

A Custom Residence for :

Spec House

6824 Dalhart Lane
Lot 11, Block 8/2986
Williamson-Caruth Terrace, 2nd Installment
City of Dallas, Dallas County, Texas

Jain Homes LLC
(918) 978-3700

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Home Design

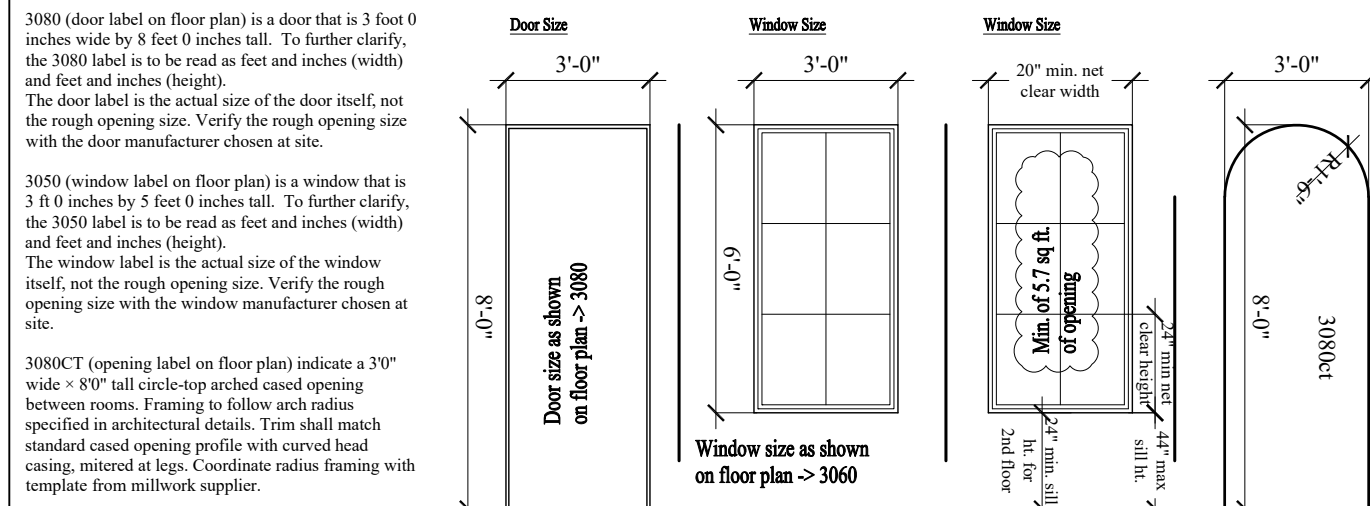
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REVISIONS:

03/17/26
04/08/26
06/19/26

Opening Sizes/Egress



R311.1 Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of travel from all rooms in the dwelling to the exterior of the dwelling to the required egress door without requiring travel through a garage, porch, or other area not under the control of the dwelling. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

R312.1 Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.53 m²). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm). Exception: Grade floor or below grade openings shall have a net clear opening of not less than 5.7 square feet (0.53 m²).

R312.2 Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1118 mm) above the floor, where the sill height is below grade, it shall be provided with the window well in accordance with Section R310.2.2.

R312.3 Window wells. The horizontal area of the window well shall be not less than 7 square feet (0.65 m²), with a horizontal projection and width of not less than 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches (152 mm) into the required dimensions of the window well.

R310.2.2.1 Ladder and steps. Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.7 and R311.8. Ladders or steps shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.

R312.2 Window fall protection. Window fall protection shall be provided in accordance with Sections R312.2.1 and R312.2.2.

R312.2.1 Window sills. In dwelling units, where the top of the sill of an operable window opening is located less than 24 inches (610 mm) above the finished floor and greater than 7 inches (178 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:

1. Operable windows with openings that will not allow a 4-inch diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
2. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.
3. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.

R312.2.2 Window opening control devices. Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the net clear opening area of the window unit to less than the area required by Section R310.2.1.

Windows Schedule:

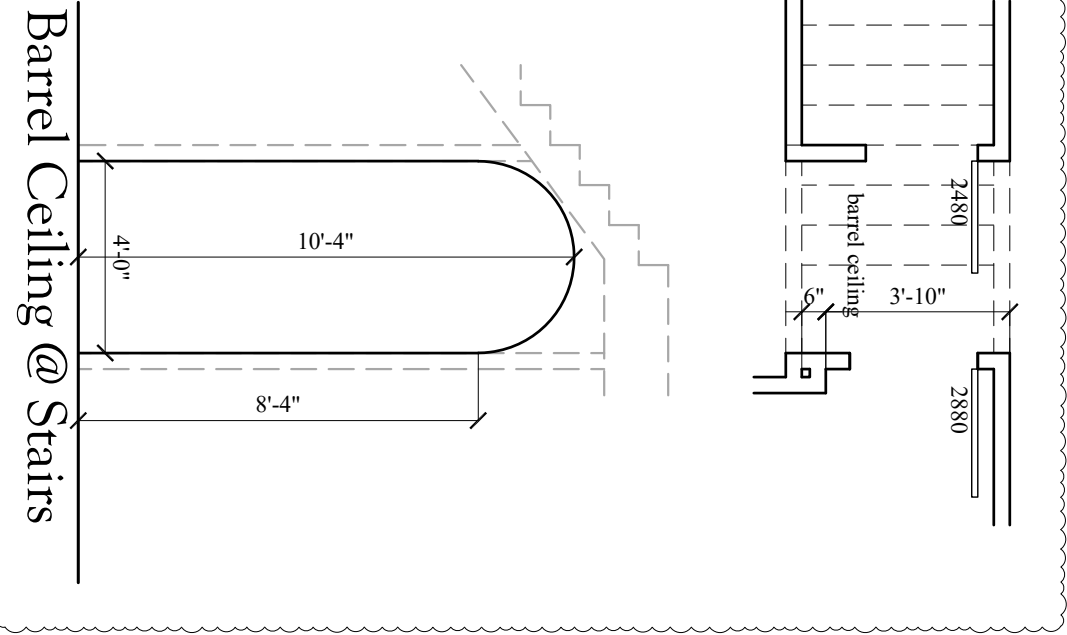
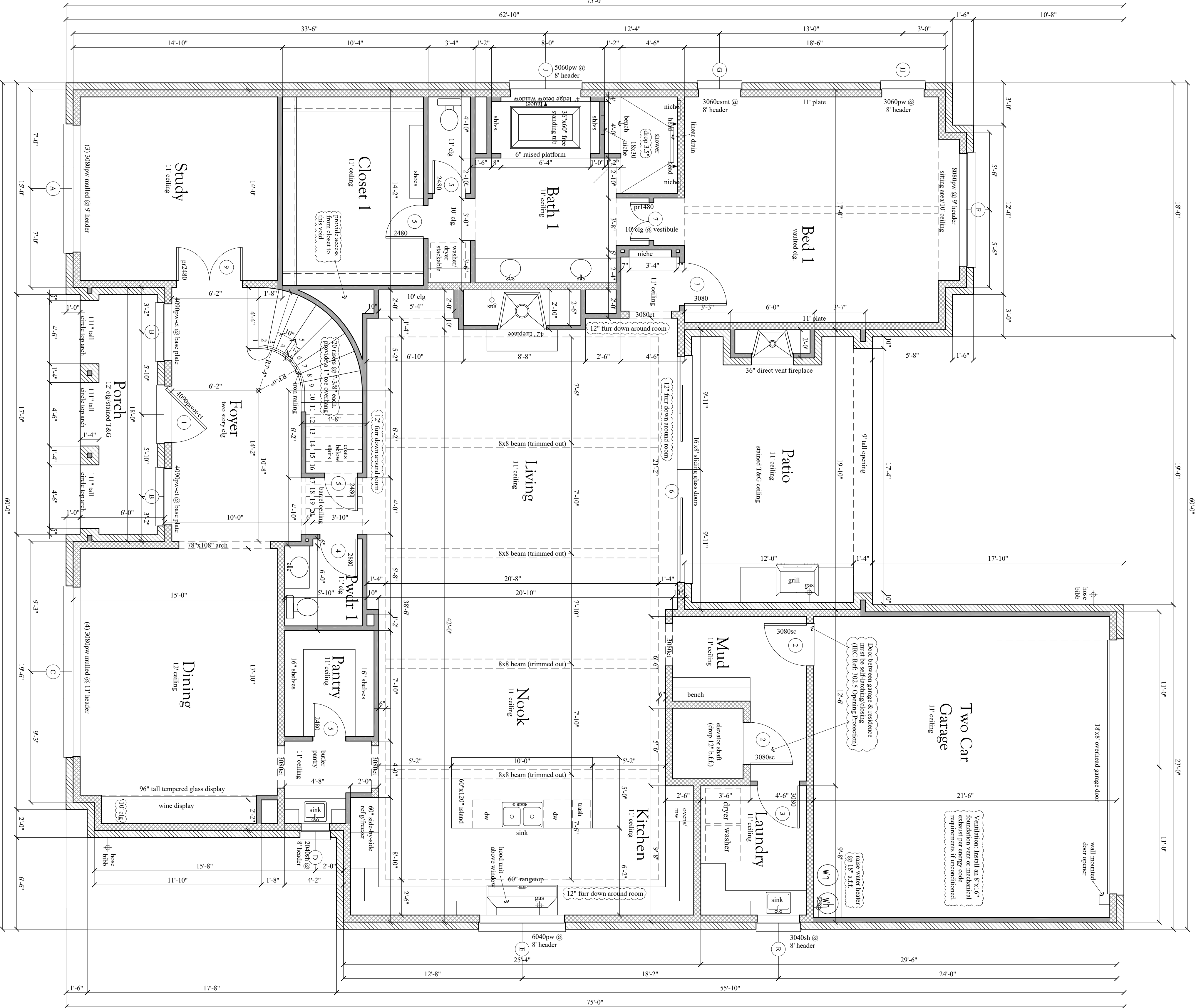
ID#	Size	Description	Quantity
A	3-3/80	Picture Window Mullied	1
B	4-090	Picture Window Mullied	2
C	4-3/80	Picture Window Mullied	1
D	20-40	Single Hung	3
E	60-40	Picture Window	1
F	80-80	Picture Window	1
G	30-60	Casement	3
H	50-60	Picture Window	1
J	60-60	Picture Window	1
K	40-60	Picture Window	1
L	40-60	Picture Window	3
M	40-60	Picture Window	1
N	50-70	Picture Window	2
O	50-70	Casement	1
P	Pair 30-60	Single Hung	1
R	30-40	Single Hung	1

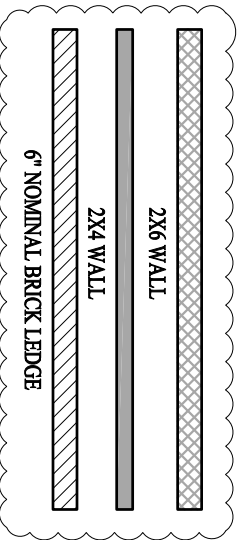
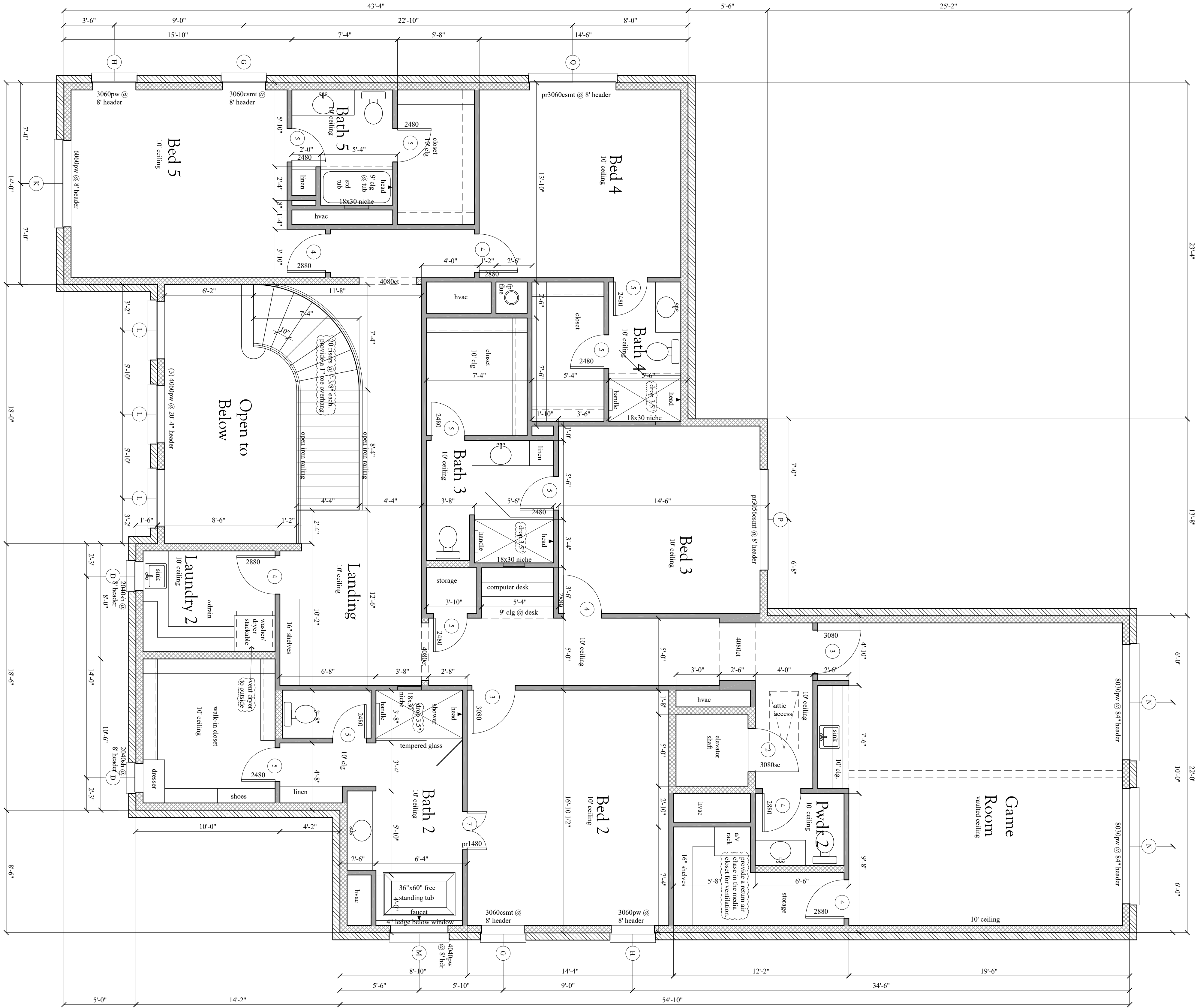
Doors Schedule:

ID#	Size	Description	Quantity
1	40-90	Front Entry Glass Unit Half Circle	1
2	30-80	Interior Solid Core (20 minute rated)	3
3	30-80	Interior as Selected	4
4	25-80	Interior as Selected	9
5	25-80	Exterior as Selected	12
6	16-58	Exterior Sliding Glass Doors	2
7	Pair 14-80	Interior as Selected	2
8	Pair 14-80	Interior as Selected	1
9	Pair 24-80	Interior 1-Lite Glass Doors	1

Areas:

First Floor Living Area
2,935 sq. ft.
Second Floor Living Area
2,703 sq. ft.
Total Living Area
5,638 sq. ft.
Two Car Garage
505 sq. ft.
Front Porch
107 sq. ft.
Covered Patio
264 sq. ft.
Total Slab Area
3,811 sq. ft.
Total Under Roof
6,514 sq. ft.





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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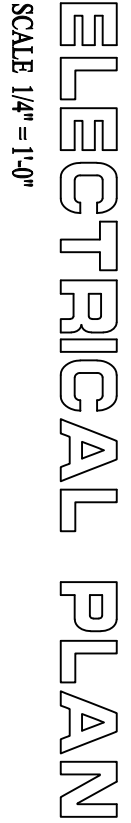
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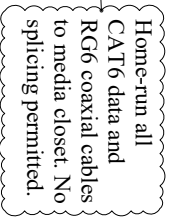
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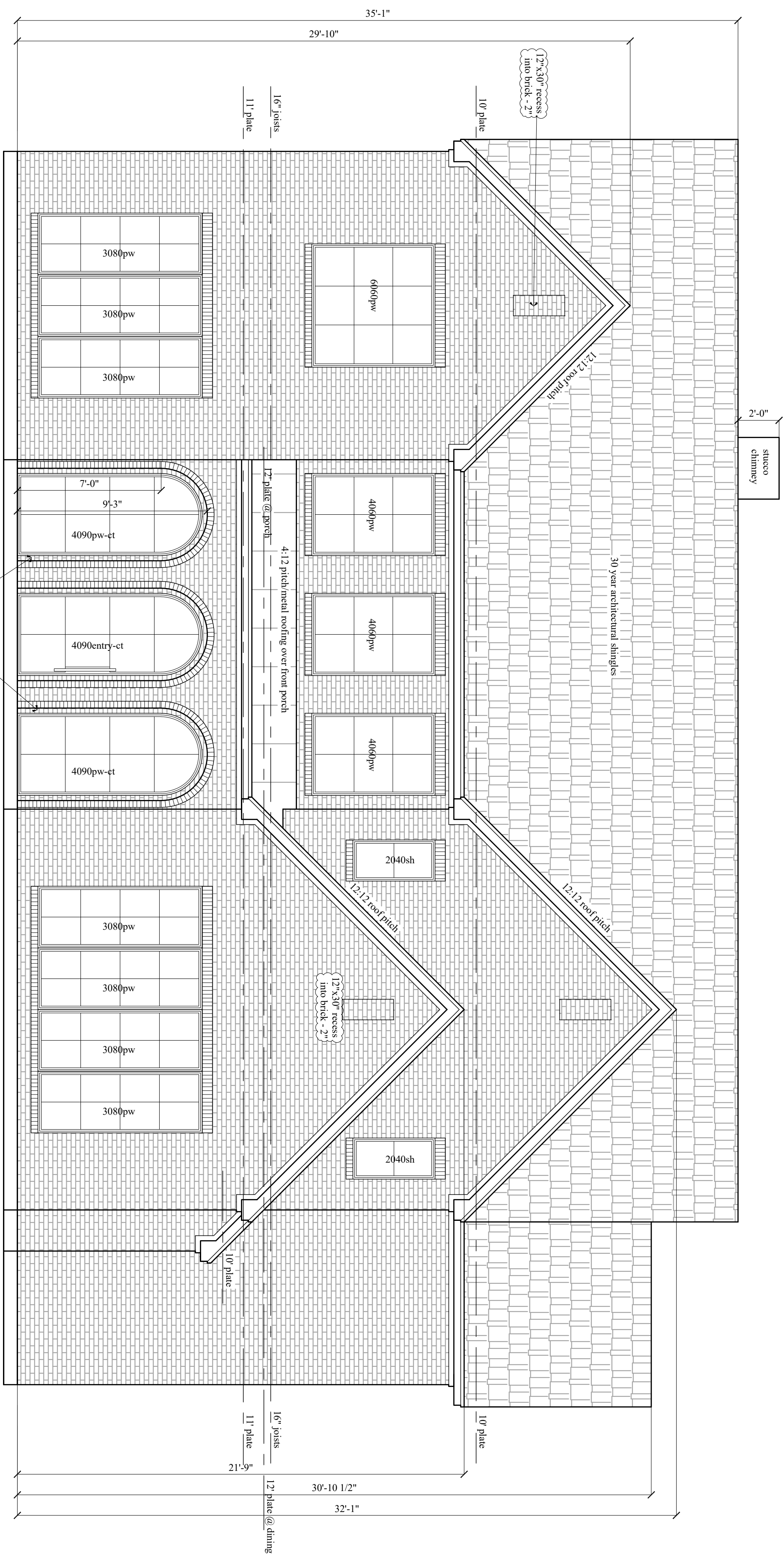


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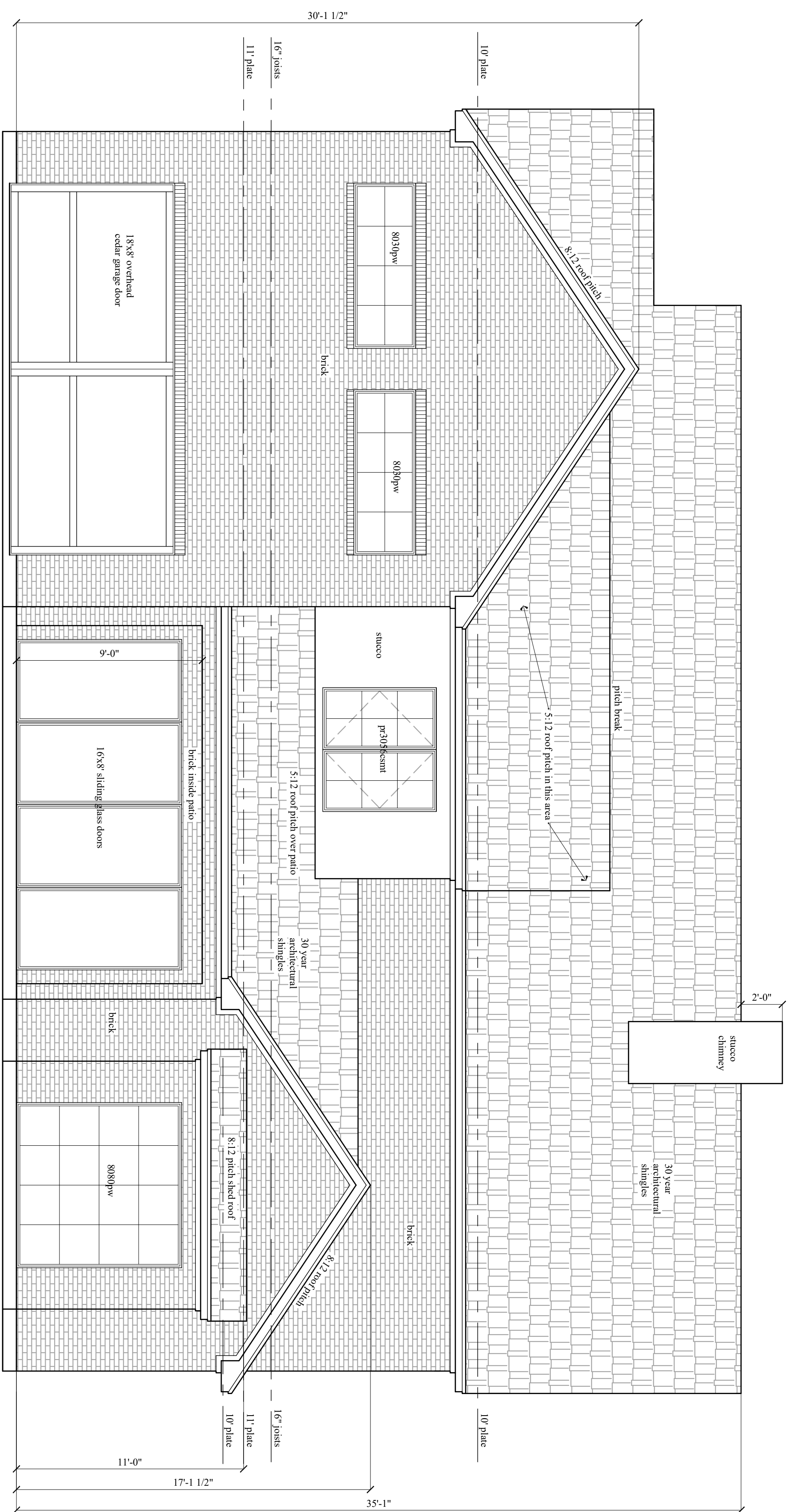


SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

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These plans provide the necessary basic construction information to the structural engineer for this structure. However, it is important to note that J Karlovich Home Design is not an architectural or engineering firm and therefore cannot be held liable for the structural or architectural design integrity. We have taken every precaution to ensure that all dimensions are accurate and that all governmental regulations are met. In the event that an error or omission occurs, it is the sole responsibility of the contractor and/or the owner to rectify the mistake at their own expense, and not the responsibility of J Karlovich Home Design. These plans are intended to be used for this address only and should not be used for any other purpose.

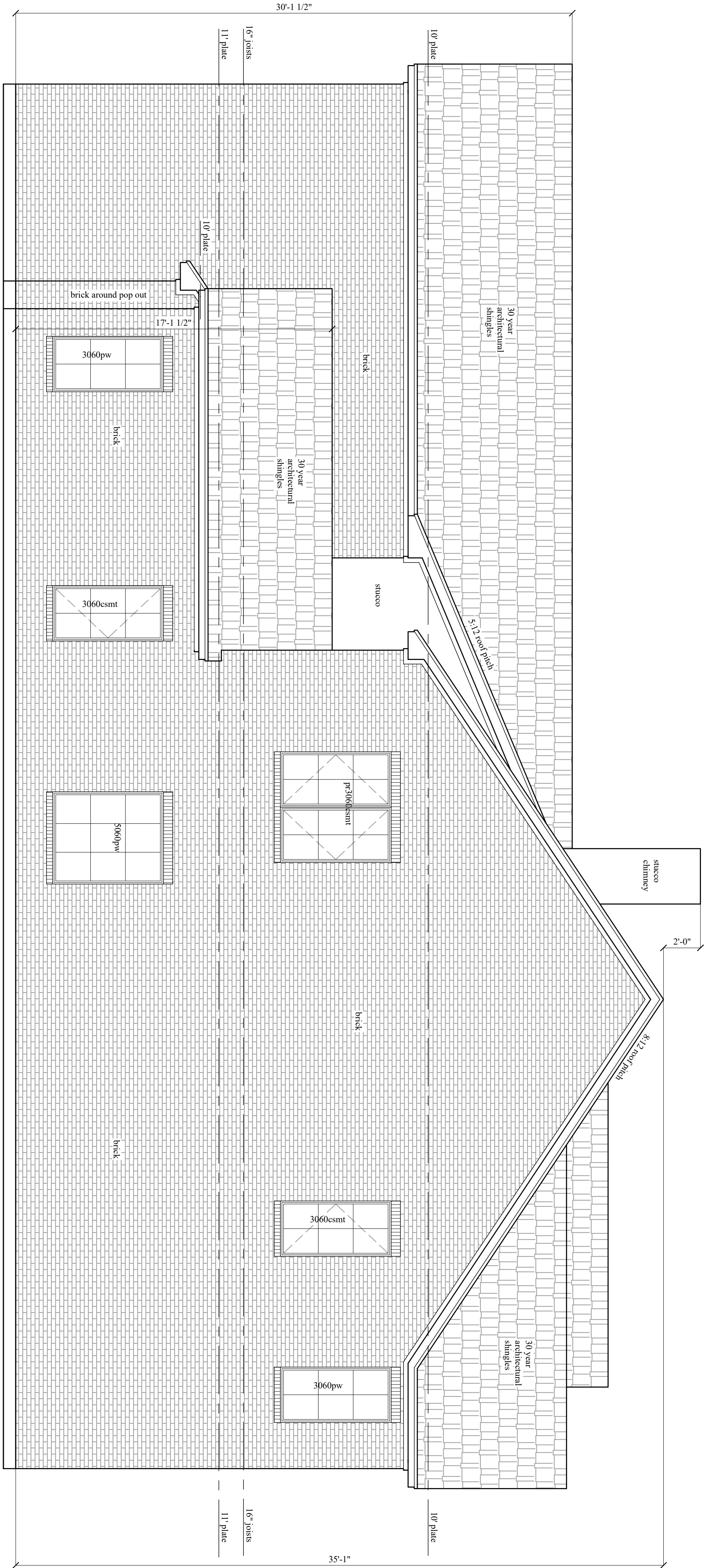
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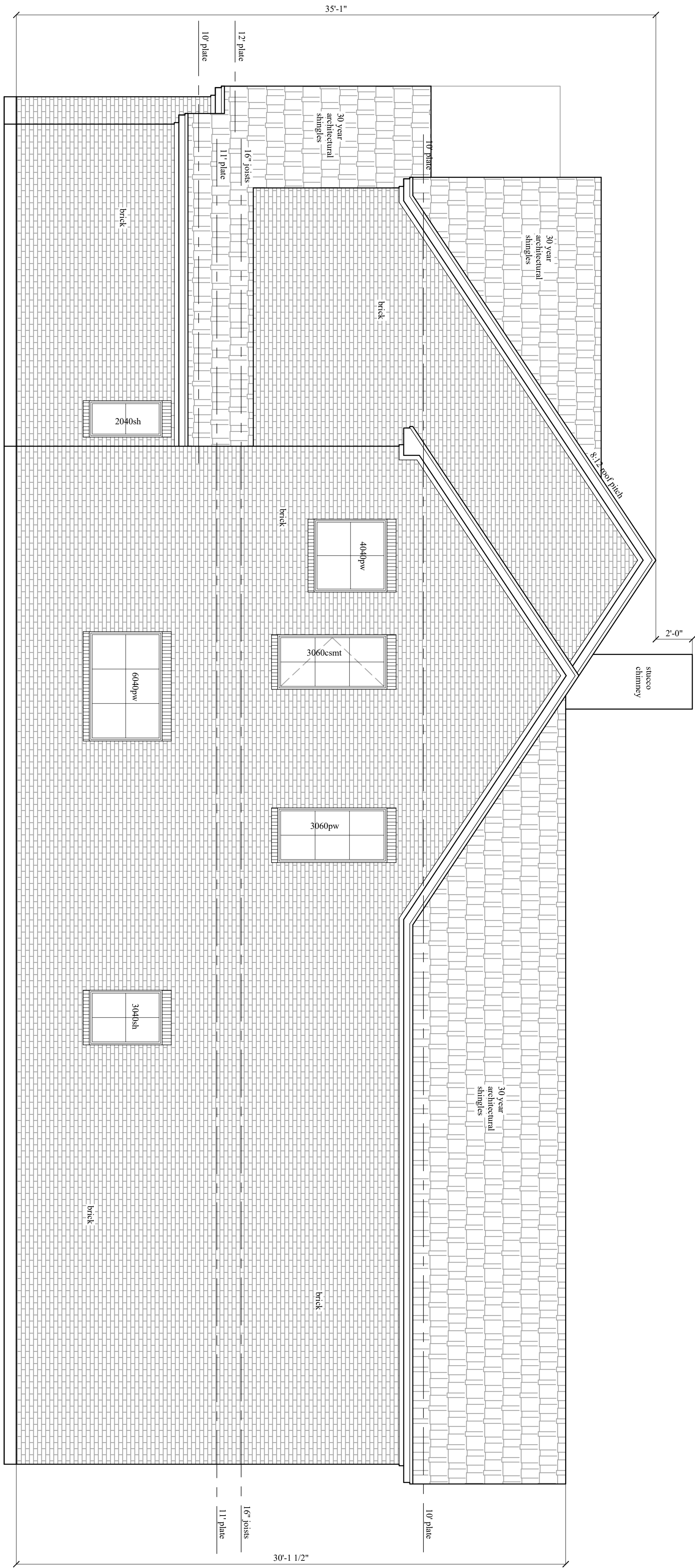
LEFT ELEVATION

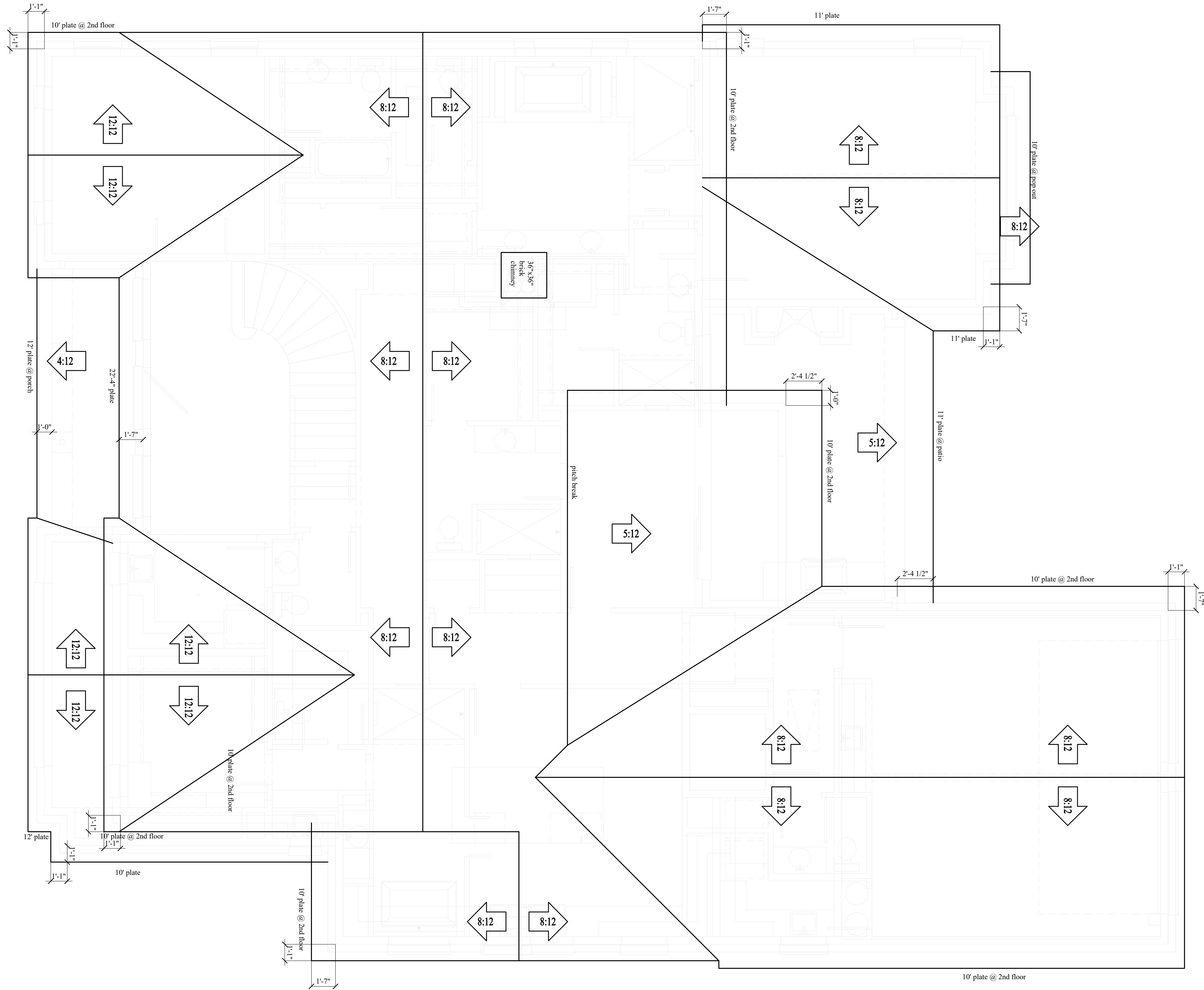
SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"





Roof Framing Notes:

1. Rafters: All roof rafters shall be 2x6 at 24" o.c., unless otherwise noted.
2. Ridge and Valley: All ridge and valley members shall be 2x8 minimum, unless otherwise noted.
3. Furring Grade: Rafters shall be furred with 1x4 or 1x6 members, spaced at 12" o.c. maximum.
4. Furring Grade: Rafters shall be furred with 1x4 or 1x6 members, spaced at 12" o.c. maximum.
5. Furring Grade: Rafters shall be furred with 1x4 or 1x6 members, spaced at 12" o.c. maximum.
6. Furring Grade: Rafters shall be furred with 1x4 or 1x6 members, spaced at 12" o.c. maximum.
7. Collar Tie: Install collar ties at 48" o.c. maximum, located in the upper third of the roof height.
8. Ceiling Joist: Ceiling joists shall be 2x8 minimum, spaced at 16" o.c. maximum.
9. Ceiling Joist: Ceiling joists shall be 2x8 minimum, spaced at 16" o.c. maximum.
10. Maximum Allowable Ceiling Joist Spans - No. 2 S.Y. Pine or Equivalent:
 - 10.1. 2x6 - 11'-0" @ 24" o.c.
 - 10.2. 2x8 - 17'-0" @ 24" o.c.
 - 10.3. 2x10 - 17'-0" @ 24" o.c.
 - 10.4. 2x12 - 17'-0" @ 24" o.c.
11. Maximum Allowable Ceiling Joist Spans - No. 3 S.Y. Pine or Equivalent:
 - 11.1. 2x6 - 8'-0" @ 24" o.c.
 - 11.2. 2x8 - 8'-0" @ 24" o.c.
 - 11.3. 2x10 - 15'-8" @ 16" o.c.
 - 11.4. 2x12 - 15'-8" @ 16" o.c.
12. Vent Stack Placement and Appearance: Locate plumbing vent stacks and mechanical vents on roof plates not visible from the street whenever possible.
13. All visible vents shall be painted to match the roofing material.
14. Roofing Material: Final roofing material shall be selected by the owner.
15. Roof Decking and Underlayment: Roofing material shall be installed over synthetic underlayment or 3/8" felt on 5/8" plywood or OSB roof decking.
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ROOF PLAN

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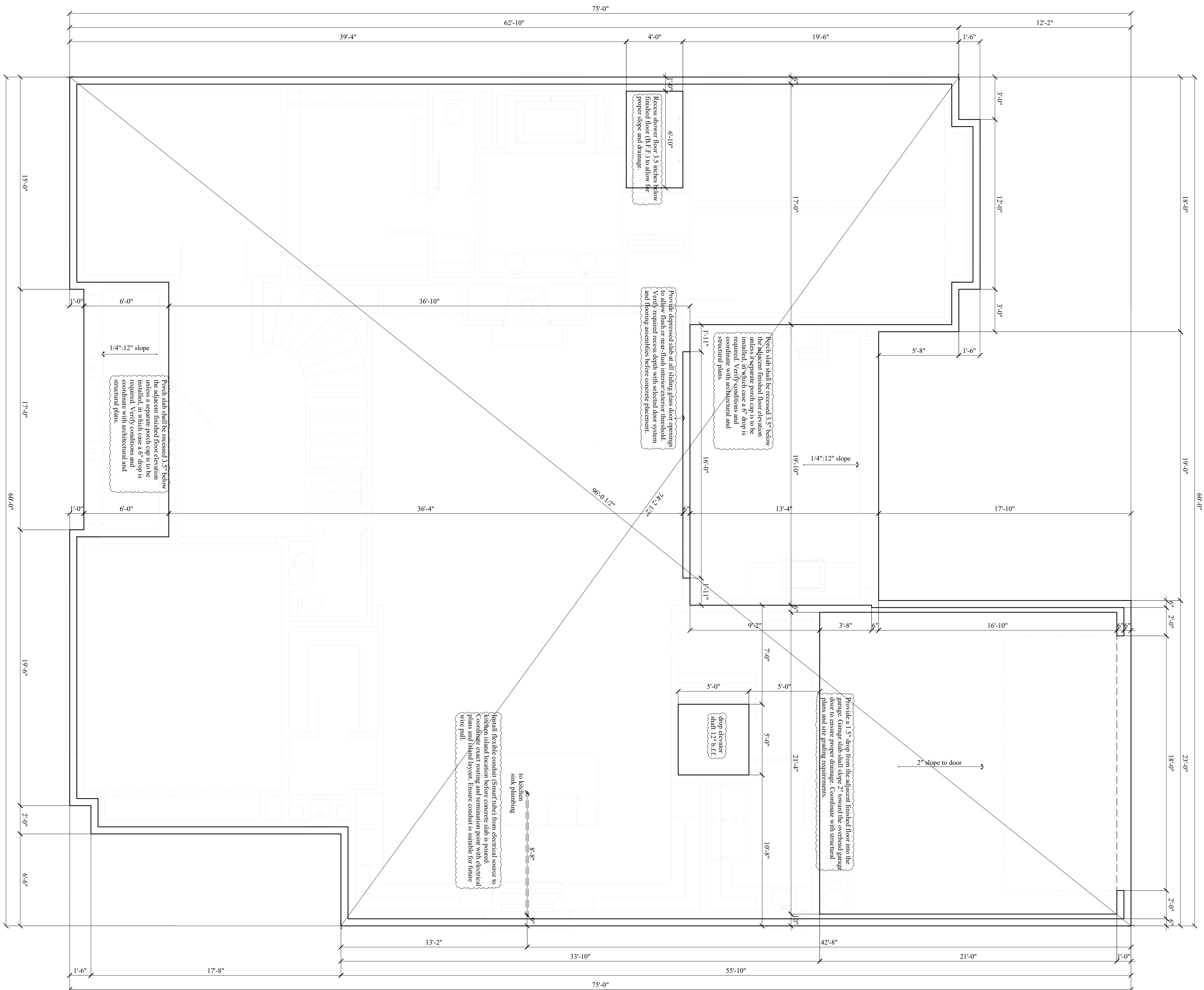
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1. **Balanced Moisture Conditions:** The foundation design requires consistent and balanced moisture conditions around the entire perimeter of the structure throughout the life of the home. Provide proper site grading, drainage, and irrigation systems to maintain a constant moisture level around the entire foundation.
2. **Dimensional Reference Only:** This foundation plan is intended for dimensional reference only. All dimensions, elevation changes, offsets, and structural features shall be verified against the architectural and structural drawings prior to forming and pouring concrete.
3. **Brick Ledger:** Provide a continuous brick veneer ledger at exterior walls. Standard ledge depth shall be 6" nominal unless otherwise noted. Where applicable, veneer shall be dropped 12" at exterior corners and 6" at interior corners. Veneer sloped 12" per 12" toward the exterior to promote drainage. Coordinate all elevation changes, flashing, weep locations, and veneer transitions with architectural elevations prior to construction.
4. **Anchor Bolts:** Anchor bolts 1/2" diameter minimum at 6'-0" o.c. with one bolt within 12" of each plate corner.

1. **Subterranean Termite Control:** In regions where termite activity is prevalent, termite protection should include chemical soil treatment, pressure-treated wood, naturally termite-resistant wood, physical barriers (such as metal termite shields), or a combination of these methods.
2. **Chemical Soil Treatment:** All soil-applied termiticides shall be installed in accordance with the manufacturer's label instructions, including required concentration, application rate, and installation procedures.
3. **Pressure-Treated and Chemically Treated Wood:** Pressure-treated lumber or naturally termite-resistant wood species may be used where permitted. The heartwood of Redwood and Eastern Red Cedar is recognized as termite-resistant. These materials shall not be considered a complete physical barrier unless installation allows full contact of all joints and end grain.
4. **Physical Barriers:** All cut ends, drilled holes, or notches in pressure-treated lumber shall be field treated with an approved preservative in accordance with AWPA M4 and IRC Section R318.1.2.
5. **Termite Protection Installation:** Soil treatment for termite protection shall be performed by a licensed pest control applicator in accordance with manufacturer requirements and local jurisdiction regulations.

FOUNDATION LAYOUT

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