

NOTE:

Front setback = 25' or 25% depth of lot (15' minimum)

Rear setback = 30' or 30% depth of lot (25' minimum)

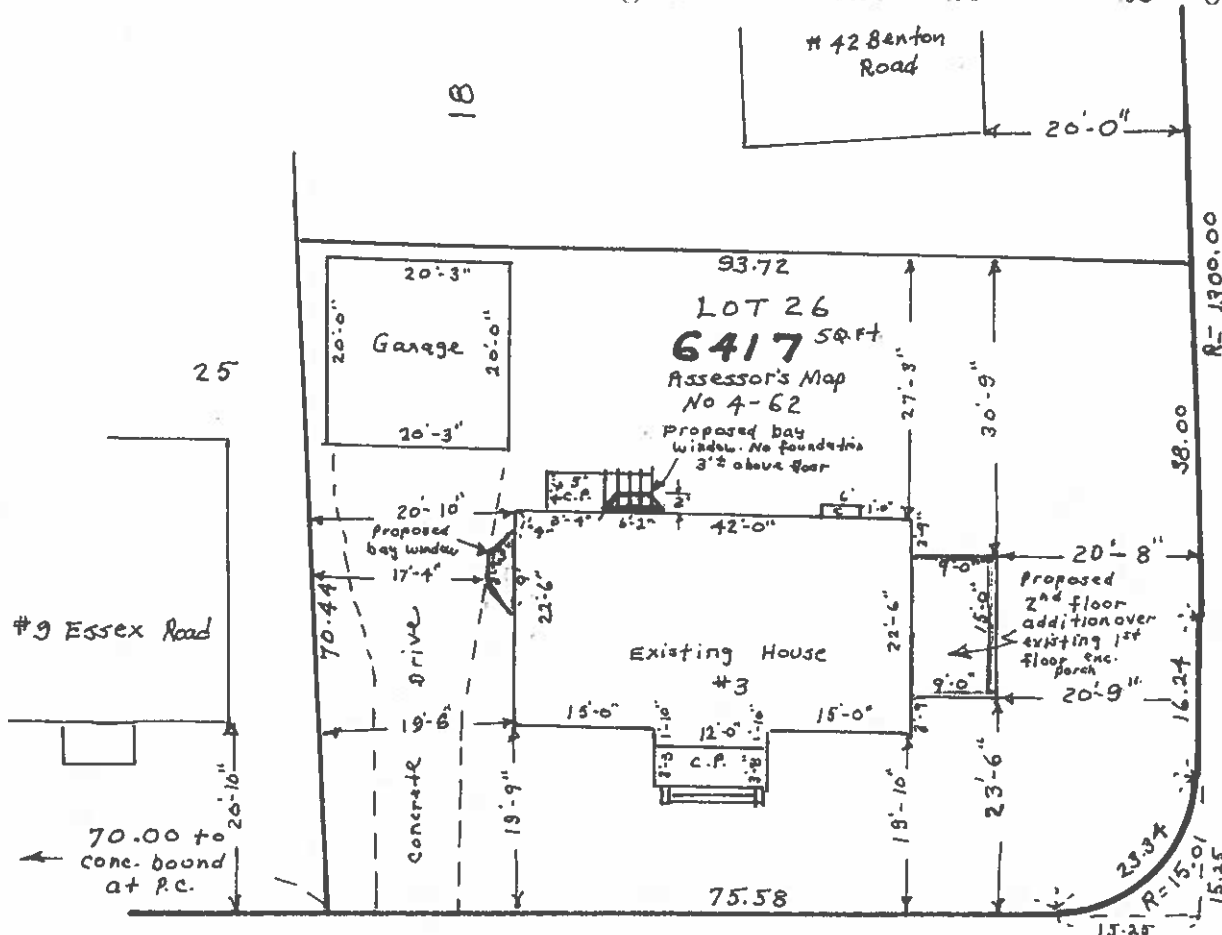
Depth of lot = $\frac{15.25+16.24+38.00+70.44}{2} = 69.97$

Essex Road Front setback = $69.97 \times 25\% = 17.5$ Allow 17'-6"

Rear setback = $69.97 \times 30\% = 21.00$ Allow 25'-0"

Benton Road setback = $\frac{95.72+75.58+15.25}{2} = 92.28 \times 25\% = 23.07$
(Allow 23'-1")

Benton Road average of setbacks = $20'-0" + 25'-0" = 22'-6"$



BENTON ROAD

NOTE:

Allow 22'-6" setback from Benton Road. See note above for average of setbacks.

ESSEX ROAD

Allow 23'-1" setback from Essex Road. See note above for 25% depth of lot.

Bay window
ONLY
9/11/01

NOTE:

Existing lot coverage = 24.6%
Proposed lot coverage = 24.9%
Open space = 66.6% ±

LOT IS NOT IN A WETLAND
AS SHOWN ON TOWN OF
BELMONT WETLAND MAP



RICHARD B. BETTS
20 WOODS ROAD
BELMONT, MASS.

Ronald R. & Carolyn Parker
3 Essex Road
26 Belmont, Mass

* September 27, 1999
1 inch = 20 feet

* PLAN REVISED OCTOBER 31, 2000