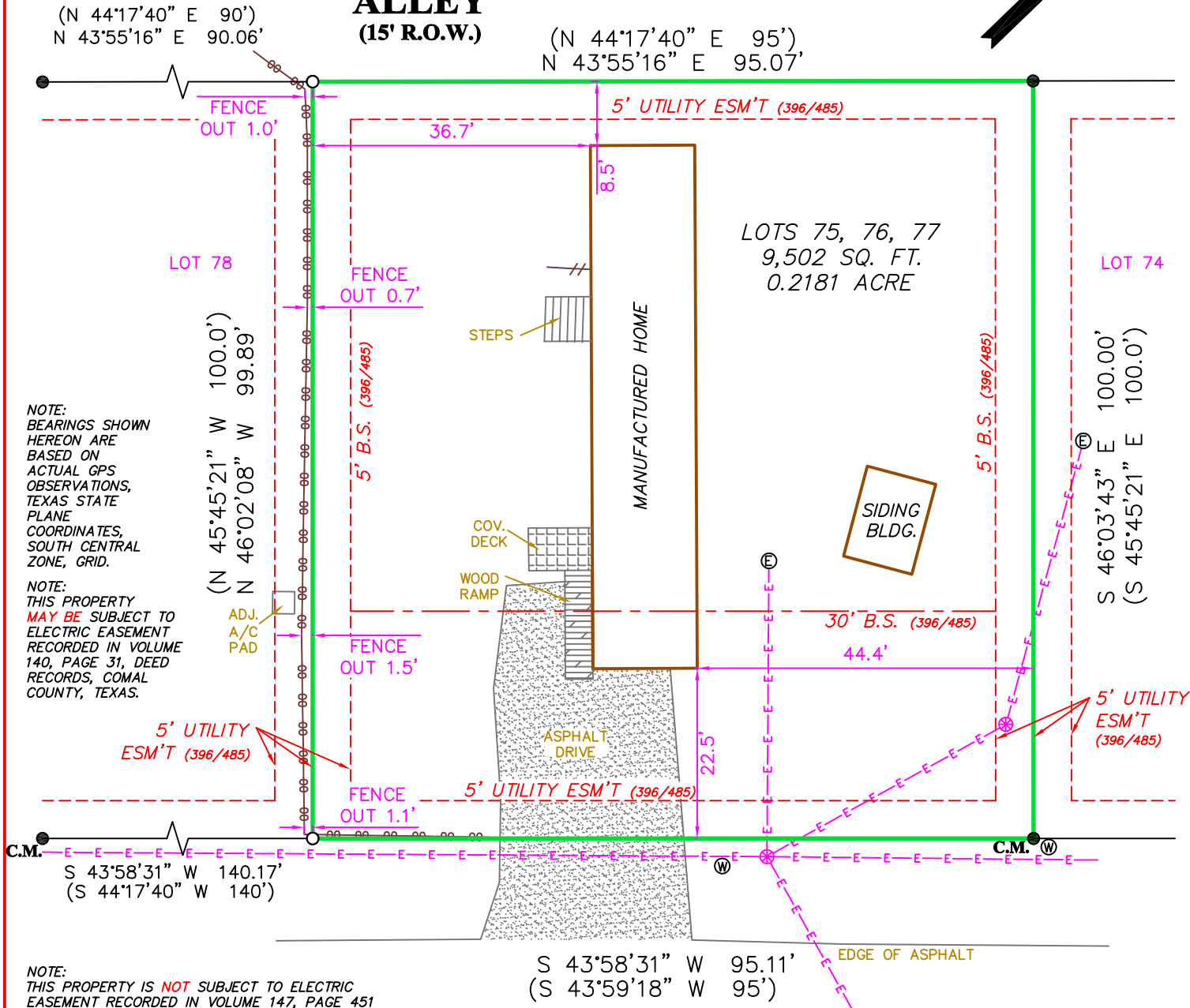


SCALE: 1"=20'

ALLEY
(15' R.O.W.)



NOTE:
BEARINGS SHOWN
HEREON ARE
BASED ON
ACTUAL GPS
OBSERVATIONS,
TEXAS STATE
PLANE
COORDINATES,
SOUTH CENTRAL
ZONE, GRID.

NOTE:
THIS PROPERTY
MAY BE SUBJECT TO
ELECTRIC EASEMENT
RECORDED IN VOLUME
140, PAGE 31, DEED
RECORDS, COMAL
COUNTY, TEXAS.

NOTE:
THIS PROPERTY IS **NOT** SUBJECT TO ELECTRIC
EASEMENT RECORDED IN VOLUME 147, PAGE 451
DEED RECORDS, COMAL COUNTY, TEXAS.

NOTE:
THIS PROPERTY IS **NOT** SUBJECT TO WATER
UTILITY EASEMENT RECORDED IN VOLUME 656,
PAGE 656, DEED RECORDS, COMAL COUNTY, TEXAS.

NOTE:
THIS PROPERTY IS **NOT** SUBJECT TO FLOWAGE
EASEMENT RECORDED IN VOLUME 122, PAGE 291,
DEED RECORDS, COMAL COUNTY, TEXAS.

NOTE:
THIS PROPERTY IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS
FOLLOWS: VOLUME 8, PAGES 13-14, MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS; VOLUME 396, PAGE 485, VOLUME
532, PAGE 234, VOLUME 662, PAGE 913, VOLUME 662, PAGE 916, DOCUMENT NOS. 200206000004, 200606053796,
201506022296, 201506022297, 201606006346, 201906002818, 201906002819, 202506030073, 202606003990 AND
202606003996, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE
AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey
appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48091C, Panel No. 0235 F, which is Dated 09/02/2009. By scaling from that FIRM, it
appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the
surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD
ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special
Flood Hazard Areas and Zones may be found at <https://msc.fema.gov/portal>.



Property Address:
435 BURR OAK LANE
Property Description:

LOTS 75, 76 AND 77, BLOCK 67, CANYON SPRINGS RESORT,
UNIT 5, SITUATED IN COMAL COUNTY, TEXAS, ACCORDING
TO PLAT THEREOF RECORDED IN VOLUME 8, PAGES 13-14,
MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS.

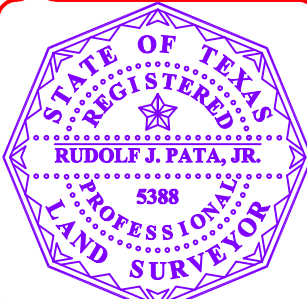
Owner:
DONALD DWAYNE MOSER

FIRM REGISTRATION NO.
10111700

**Westar
Alamo**

LAND SURVEYORS, LLC.
P.O. BOX 1645 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9999

- LEGEND**
- = SET 1/2" IRON ROD
 - = FOUND 1/2" IRON ROD
 - () = RECORD INFORMATION
 - B.S. = BUILDING SETBACK
 - C.M. = CONTROLLING MONUMENT
 - ⊗ = POWER POLE
 - E— = OVERHEAD ELECTRIC
 - ⊕ = ELECTRIC METER POLE
 - ⊙ = WATER METER
 - //— = CHAIN LINK FENCE
 - X— = WOOD FENCE



I, RUDOLF J. PATA, JR., Registered Professional Land
Surveyor, State of Texas, certify that the above plat
represents an actual survey made on the ground
under my supervision, and that my professional
opinion is that there are no discrepancies, conflicts,
shortages in area or boundary lines, or any
encroachment or overlapping of improvements,
except as may appear herein, to the best of my
knowledge and belief.

[Signature]

RUDOLF J. PATA, JR.
Registered Professional Land Surveyor
Texas Registration No. 5388

DWG: CH RVD: RJP

G.F. NO. ATA-60-1706602600230N JOB NO. 136726 TITLE COMPANY: AUSTIN TITLE DATE: 05/09/2026