AFFORDABLE DWELLING UNITS as specified on Table 4.3.8 (a).
  - iii. DEVELOPMENT of a general building must provide linkage payments as specified on Table 4.3.8 (b).
- f. Design Guidelines
  - i. FENESTRATION patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in such a way as to minimize privacy impacts.
  - ii. Outdoor AMENITY SPACES that are elevated, such as roof DECKS, fully projecting balconies, and UPPER STORY rear porches should, provide sight-obscuring visual screening at the sides to increase privacy, security, and to limit views of ABUTTING properties from elevated vantage points.

**Table 4.3.8 (a) Required ADUs**

Total DWELLING UNITS	Required ADUs
0 to 3 units	None
4 or more units	20% of units

**Table 4.3.8 (b) Linkage**

Commercial GROSS FLOOR AREA	Affordable Housing Linkage	Employment Linkage
30,000 sf or less	None	None
Over 30,000 sf	\$10/sf	\$2.46/sf

## 4.3.9 Commercial Building

A moderate FLOOR PLATE, multi-STORY, PRINCIPAL BUILDING TYPE purpose built for occupation by commercial uses on all stories. GROUND STORY commercial space is primarily occupied by commercial service, food & beverage service, or retail sales PRINCIPAL USES. Floor space on upper stories may be occupied by retail uses that do not rely on the visibility of a storefront at sidewalk level.

The following images are examples of the commercial BUILDING TYPE and are intended only for illustrative purposes.

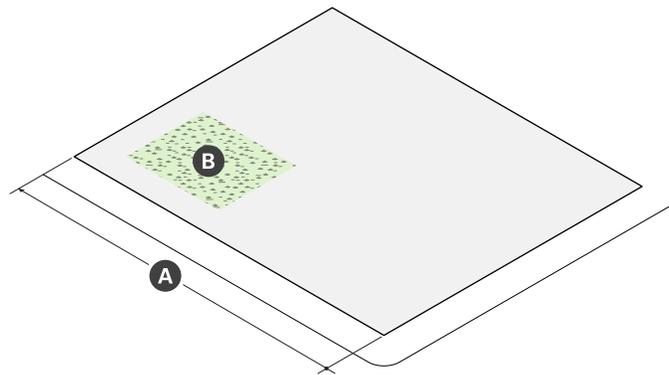


# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 4.3.9. Commercial Building (continued)

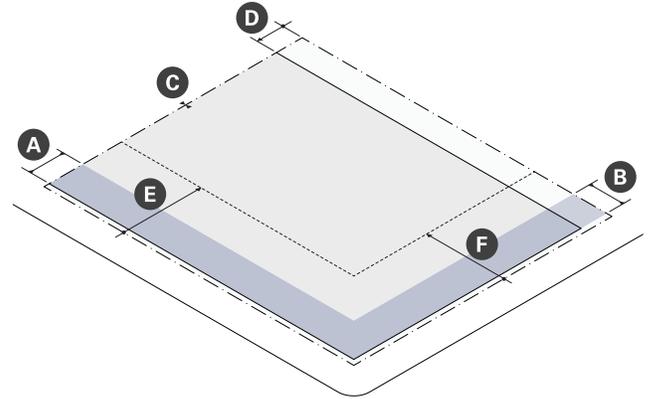
a. LOT Standards



Lot Dimensions	
<b>A</b> LOT WIDTH (min)	30 ft

Lot Development	
LOT Coverage (max)	90%
GREEN SCORE	--
Minimum	0.20
Ideal	0.25
<b>B</b> OPEN SPACE (min)	15%

b. BUILDING Placement

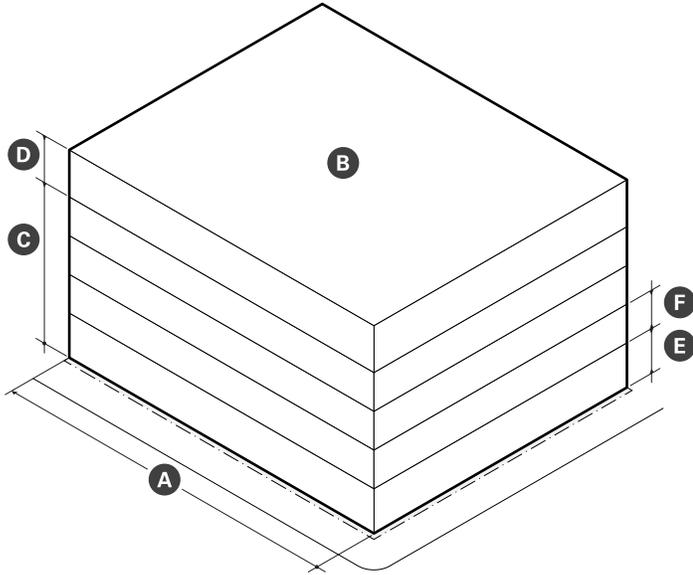


Building Setbacks		
<b>A</b> Primary Front SETBACK (min/max)	2 ft	15 ft
<b>B</b> Secondary Front SETBACK (min/max)	2 ft	15 ft
<b>C</b> Side SETBACK (min)	0 ft	
Abutting an Alley or R-ROW	0 ft	
Abutting any non-NR or -LHD	0 ft	
1st - 3rd Story abutting NR or LHD	10 ft	
4th - 5th Story abutting NR or LHD	30 ft	
<b>D</b> Rear Setback (min)	--	
Abutting an Alley or R-ROW	0 ft	
Abutting any non-NR or -LHD	10 ft	
1st - 3rd Story abutting NR or LHD	20 ft	
4th - 5th Story abutting NR or LHD	30 ft	

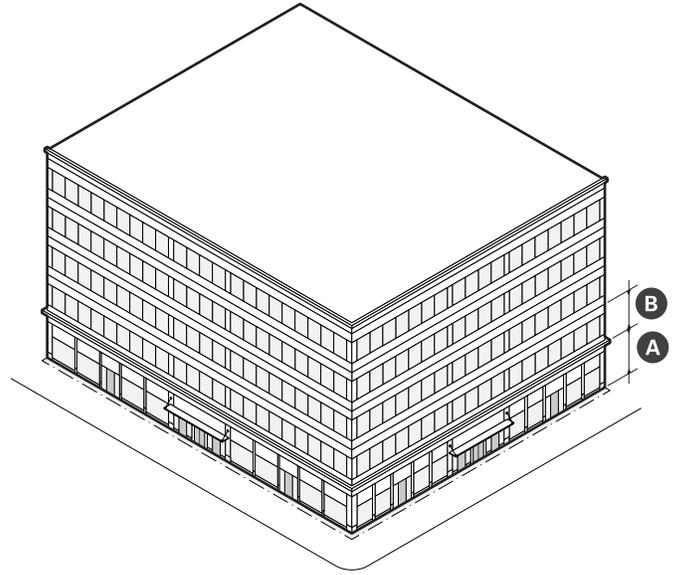
Parking Setbacks	
<b>E</b> Primary Front Setback (min)	30 ft
<b>F</b> Secondary Front Setback (min)	30 ft

## 4.3.9. Commercial Building (continued)

### c. Massing & Height



### d. Uses & Features



Main Massing	
<b>A</b> BUILDING WIDTH (max)	200 ft
FACADE Build Out (min)	–
Primary Front	80%
Secondary Front	65%
<b>B</b> FLOOR PLATE (max)	20,000 sf
<b>C</b> GROUND STORY Height (min)	14 ft
<b>D</b> UPPER STORY Height (min)	10 ft
<b>E</b> Number of Stories (min/max)	3   5
<b>F</b> Step-Back, 5th Story (min)	10 ft
<b>G</b> Building Height, Feet (max)	70 ft
Roof Type	Flat

Facade Composition	
<b>A</b> GROUND STORY FENESTRATION (min)	70%
<b>B</b> UPPER STORY FENESTRATION (min/max)	15%   70%
BLANK WALL (max)	20 ft

Use & Occupancy	
GROUND STORY Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft

## 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

### 4.3.9. Commercial Building (continued)

- e. DEVELOPMENT Benefits
  - i. DEVELOPMENT is subject to the provisions of Article 12: DEVELOPMENT Benefits of this Ordinance. Where the provisions of this section conflict with those of Article 12, the provisions of Article 12 apply.
  - ii. DEVELOPMENT of a general building must provide linkage payments as specified on Table 4.3.9.

**Table 4.3.9 Linkage**

<b>Commercial GROSS FLOOR AREA</b>	<b>Affordable Housing Linkage</b>	<b>Employment Linkage</b>
<b>30,000 sf or less</b>	<b>None</b>	<b>None</b>
<b>Over 30,000 sf</b>	<b>\$10/sf</b>	<b>\$2.46/sf</b>

## 10. Building Components

- a. BUILDING COMPONENTS are ACCESSORY elements attached to the MAIN MASSING of a PRINCIPAL BUILDING.
- b. BUILDING COMPONENTS are permitted by Site Plan Approval as specified on Table 4.3.10.
  - i. At least one (1) storefront is required for each GROUND STORY commercial space.
- c. BUILDING COMPONENTS that are not identified on Table 4.2.10 are prohibited.
- d. Unless otherwise specified, BUILDING COMPONENTS may attach to other BUILDING COMPONENTS to create assemblies of components.

**Table 4.3.10 Building Components**

	Apartment Building	General Building	Commercial Building
Awning	N	P	P
Entry Canopy	P	P	P
Lobby Entrance	P	P	P
Storefront	N	P	P
Stoop	P	N	N
Bay Window	P	P	P
Balcony	P	P	N
Arcade	N	N	N

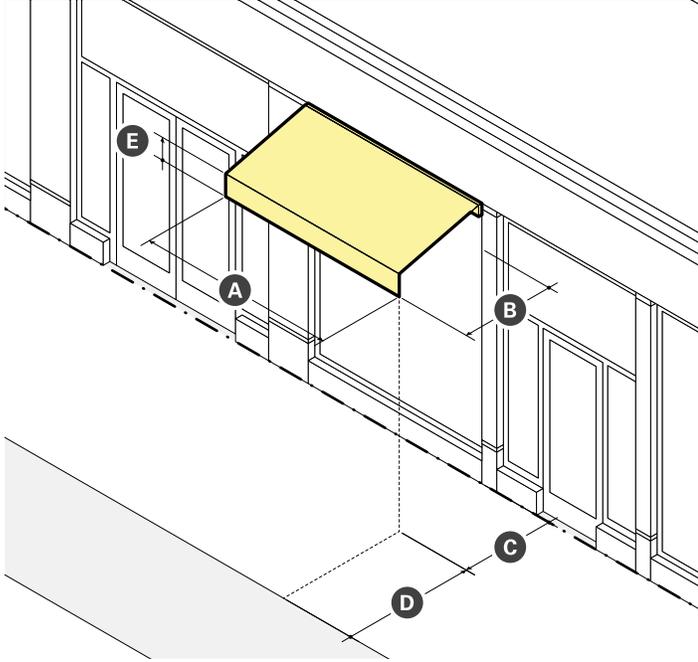
P - Permitted    SP - Special Permit Required    N - Not Permitted

# 4. MID-RISE DISTRICTS

## Mid-Rise 5 (MR5)

### e. Awning

- i. An awning is a wall mounted frame covered with fabric or other material that provides shade and weather protection over a storefront or BUILDING entrance.

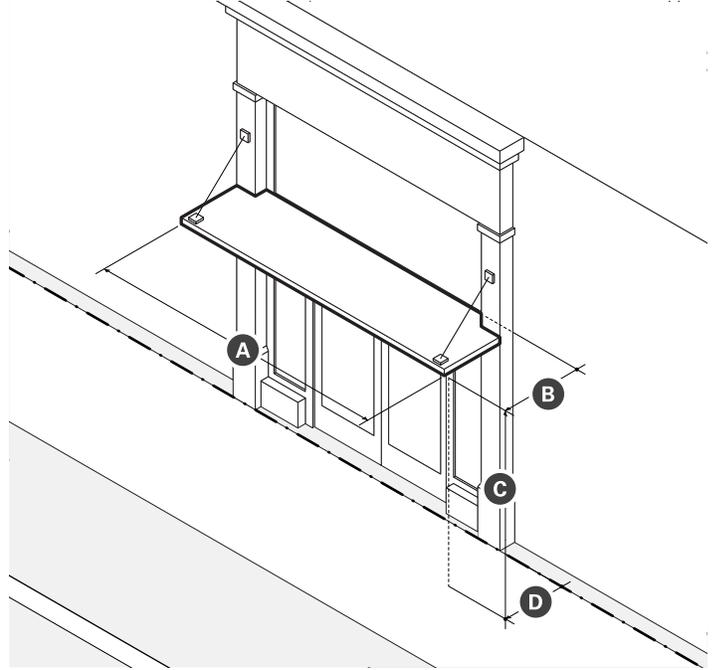


Dimensions	
<b>A</b> Width (min)	See ii Standards
<b>B</b> Projection (min)	3 ft
<b>C</b> CLEARANCE (min)	8 ft
Front SETBACK ENCROACHMENT (max)	100%
<b>D</b> SETBACK from Curb (min)	2 ft
<b>E</b> Valance Height (max)	12 in

- ii. Standards
  - a). Awnings must be securely attached to and supported by the BUILDING and must fit the windows or doors the awning is attached to.
  - b). An awning must be made of durable, weather-resistant material that is water repellent.
  - c). Internally illuminated or back-lit awnings are prohibited.
  - d). An awning that projects over the sidewalk of a public THOROUGHFARE requires compliance with all City Ordinances.

### f. Entry Canopy

- i. An entry canopy is a wall-mounted STRUCTURE that provides shade and weather protection over a storefront or BUILDING entrance.

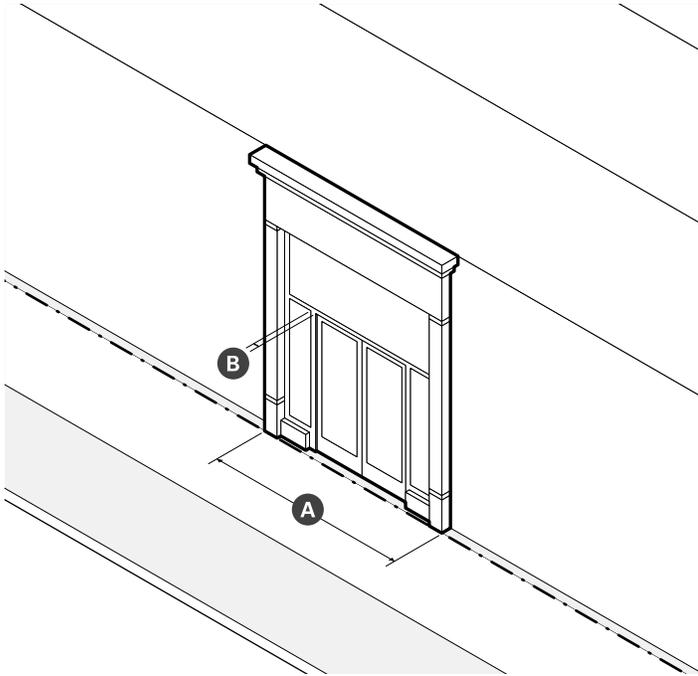


Dimensions	
<b>A</b> Width (min)	See ii Standards
<b>B</b> Projection (min)	3 ft
<b>C</b> CLEARANCE (min)	8 ft
<b>D</b> Front SETBACK ENCROACHMENT (max)	100%
SETBACK from Curb (min)	2 ft

- ii. Standards
  - a). Entry canopies must be visually supported by brackets, cables, or rods.
  - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.

## g. Lobby Entrance

- i. A lobby entrance is a non-load bearing assembly of entry doors and windows providing ACCESS and light to the lobby of a BUILDING.

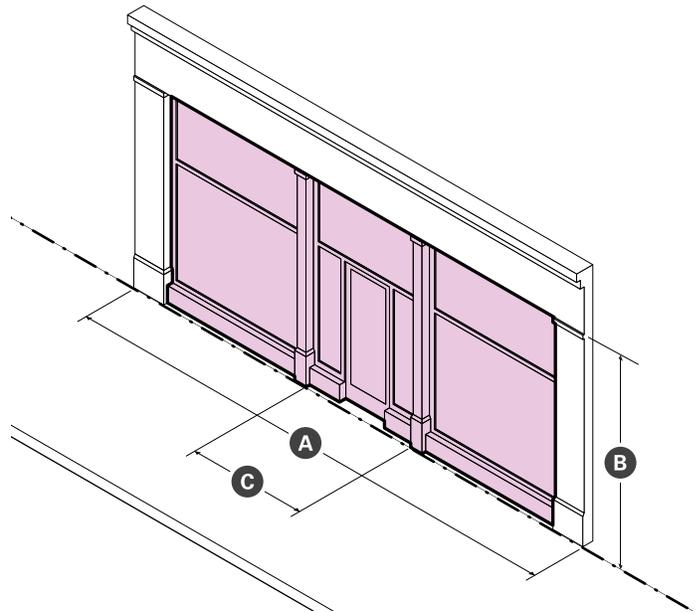


Dimensions		
<b>A</b> Width (min/max)	15 ft	30 ft
<b>B</b> Height (min)	80% of GROUND STORY Height	
Recessed Entrance Width (max)	15 ft	
Recessed Entrance Depth (max)	5 ft	

- ii. Standards
  - a). When a lobby entrance is set back from the FRONT LOT LINE, the FRONTAGE AREA must be paved.

## h. Storefront

- i. A storefront is a non-load bearing assembly of commercial entry doors and windows providing ACCESS and light to a commercial space and a place to display goods, services, and SIGNS.



Dimensions		
<b>A</b> Width (min/max)	15 ft	30 ft
<b>B</b> Height (min)	80% of GROUND STORY Height	
Display Window Height (min)	8 ft	
Recessed Entrance Width (max)	15 ft	
Recessed Entrance Depth (max)	5 ft	

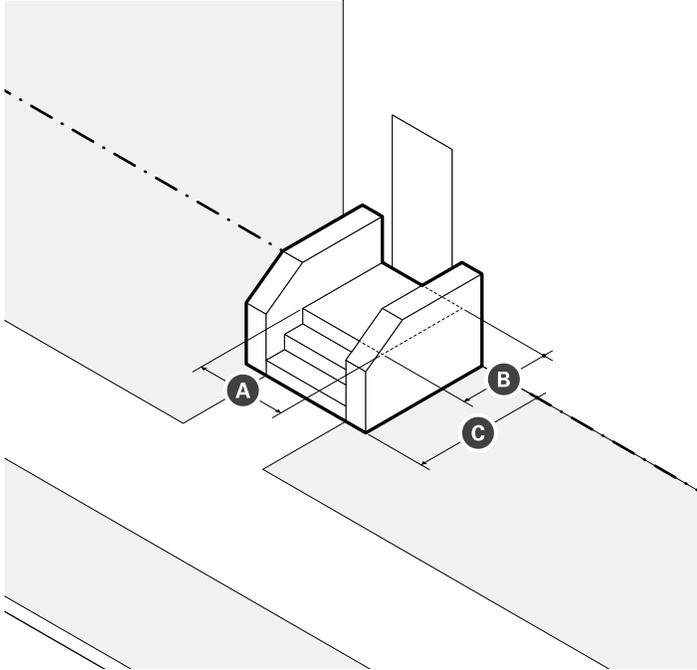
- ii. Standards
  - a). An unobstructed view of the interior space or a lighted and maintained merchandise display(s) must be provided for a depth of at least four (4) feet behind storefront display windows.
  - b). When storefronts are set back from the FRONT LOT LINE, the FRONTAGE AREA must be paved.
  - c). When present, awnings and canopies must be mounted between columns, PILASTERS, OR PIERS; above doorways and display windows; and below the SIGN BAND.
  - d). Exterior security grilles, gates, and roll-down security doors and windows are prohibited.

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## i. Stoop

- i. A stoop is a set of stairs with a landing leading to the entrance of a BUILDING.

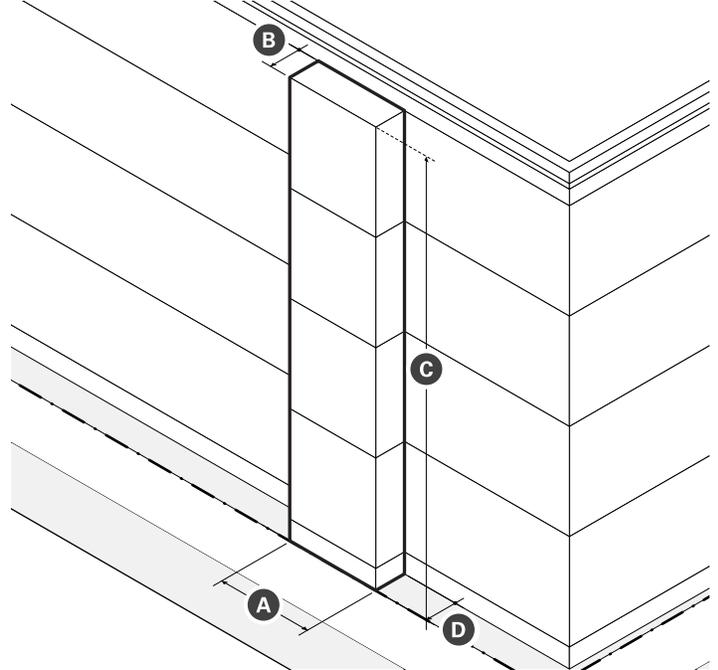


Dimensions	
<b>A</b> Landing Width (min)	4 ft
<b>B</b> Landing Depth (min)	4 ft
<b>C</b> Front SETBACK ENCROACHMENT (max)	100%

- ii. Standards
  - a). Paving, excluding driveways, must match the ABUTTING sidewalk unless paved with pervious, porous, or permeable materials.
  - b). Stairs may be recessed into the BUILDING FACADE when the BUILDING is set back four (4) feet or less.
  - c). Stairs are not permitted to ENCROACH onto any ABUTTING sidewalk.
  - d). Stairs may be built perpendicular or parallel to the BUILDING FACADE, but must lead directly to ground level or an ABUTTING sidewalk.

## j. Bay Window

- i. A bay window is an assembly of windows projecting from a building to provide additional HABITABLE space, increased light, multi-directional views, and ARTICULATION to an exterior wall.

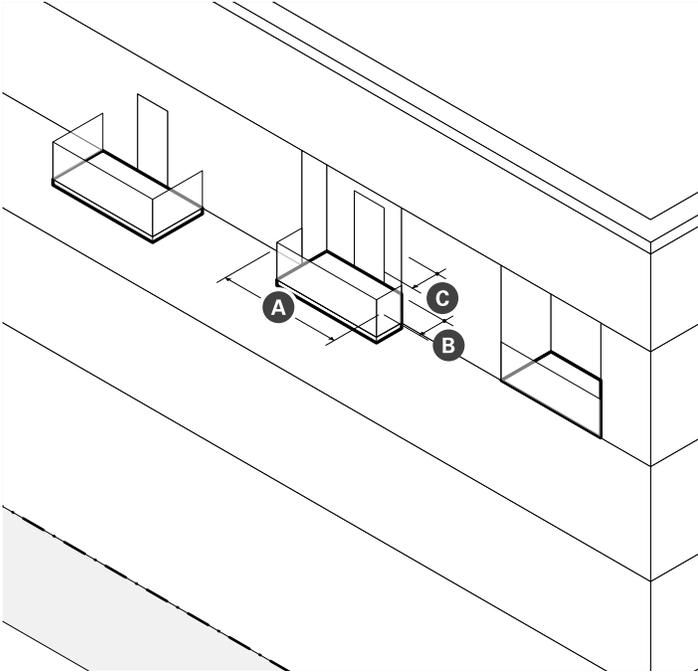


Dimensions	
<b>A</b> Width (max)	16 ft
<b>B</b> Projection (max)	3 ft
<b>C</b> Height (max)	Height of BUILDING in Stories
<b>D</b> Front SETBACK ENCROACHMENT (max)	3 ft
FENESTRATION (min)	60%

- ii. Standards
  - a). Bay windows, including box and bow windows, must include at least three (3) windows.
  - b). The cumulative width of multiple bays may equal up to fifty percent (50%) of the width of the exterior wall from which the bays project.
  - c). Bays projecting over the sidewalk of a public THOROUGHFARE must have at least two (2) stories of CLEARANCE and be compliant with all City Ordinances.

## k. Balcony

- i. A balcony is a platform with a railing that provides outdoor AMENITY SPACE.

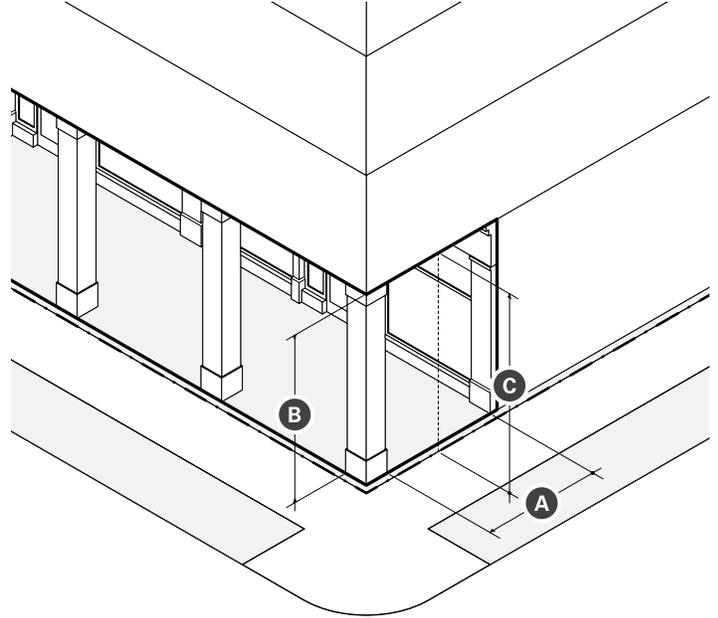


Dimensions	
<b>A</b> Width (min)	5 ft
<b>B</b> Depth (max)	5 ft
<b>D</b> Area (min)	50 ft
CLEARANCE (min)	10 ft
Permitted Front SETBACK ENCROACHMENT (max)	6 ft

- ii. Standards
  - a). Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay.
  - b). A balcony that projects over the sidewalk of a public THOROUGHFARE requires compliance with all City Ordinances.
  - c). The guard rail of any balcony oriented toward a FRONT LOT LINE must permit visual supervision of the PUBLIC REALM through the posts and rails.
  - d). The guard rail of any balcony oriented toward a side OF REAR LOT LINE ABUTTING the NR district must include sight-obscuring visual screening so that it is at least fifty percent (50%) opaque.

## l. Arcade

- i. An arcade is a pedestrian walkway covered by the upper floors of a BUILDING. The GROUND STORY FACADE is SETBACK and upper floors are supported by a colonnade or supports.



Dimensions		
<b>A</b> Depth (min/max)	10 ft	15 ft
<b>B</b> Height (max)	1 STORY	
<b>C</b> CLEARANCE (min/max)	14 ft	24 ft

- ii. Standards
  - a). Arcades must extend the entire width of a BUILDING and must have a consistent depth.
  - b). Support columns or PIERS may be spaced no farther apart than they are tall.
  - c). Arcades are considered part of the BUILDING for the purpose of measuring FACADE build out.
  - d). Arcades may be combined only with storefront and lobby entrance frontages.
  - e). The finished ceiling of an arcade interior may be arched or flat, but must have a greater CLEARANCE than the openings between columns OR PIERS.

## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

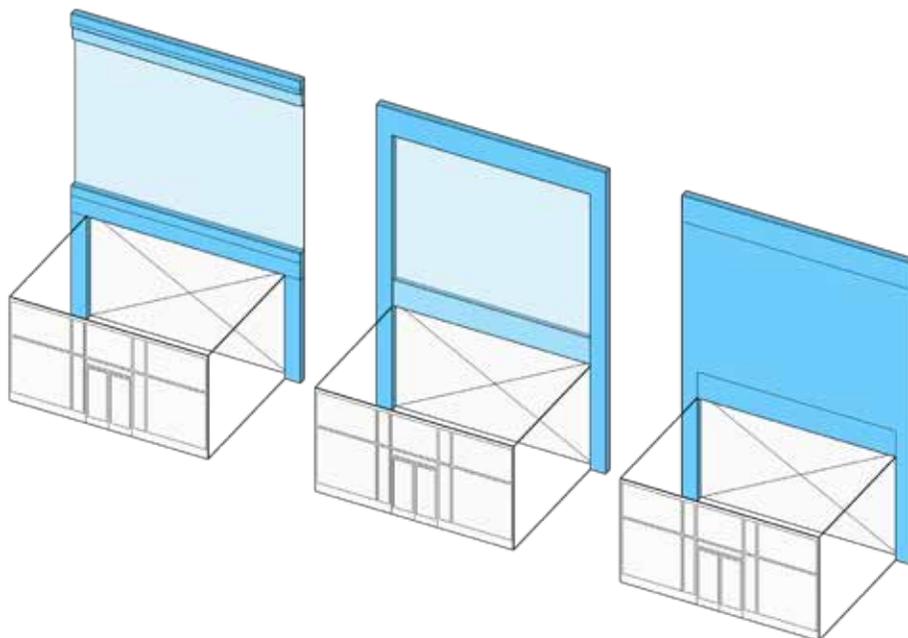
#### 11. Facade Design

- a. FACADES must provide solid material framing each storefront and lobby entrance as follows:
  - i. PILASTERS or columns supporting a horizontal lintel and CORNICE;
  - ii. a spandrel positioned between PILASTERS or columns that extend from upper stories of the building to the ground; or
  - iii. flat wall above and to either side of a void or punched opening.
- b. Storefronts and lobby entrances must be set within the resulting frame provided for each by the FACADE.
- c. Materials framing each storefront or lobby entrance may be integrated into the design of the FACADE or customized for individual storefronts and lobby entrances.
- d. Mechanical louvers necessary for venting purposes are not permitted in the required frame, but may be incorporated into any storefront or lobby entrance system.
- e. FACADES must differentiate the GROUND STORY of the building from the upper stories through horizontal ARTICULATION, a change in material, or a change in window size or pattern to create a distinct base to the building FACADE. The entire height of the GROUND STORY must be included in the FACADE base.
- f. Buildings of five (5) or more stories should include, at least, the entire height of the first two (2) stories in the required base. The design of the base may not shift up or down across the width of the FACADE.
- g. For buildings with more than one FACADE, the design of the base must align horizontally at the corner.
- h. FACADES must provide surface relief from the average plane of the FACADE by at least four (4) inches, through the USE of architectural elements such as bay windows, columns, CORNER BOARDS, CORNICES, door and window surrounds, moldings, PIERS, PILASTERS, recessed storefronts or lobby entrances, seat walls, sills, wall thickness, and recessed or projecting windows.
- i. The FACADE of any building greater than one hundred (100) feet in width must be divided vertically and designed as two (2) or more separate and distinct facades of differing architectural treatment so that the building appears to be multiple buildings. See Figure 4.3.11 (b). The differentiation between facade designs must include the following:
  - i. a change in CORNICE, roof eave, or parapet;
  - ii. a change in wall material; and
  - iii. a pilaster or column on either side of the division between each facade.

#### 12. Architectural Design Guidelines

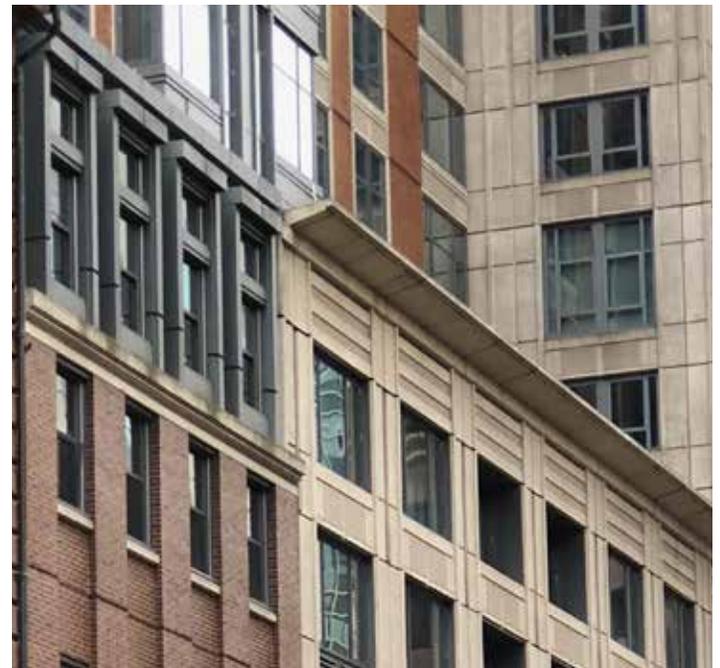
- a. FACADES should be visually divided into a series of ARCHITECTURAL BAYS that are derived, in general, from the building's structural bay spacing.
- b. PIERS, PILASTERS, or other features defining each ARCHITECTURAL BAY should either extend all the way to the ground or terminate at any horizontal ARTICULATION defining the base of the building.
- c. ARCHITECTURAL BAYS should align, in general, with

**Figure 4.3.11 (a) Storefront & Lobby Entrance Framing**



- d. individual or groups of storefronts and lobby entrances.
- d. PIERS, PILASTERS, or other features defining each ARCHITECTURAL BAY should always project forward and be uninterrupted by any horizontal articulation, excluding any horizontal ARTICULATION USED to differentiate the base of the building.
- e. The FACADE of buildings with five (5) or more stories should be visually divided into, at least, a horizontal tripartite division (a base, middle, and top). The horizontal divisions may not shift up or down across the width of the FACADE.
- f. Vents, exhausts, and other utility features on building FACADES should be architecturally integrated into the design of the building and should be located to minimize adverse effects on pedestrian comfort along sidewalks and within OPEN SPACES.
- g. Buildings at TERMINATED VISTAS should be ARTICULATED with design features that function as focal points.
- h. FENESTRATION glazing should be inset from the plane of exterior wall surfaces.
- i. RIBBON WINDOWS should be avoided.
- j. Monotonous and repetitive storefront or lobby systems, awnings, canopies, SIGN types, colors, or designs should be avoided.
- k. Storefronts and lobby entrances should include awnings or canopies to provide weather protection for pedestrians and reduce glare for storefront display areas. Awnings should be open-ended and operable.
- l. Lobby entrances for UPPER STORY USES should be optimally located, well defined, clearly visible, and separate from the entrance for other GROUND STORY USES.
- m. Lobbies should be limited in both width and total area to preserve floor space and frontage for other GROUND STORY USES. Buildings should USE any combination of FACADE ARTICULATION, a double-height ceiling, a distinctive doorway, a change in wall material, a change in paving material within the FRONTAGE AREA, or some other architectural element(s) to make lobbies visual and materially distinctive.
- n. The selection of materials, FENESTRATION, and ornamentation should result in a consistent and harmonious composition that appears as a unified whole rather than a collection of unrelated parts.
- o. The type and color of materials should be kept to a minimum, preferably three (3) or fewer.
- p. Two (2) or more wall materials should be combined only one above the other, except for bay windows.
- q. Wall materials appearing heavier in weight should be used below wall materials appearing lighter in weight (wood and metal above brick, and all three above stone)
- r. Horizontal or vertical board siding or shingles, regardless of material, should be avoided.
- s. Architectural details and finish materials for the base of a building should be constructed of architectural concrete or pre-cast cementitious panels, natural or cast stone, heavy gauge metal panels, glazed or unglazed architectural terracotta, or brick.
- t. Exterior Insulation and Finish Systems (EIFS) should be avoided.

**Figure 4.3.11 (b) Appearance of Two Buildings**



# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 13. Use Provisions

- a. General
  - i. The USE of real property is subject to the provisions of Article 9: USE Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
  - ii. USE categories are permitted as specified on Table 4.1 (c). USE categories not identified on Table 4.3.13 are prohibited.
  - iii. All USES must comply with any USE-specific standards applicable for each USE in §9.2 USE Definitions & Limitations.
  - iv. USES permitted by Special Permit require additional DEVELOPMENT review in accordance with §15.2.1 Special Permits.
- b. USE Limitations
  - i. The USE of any GROUND STORY commercial space fronting a PEDESTRIAN STREET, excluding lobbies for UPPER STORY USES, is limited to the following PRINCIPAL USE categories:
    - a). Arts & Creative Enterprise
    - b). Food & Beverage Service
    - c). Retail
    - d). Civic & Institutional
- c. Required USES
  - i. A minimum of five percent (5%) of the gross leasable commercial floor space in any BUILDING must be provided as LEASABLE FLOOR AREA for USES from the Arts & Creative Enterprise USE category.
- d. Increases in Density
  - i. Existing STRUCTURES may not be altered to conflict with number of DWELLING UNITS permitted for each BUILDING TYPE.

**Table 4.3.13 Permitted Uses**

Use Category Specific Use	MR5
<b>Arts &amp; Creative Enterprise</b>	
Artisinal Production	P
Arts Exhibition	P
Arts Sales & Services	P
Co-working	P
Design Services	P
Shared Workspaces & Arts Education	P
<b>Cannabis Establishment</b>	
Cannabis Cultivation	P
Cannabis Retail Sales	SP
Cannabis Research & Development	P
Cannabis Testing Laboratory	P
<b>Civic &amp; Institutional</b>	
Community Center	P
Hospital	SP
Library	P
Minor Utility Facility	SP
Museum	P
Private Non-Profit Club or Lodge	SP
Public Service	P
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	P

P - Permitted    SP - Special Permit Required    N - Not Permitted

**Table 4.3.13 Permitted Uses (continued)**

Use Category Specific Use	MR5
<b>Commercial Services</b>	
Animal Services (as noted below)	--
Commercial Kennel	SP
Pet Grooming	P
Pet Daycare & Training	SP
Veterinarian	SP
Assembly or Entertainment	SP
Banking & Financial Services (except as noted below)	P
Personal Credit	SP
Broadcast and/or Recording Studio	P
Building & Home Repair Services	SP
Business Support Services	P
Caterer/Wholesale Food Production	SP
Day Care Service (as noted below)	--
Adult Day Care Center	P
Child Day Care Center	P
Educational Services	P
Maintenance & Repair of Consumer Goods	P
Personal Services (except as noted below)	P
Body-Art Services	SP
Fitness Services	P
Funeral Services	SP
Health Care Services	SP
Formula Personal Services	SP
Recreation Services	SP
Vehicle Parking (except as follows)	--
Bike Share Parking	P
Car Share Parking (3 or fewer spaces)	P
Car Share Parking (4 or more spaces)	P
Commercial Parking	P
<b>Food and Beverage Service</b>	
Bar/Restaurant/Tavern	P
Bakery/Café/Coffee Shop	P
Formula Food & Beverage Service	SP

P - Permitted    SP - Special Permit Required    N - Not Permitted

**Table 4.3.13 Permitted Uses (continued)**

Use Category Specific Use	MR5
<b>Lodging</b>	
Bed & Breakfast	SP
Hotel or Hostel	SP
<b>Office</b>	
General Office	P
Research and Development or Laboratory	P
<b>Residential</b>	
Household Living	SP
Group Living (except as follows)	SP
Community or Group Residence	P
Dormitory, Fraternity or Sorority	SP
Homeless Shelter	SP
Nursing Home/Assisted Living Facility	SP
Rooming House	SP
<b>Retail Sales</b>	
Building/Home Supplies & Equipment	SP
Consumer Goods (except as follows)	P
Alcohol Sales	SP
Firearms Sales	N
Pet Store	SP
Formula Retail	SP
Fresh Food Market or Grocery Store	P
Farm/Vendor Market	P
<b>Urban Agriculture</b>	
Farming (as noted below)	--
Commercial Farming	P
Community Farming	P
Community Gardening	P

P - Permitted    SP - Special Permit Required    N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

**Table 4.3.13 Permitted Uses (continued)**

Use Category Specific Use	MR5
<b>Accessory Uses</b>	
<b>Home Occupations (as noted below)</b>	--
Home Office	P
<b>Urban Agriculture (as noted below)</b>	--
Apiculture	P
Aviculture	P
Commercial Farming	P
Residential Gardening	P
<b>Vehicle Parking, Accessory</b>	P
Home Business Vehicle Parking	N

P - Permitted    SP - Special Permit Required    N - Not Permitted

## 14. Development Standards

- a. General
  - i. DEVELOPMENT is subject to the provisions of Article 10: DEVELOPMENT STANDARDS of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. SIGNS
  - i. A SIGN, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
    - a). Each GROUND STORY non-residential USE must identify the STREET address either on the PRINCIPAL ENTRANCE door or above or beside the PRINCIPAL ENTRANCE of the USE.
    - b). All residential BUILDING TYPES must identify the STREET address either on the PRINCIPAL ENTRANCE door, above or beside the PRINCIPAL ENTRANCE, or on a mailbox.
  - ii. Address SIGNS must be made easily visible through the USE of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the THOROUGHFARE that the BUILDING faces.
  - iii. Address SIGNS must be twelve (12) inches in height or less and may include the name of the occupant.

## 15. Parking & Mobility

- a. General
  - i. DEVELOPMENT is subject to the provisions of Article 11: Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
  - ii. Vehicular parking must be provided as specified on Table 4.1 (d), except as follows:
    - a). Non-residential USES with five thousand (5,000) square feet or less of GROSS LEASABLE FLOOR AREA are exempt from any minimum requirements of Table 4.1. (d).
    - b). Any CHANGE IN USE within a non-residential STRUCTURE constructed before the effective date of this Ordinance, provided that the change is to a permitted USE, is exempt from any minimum requirements of Table 4.1 (d).
  - iii. There are no parking requirements for ACCESSORY USES.
  - iv. MOTOR VEHICLE PARKING spaces may be shared between USES on the same LOT and buildings on the same BLOCK in accordance with §11.3 SHARED PARKING.
- b. Type
  - i. MOTOR VEHICLE PARKING may be provided as above ground STRUCTURED PARKING or underground STRUCTURED PARKING. SURFACE PARKING is prohibited.
- c. Driveways
  - i. New driveways require a permit from the City Engineer in accordance with Chapter 11, Article II, Sec. 11-33 Driveway Construction of The Code of Ordinances, City of Somerville, Massachusetts.
  - ii. Driveways are not permitted in the FRONTAGE AREA between a building and the FRONT LOT LINE.
  - iii. Driveways may be up to twenty four (24) feet in width.
  - iv. Driveways may provide ACCESS in whole or in part on or across an ABUTTING LOT(s), provided that an ACCESS EASEMENT exists between all PROPERTY OWNERS.
- d. Parking Design
  - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 MOTOR VEHICLE PARKING of this Ordinance.
- e. Parking Location
  - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous LOT under the same ownership as the LOT that the parking will serve as follows:
    - a). Pedestrian ACCESS to off-SITE vehicular parking must be via a paved sidewalk or walkway.
    - b). A lease, recorded covenant, or other comparable legal instrument guaranteeing long term USE of the SITE must be provided to the review board or BUILDING OFFICIAL and executed and filed with the Registry of Deeds.
  - ii. For real property located in more than one municipality, MOTOR VEHICLE PARKING need not be located within the City of Somerville.
- f. Unbundled Parking
  - i. MOTOR VEHICLE PARKING spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a DWELLING UNIT or non-residential floor space.
  - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
- g. Parking Relief
  - i. Relief from the parking standards of Table 4.3 (d) requires a Special Permit.
    - a). In addition to the review criteria for all Special Permits specified in §15.2.1.e. Review Criteria, the review board shall make findings considering the following in its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 4.3 (d):
      - i). The supply and demand of on-STREET parking in the neighborhood, as determined through a parking study.
      - ii). MOBILITY MANAGEMENT programs and services provided by the APPLICANT to reduce the demand for parking.
      - iii). That parking provided in excess of any maximum permitted does not result in the increase in impervious LOT AREA.

## 16. PUBLIC REALM

- a. Sidewalks
  - i. When DEVELOPMENT OCCURS on any LOT ABUTTING a sidewalk that is less than twelve (12) feet in total width, the BUILDING must be set-back an additional distance to accommodate expansion of the ABUTTING sidewalk to a width of at least twelve (12) feet. The minimum and maximum front SETBACKS for each BUILDING TYPE are increased accordingly.
- b. Sidewalk CURB CUTS
  - i. A CURB CUT requires a permit from the City Engineer and must be compliant with all City Ordinances.
  - ii. Unless otherwise specified, the City Engineer may not permit more than one (1) CURB CUT per FRONT LOT LINE of a LOT.
  - iii. CURB CUTS are prohibited along all THOROUGHFARES designated as a PEDESTRIAN STREET.
  - iv. CURB CUTS must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, STREET TREES, utility poles, and other furnishings as deemed necessary by the City Engineer.

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

**Table 4.3.15 Vehicular Parking**

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a TRANSIT AREA <sup>1</sup> (max)	Outside of a TRANSIT AREA <sup>1</sup> (min)
<b>Arts &amp; Creative Enterprise</b>				
All Permitted Uses	1 / 10,000 sf	1 / 3,000 sf	1 / 800 sf	1 / 1,000 sf
<b>Cannabis Establishment</b>				
Cannabis Retail Sales	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Cannabis Research & Development	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
Cannabis Testing Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>Civic &amp; Institutional</b>				
COMMUNITY CENTER	1 / 10,000 sf	4 / 10,000 sf	1 / 1,800 sf	1 / 600 sf
Educational Facility	1.0 / classroom	4.0 / classroom	1.5 / classroom	3.0 / classroom
HOSPITAL	10 per entrance	1 / 5,000 sf	1 / 200 sf	1 / 1,000 sf
LIBRARY	1 / 3,000 sf	1 / 5,000 sf	1 / 800 sf	1 / 500 sf
MINOR UTILITY FACILITY	n/a	n/a	n/a	n/a
MUSEUM	1 / 2,000 sf	1 / 10,000 sf	1 / 800 sf	1 / 500 sf
Private Non-Profit Club or Lodge	1 / 2,000 sf	1 / 10,000 sf	1 / 200 sf	1 / 1,000 sf
<b>Commercial Services</b>				
Animal Services (as noted below)	–	–	–	–
Commercial Kennel	1 / 2,500 sf	1 / 10,000 sf	1 / 500 sf	1 / 500 sf
Pet Grooming	1 / 2,500 sf	none	1 / 500 sf	1 / 500 sf
Pet Day Care or Training	1 / 2,500 sf	none	1 / 500 sf	1 / 500 sf
Veterinarian	1 / 2,500 sf	1 / 5,000 sf	1 / 500 sf	1 / 500 sf
ASSEMBLY OR ENTERTAINMENT	1 / 40 seats	1 / 10,000 sf	1 / 6 seats	1 / 6 seats
Banking & Financial Services (except as noted below)	1 / 2,000 sf	1 / 10,000 sf	1 / 450 sf	1 / 400 sf
Broadcast and/or Recording Studio	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 600 sf
BUILDING & Home Repair Services	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 2,000 sf
BUSINESS SUPPORT SERVICES	1 / 2,500 sf	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Caterer/Wholesale Food Production	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 1,000 sf
Day Care Service	2	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Maintenance & Repair of CONSUMER GOODS	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
PERSONAL SERVICES (except as noted below)	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Health Care Services	1 / 2,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 300 sf
Recreation Services	1 / 2,500 sf	1 / 10,000 sf	–	–

sf - Gross Leasable Square Footage

DU - DWELLING UNIT

RU - ROOMING UNIT

<sup>1</sup> See the TRANSIT AREA Map

**Table 4.3.15 Vehicular Parking (continued)**

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a TRANSIT AREA <sup>1</sup> (max)	Outside of a TRANSIT AREA <sup>1</sup> (min)
<b>Food and Beverage Service</b>				
<b>All Permitted Uses</b>	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
<b>Lodging</b>				
BED & BREAKFAST	n/a	2.0	1 / DU + 1 / 4 guest rooms	1 / DU + 1 / 4 guest rooms
HOTEL OR HOSTEL	1 / 20 rooms	1 / 10 rooms	1 / 2 guest rooms	1 / 2 guest rooms
<b>Office</b>				
Co-WORKING	1 / 20,000 sf	1 / 3,000 sf	1 / 1,200 sf	1 / 800 sf
GENERAL OFFICE	1 / 20,000 sf	1 / 3,000 sf	1 / 900 sf	1 / 650 sf
<b>Research and Development or Laboratory</b>	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>Residential</b>				
HOUSEHOLD LIVING	0.1 / DU	1.0 / DU	1.0 / DU	1.0 / DU
<b>GROUP LIVING (except as follows)</b>	0.05 / room	0.5 / room	--	--
COMMUNITY OR GROUP RESIDENCE	--	--	--	--
Dormitory, Fraternity or Sorority	0.1 / room	0.5 / room	.05 / bed	1.0 / 4 beds
HOMELESS SHELTER	--	--	4.0	4.0
Nursing Home/Assisted Living Facility	--	--	1 / 6 beds	1 / 6 beds
Single Room Occupancy Housing	--	--	1 / 6 beds	1 / 4 beds
<b>Retail Sales</b>				
<b>BUILDING/Home Supplies &amp; Equipment</b>	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>CONSUMER GOODS (except as follows)</b>	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
FORMULA RETAIL	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
FRESH FOOD MARKET OR GROCERY STORE	1 / 1,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 1,500 sf
<b>Farm/Vendor Market</b>	n/a	n/a	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - DWELLING UNIT

RU - ROOMING UNIT

<sup>1</sup> See the TRANSIT AREA Map

## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

- a). CURB CUTS for commercial or high-volume driveways should be at least one-hundred (100) feet from an UNSIGNALIZED or SIGNALIZED intersection.
- b). CURB CUTS for residential driveways should be at least twenty (20) feet from an UNSIGNALIZED intersection and at least forty (40) feet from a SIGNALIZED intersection.
- v. The interior width of a CURB CUT (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
- vi. A DRIVEWAY APRON may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City Departments.
- vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the DRIVEWAY APRON and the ABUTTING driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

**Figure 4.3.16 Sidewalk Curb Cuts**

