

101  
RESIDENCES  
BAY HARBOR ISLANDS

## TWELVE LIMITED EDITION RESIDENCES







101  
RESIDENCES  
BAY HARBOR ISLANDS

LUXURY ISLAND LIVING





EXCLUSIVE BAY HARBOR ISLANDS ADDRESS





## INTRODUCTION

Located in the charming town of Bay Harbor Islands is an exclusive enclave of gated, modern and luxury residences. Located just a few steps away is the Ruth K. Broad K-8 Center.

This highly acclaimed learning facility has been the recipient of numerous educational rewards and as an added benefit is bringing new fields and playgrounds to the school.

Just take a short stroll and residents will be greeted with numerous shops and restaurants along Kane Course or the world famous Bal Harbor shops. Also close by are pristine white sandy beaches and a walking path leading to Miami Beach, along the Atlantic Ocean.

Considered one of the most prestigious locations in South Florida, 93 Bay Harbor offers something new and exciting to the town and village of Bay Harbor Islands.

These contemporary and luxurious residences feature open and spacious plans that also allow for flexible living choices tailored to meet the individual needs of our discerning Buyer.

Residences include floor-to-ceiling windows, private terraces, 2 car garages, fabulous kitchens, baths and roof top terraces.

Conveniently located between Miami and Fort Lauderdale, 93 Bay Harbor is just minutes from two international airports, two seaports and numerous other famous destinations. Just to the South is Miami Beach, the Design District, Downtown Miami, Lincoln Road, and world famous South Beach.

Located just to the North is Aventura Mall, Gulfstream Shops and Restaurants, Casinos, and Hollywood's notable beachside boardwalk that offers joggers, bicyclists, and pedestrians the Oceanside opportunity to take part in countless eateries and cafés along the way.







# ROOFTOP TERRACES





## RESIDENTIAL FEATURES

- ◆ Spacious and open floor plans with high ceilings throughout
- ◆ Expansive glass with sliding glass doors and windows for natural light
- ◆ High windows to bring in additional light
- ◆ Private terraces off of great room and master suite
- ◆ Energy efficient air conditioning and heating system
- ◆ Energy efficient, tinted, impact resistant windows
- ◆ Recessed lighting (per plan)
- ◆ Open stair in sleek modern design
- ◆ Smooth finished walls and ceilings
- ◆ Large walk-in large closets
- ◆ Sound insulated walls (per code)
- ◆ Walk-in laundry room with front loaded washer and dryer
- ◆ Walk-in pantry
- ◆ Kitchen island
- ◆ Gated community



## KITCHENS

- ◆ Choice of granite or quartz countertops
- ◆ Kitchen island
- ◆ Italian style cabinets in high gloss finish
- ◆ Contemporary glass cabinets (per design)
- ◆ Bosch® stainless steel appliances
- ◆ Moen® pull-out chrome sprayer
- ◆ Sleek under-mounted stainless steel sink
- ◆ Breakfast bar
- ◆ Roll out drawers with soft close

### WOW! FEATURES

\* Kitchen island finishes available in choice of colors



## BATHROOMS

- ◆ Italian style cabinets in high gloss finish
- ◆ Vanities tops in choice of granite or quartz
- ◆ Master bath with full size vanity mirror
- ◆ Master baths with oversized his and hers vessel sinks
- ◆ Frameless glass enclosed showers in master bath
- ◆ Glass enclosed showers in all secondary bathrooms
- ◆ Moen® rainhead shower in master (wall mounted)
- ◆ Moen® fixtures and Grohe® faucets in polished chrome
- ◆ Kohler® fixtures
- ◆ Recessed lighting (per plan)



## WOW! FEATURES

Personalized residences tailored to meet the individual lifestyle of each discerning buyer

- ◆ Multiple living choice plans to choose from
  - 3 Bedrooms plus Family Room
  - 4 Bedrooms plus Family Room
  - 5 Bedrooms
- ◆ Personalize kitchen island and powder bathroom vanity from a designer selection of granite or quartz material and high gloss finish cabinetry
- ◆ Framed mirrors in high gloss Italian finish (master and powder room)
- ◆ Recessed lighting (per design)





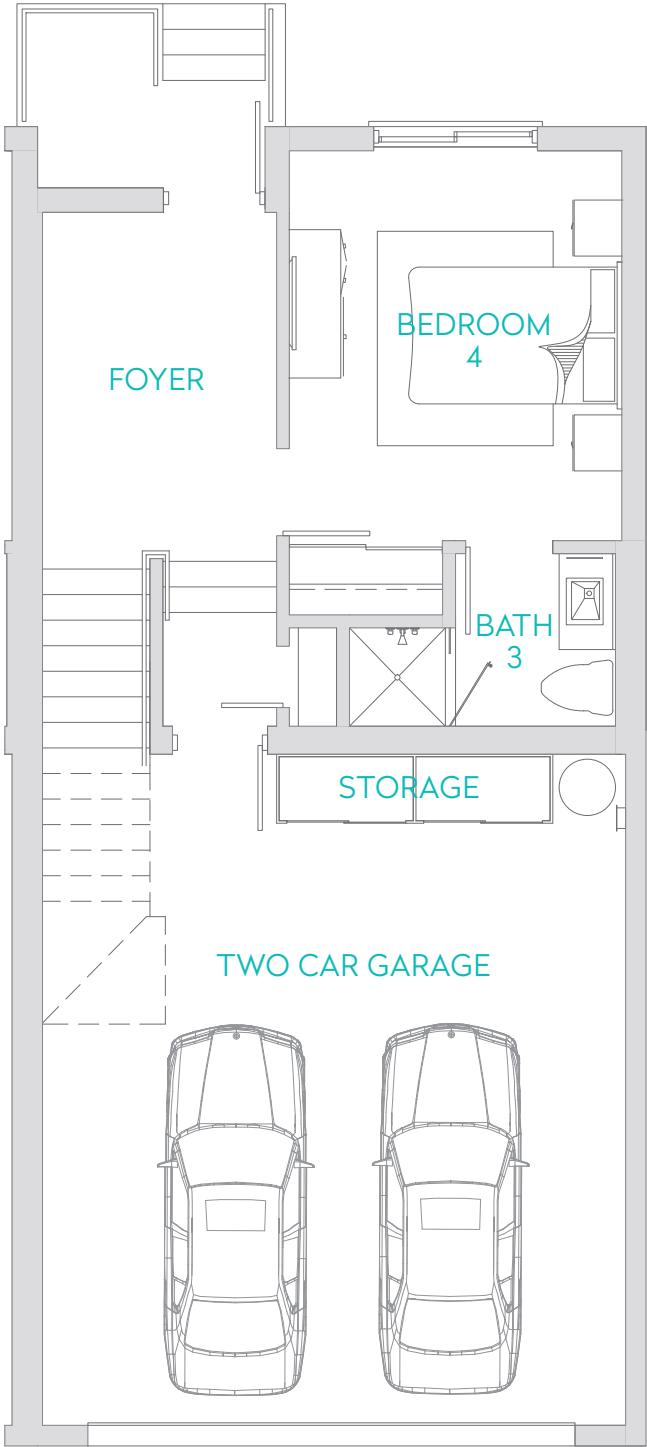
# RESIDENCE 1 1155 1st FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,313 sf.	214.8 m <sup>2</sup>
Non-A/C Area:	1,122 sf.	104.2 m <sup>2</sup>
Total Area:	3,435 sf.	319 m <sup>2</sup>

1st FLOOR AREA		
A/C Area:	384 sf.	35.6 m <sup>2</sup>
Non-A/C Area:	482 sf.	44.8 m <sup>2</sup>
Total Area:	866 sf.	80.4 m <sup>2</sup>

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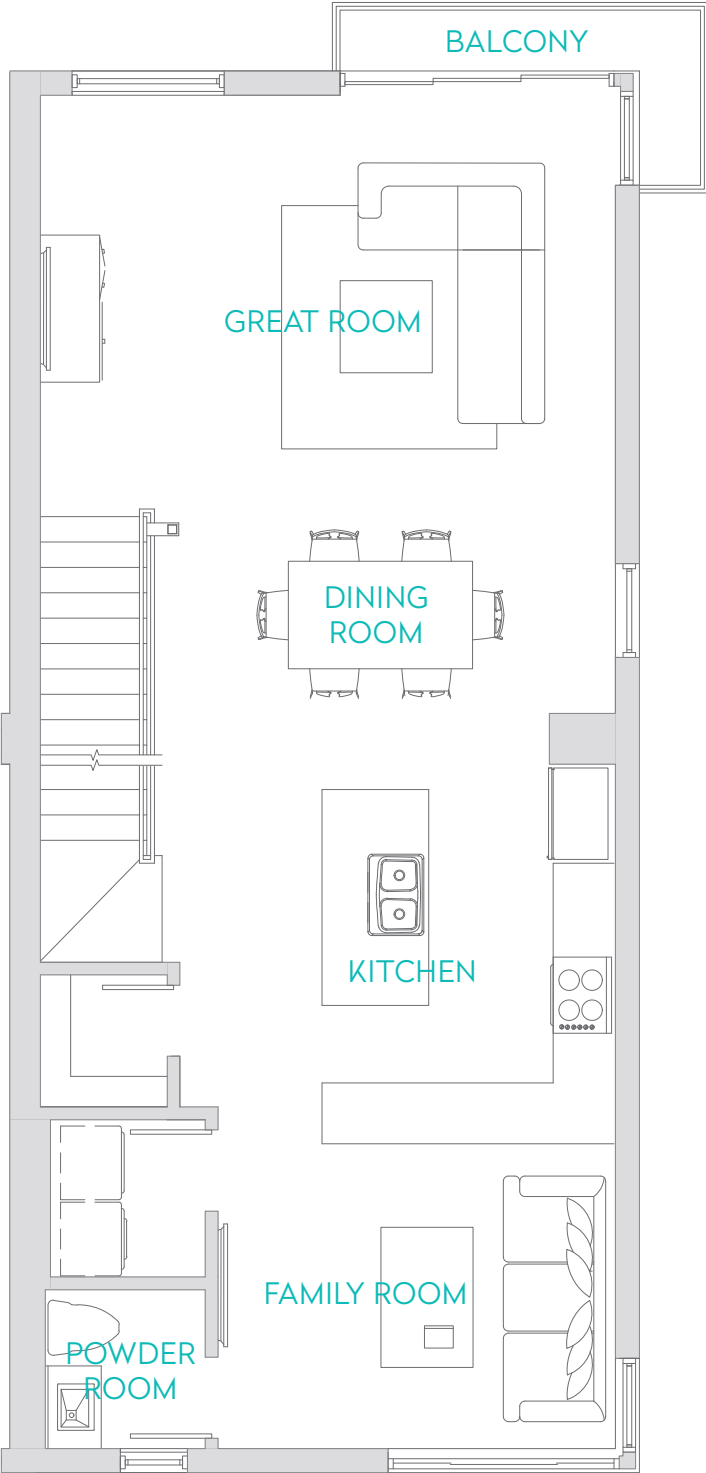
# RESIDENCE 1 1155 2nd FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,313 sf.	214.8 m <sup>2</sup>
Non-A/C Area:	1,122 sf.	104.2 m <sup>2</sup>
Total Area:	3,435 sf.	319 m <sup>2</sup>

2nd FLOOR AREA		
A/C Area:	927 sf.	86.1 m <sup>2</sup>
Non-A/C Area:	31 sf.	2.9 m <sup>2</sup>
Total Area:	958 sf.	89 m <sup>2</sup>

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RESIDENCE 1 1155 3rd FLOOR

3 Bedroom, 3.5 Bath with Family Room

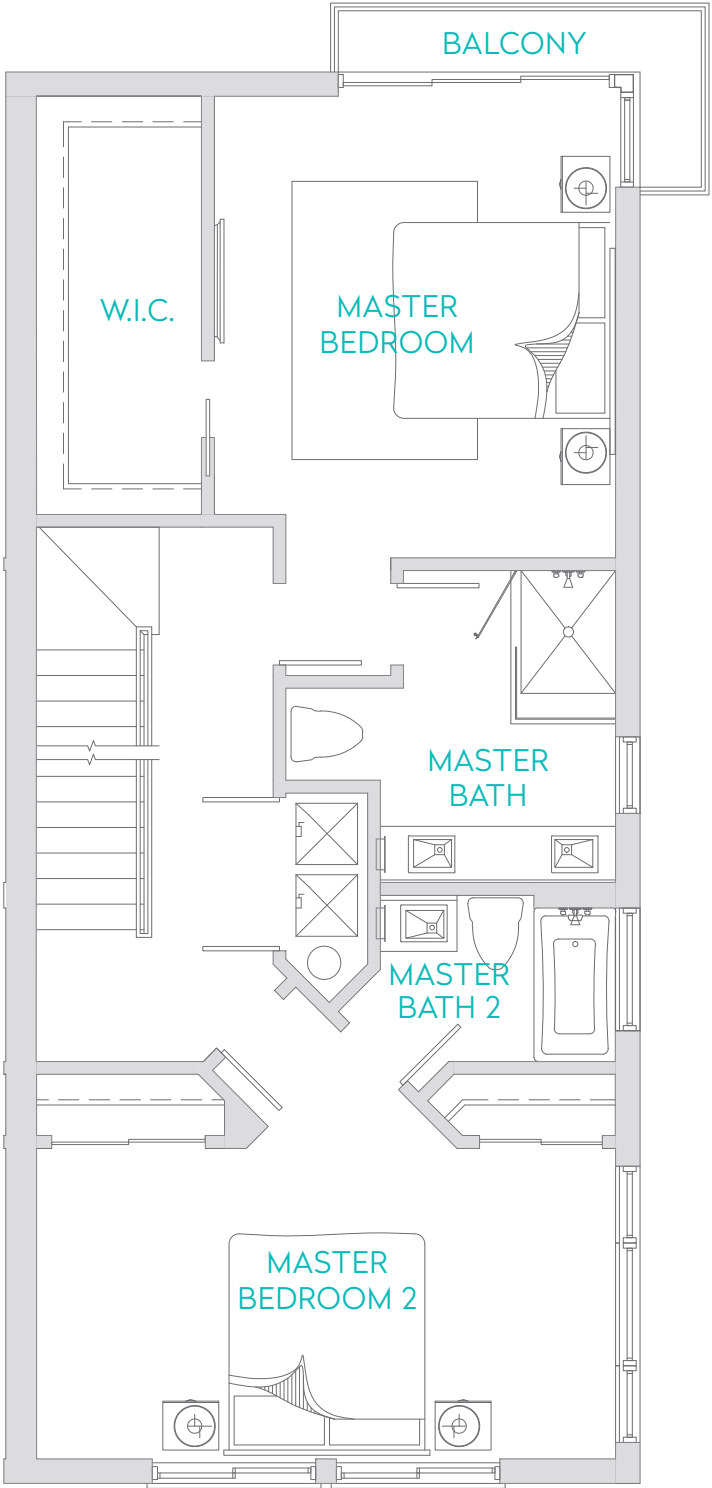
UNIT AREA

A/C Area:	2,313 sf.	214.8 m²
Non-A/C Area:	1,122 sf.	104.2 m²
Total Area:	3,435 sf.	319 m²

3rd FLOOR AREA

A/C Area:	912 sf.	84.7 m²
Non-A/C Area:	31 sf.	2.9 m²
Total Area:	943 sf.	87.6 m²

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RESIDENCE 1 1155 ROOF TOP

3 Bedroom, 3.5 Bath with Family Room

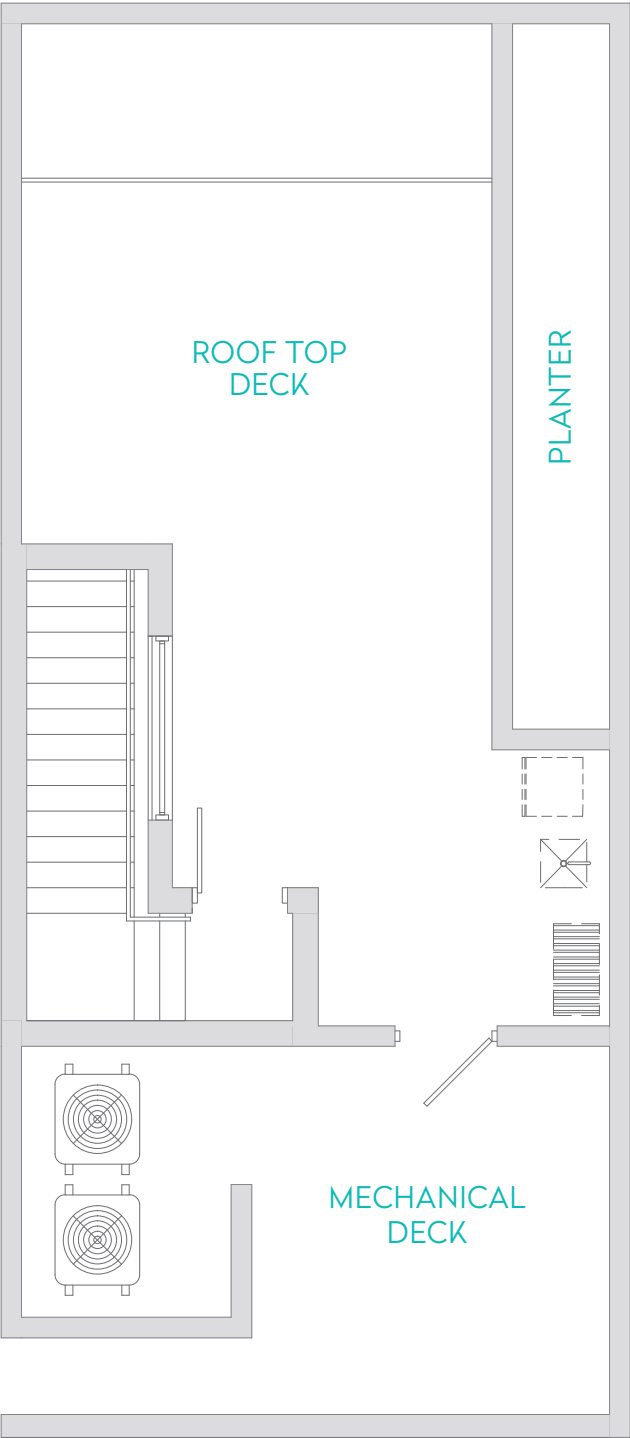
UNIT AREA

A/C Area:	2,313 sf.	214.8 m²
Non-A/C Area:	1,122 sf.	104.2 m²
Total Area:	3,435 sf.	319 m²

ROOF TOP AREA

A/C Area:	75 sf.	7 m²
Non-A/C Area:	578 sf.	53.6 m²
Total Area:	653 sf.	60.6 m²

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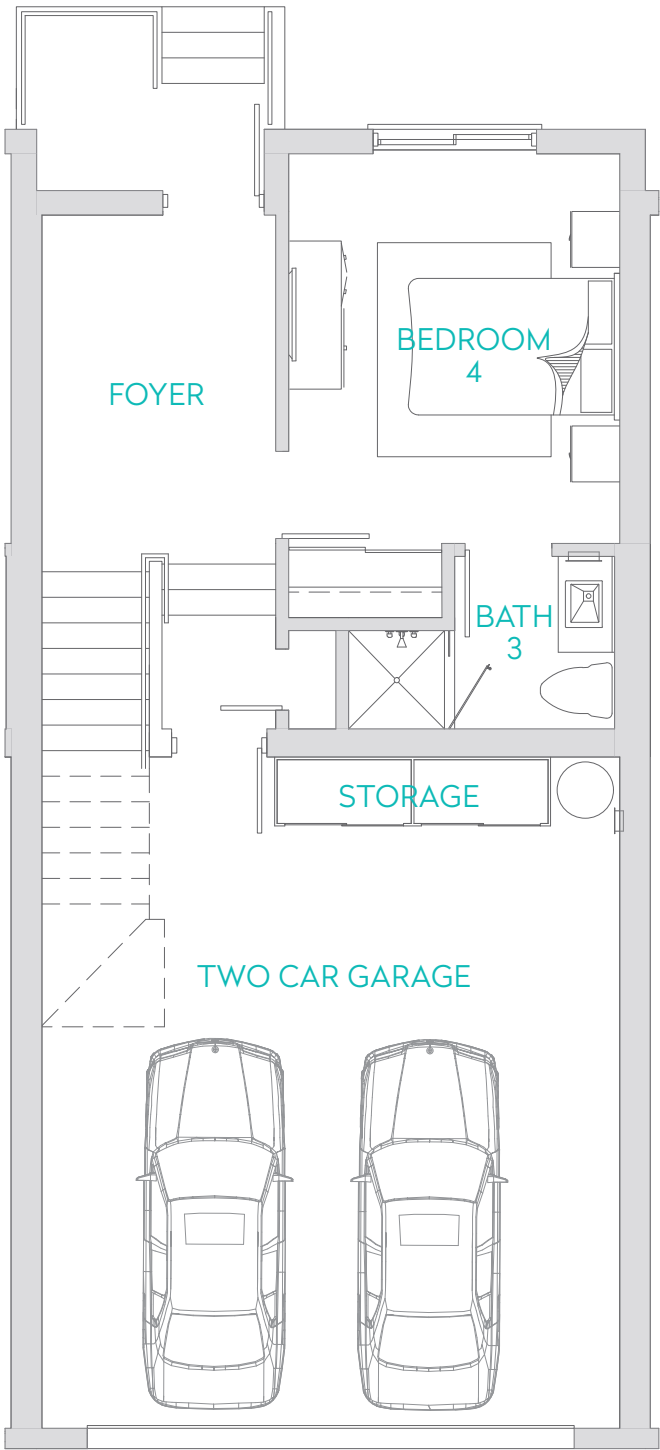
RESIDENCE 2/3 1155 1st FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,277 sf.	211.5 m <sup>2</sup>
Non-A/C Area:	1,122 sf.	104.2 m <sup>2</sup>
Total Area:	3,399 sf.	315.7 m <sup>2</sup>

1st FLOOR AREA		
A/C Area:	378 sf.	35.1 m <sup>2</sup>
Non-A/C Area:	475 sf.	44.1 m <sup>2</sup>
Total Area:	853 sf.	79.2 m <sup>2</sup>

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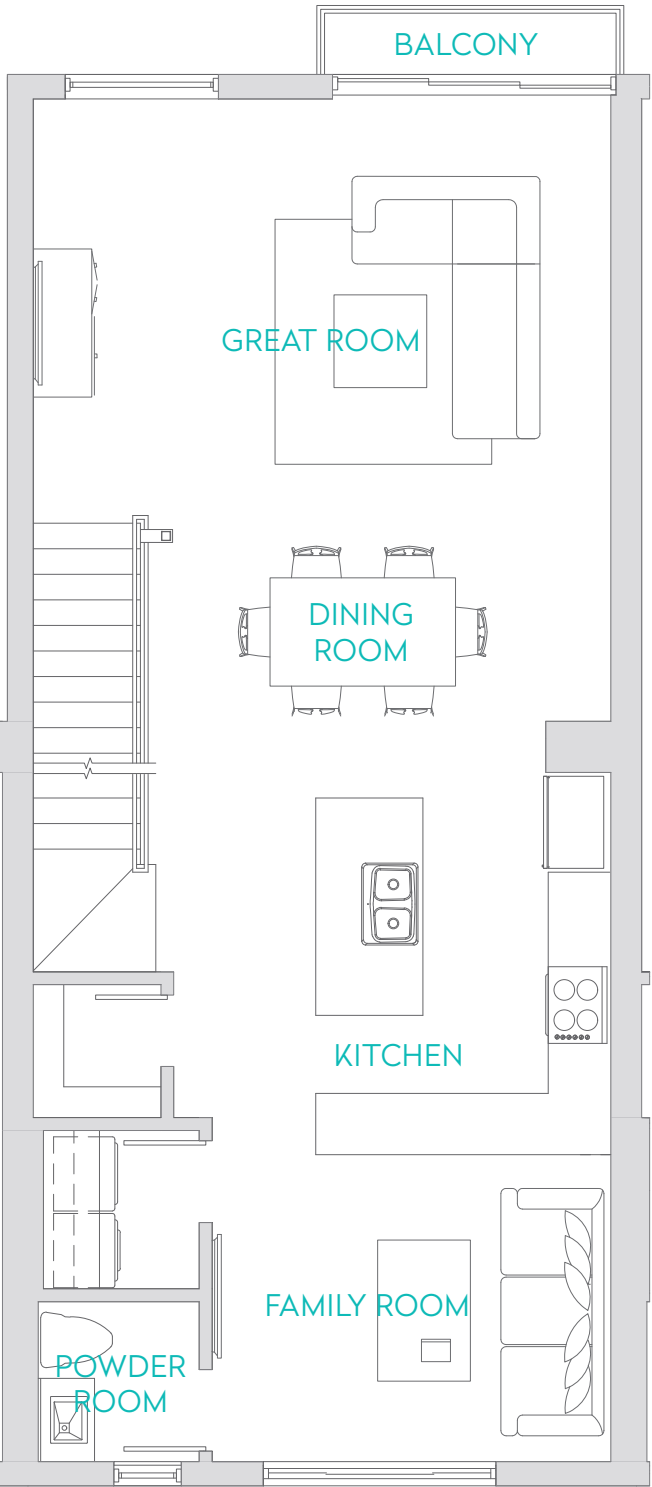
RESIDENCE 2/3 1155 2nd FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,277 sf.	211.5 m <sup>2</sup>
Non-A/C Area:	1,122 sf.	104.2 m <sup>2</sup>
Total Area:	3,399 sf.	315.7 m <sup>2</sup>

2nd FLOOR AREA		
A/C Area:	912 sf.	84.7 m <sup>2</sup>
Non-A/C Area:	19 sf.	1.8 m <sup>2</sup>
Total Area:	931 sf.	86.5 m <sup>2</sup>

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RESIDENCE 2/3 1155 3rd FLOOR

3 Bedroom, 3.5 Bath with Family Room

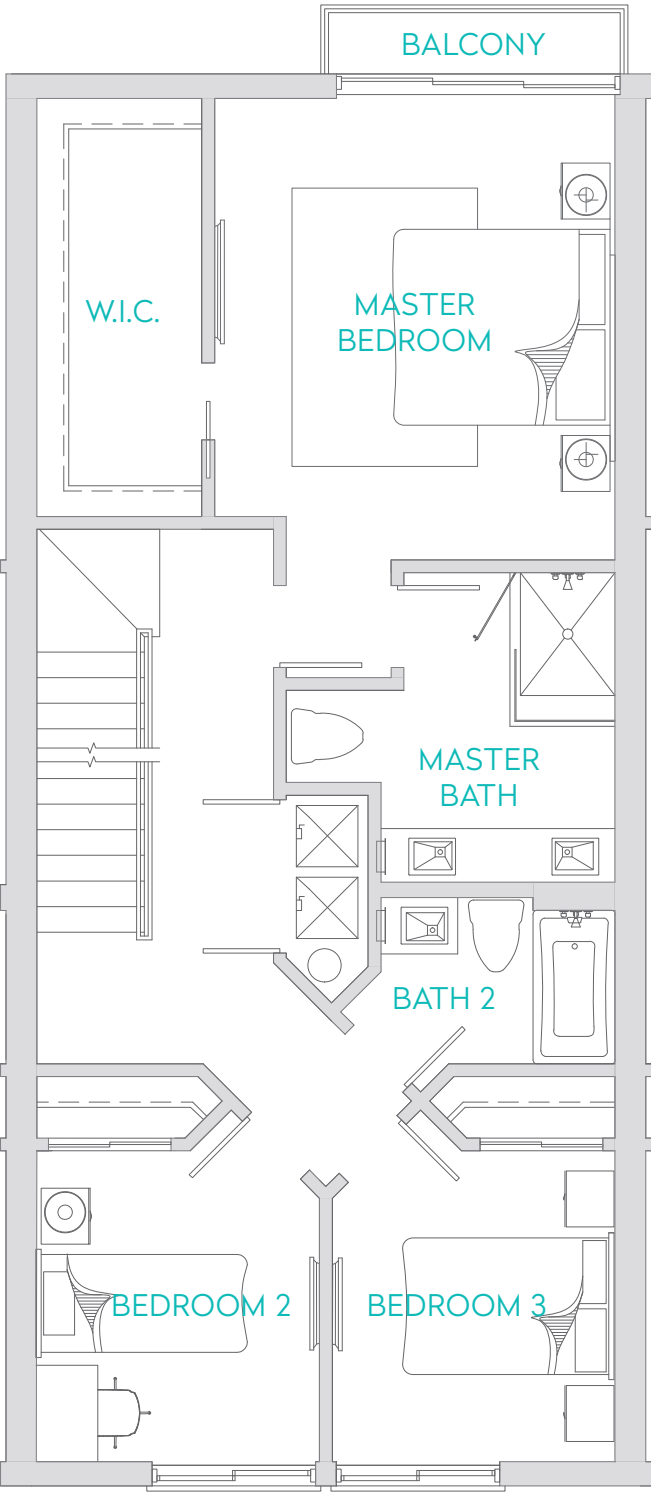
UNIT AREA

A/C Area:	2,277 sf.	211.5 m <sup>2</sup>
Non-A/C Area:	1,122 sf.	104.2 m <sup>2</sup>
Total Area:	3,399 sf.	315.7 m <sup>2</sup>

3rd FLOOR AREA

A/C Area:	912 sf.	84.7 m <sup>2</sup>
Non-A/C Area:	31 sf.	2.9 m <sup>2</sup>
Total Area:	943 sf.	87.6 m <sup>2</sup>

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RESIDENCE 2/3 1155 ROOF TOP

3 Bedroom, 3.5 Bath with Family Room

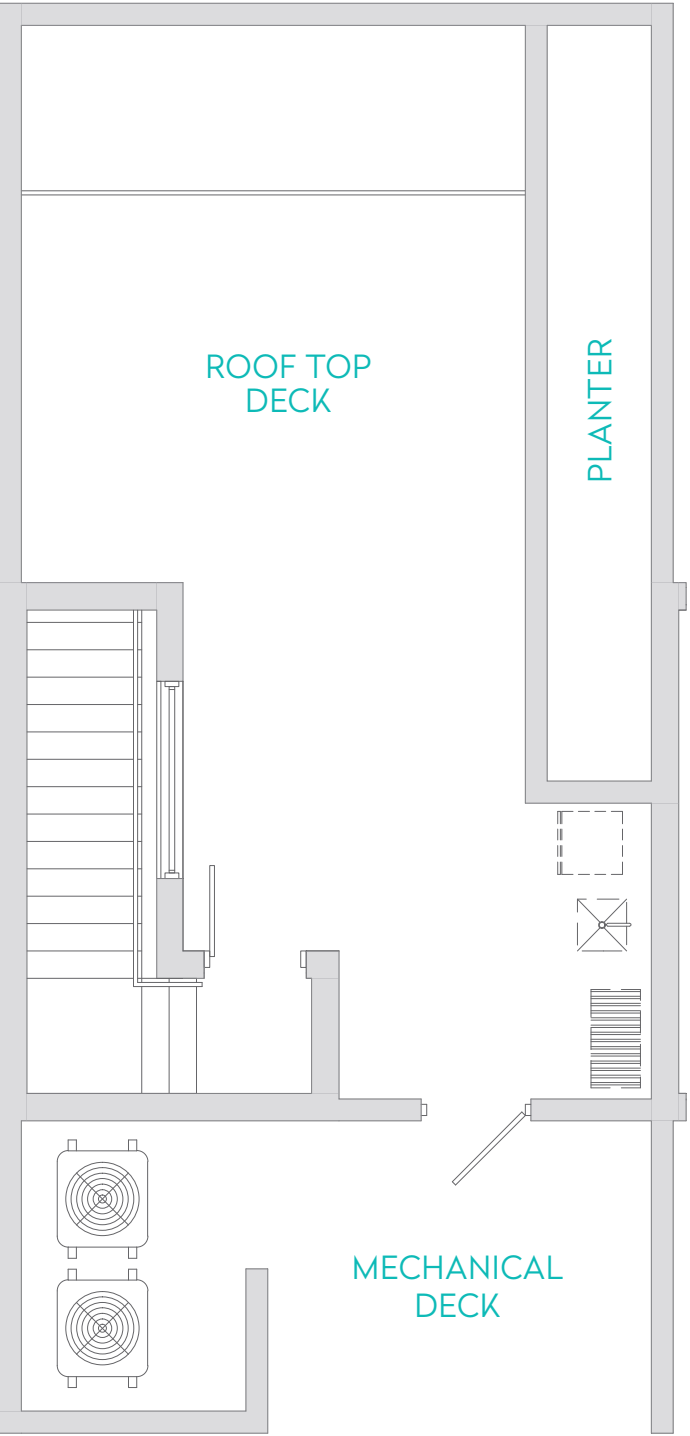
UNIT AREA

A/C Area:	2,277 sf.	211.5 m <sup>2</sup>
Non-A/C Area:	1,122 sf.	104.2 m <sup>2</sup>
Total Area:	3,399 sf.	315.7 m <sup>2</sup>

ROOF TOP AREA

A/C Area:	75 sf.	7 m <sup>2</sup>
Non-A/C Area:	578 sf.	53.6 m <sup>2</sup>
Total Area:	653 sf.	60.6 m <sup>2</sup>

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RESIDENCE 4/5 1155 1st FLOOR

3 Bedroom, 3.5 Bath with Family Room

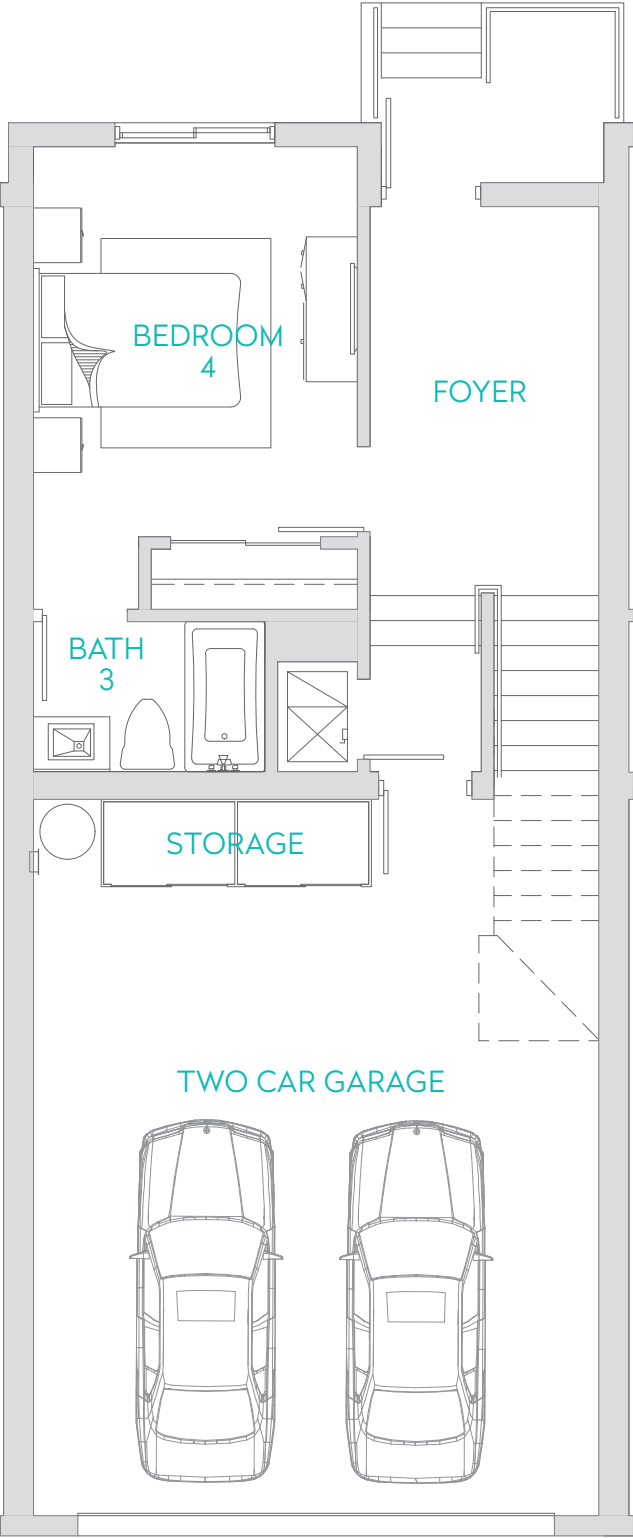
UNIT AREA

A/C Area:	2,503 sf.	231.8 m <sup>2</sup>
Non-A/C Area:	1,145 sf.	106.3 m <sup>2</sup>
Total Area:	3,648 sf.	338.1 m <sup>2</sup>

1st FLOOR AREA

A/C Area:	419 sf.	38.2 m <sup>2</sup>
Non-A/C Area:	514 sf.	47.7 m <sup>2</sup>
Total Area:	933 sf.	85.9 m <sup>2</sup>

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RESIDENCE 4/5 1155 2nd FLOOR

3 Bedroom, 3.5 Bath with Family Room

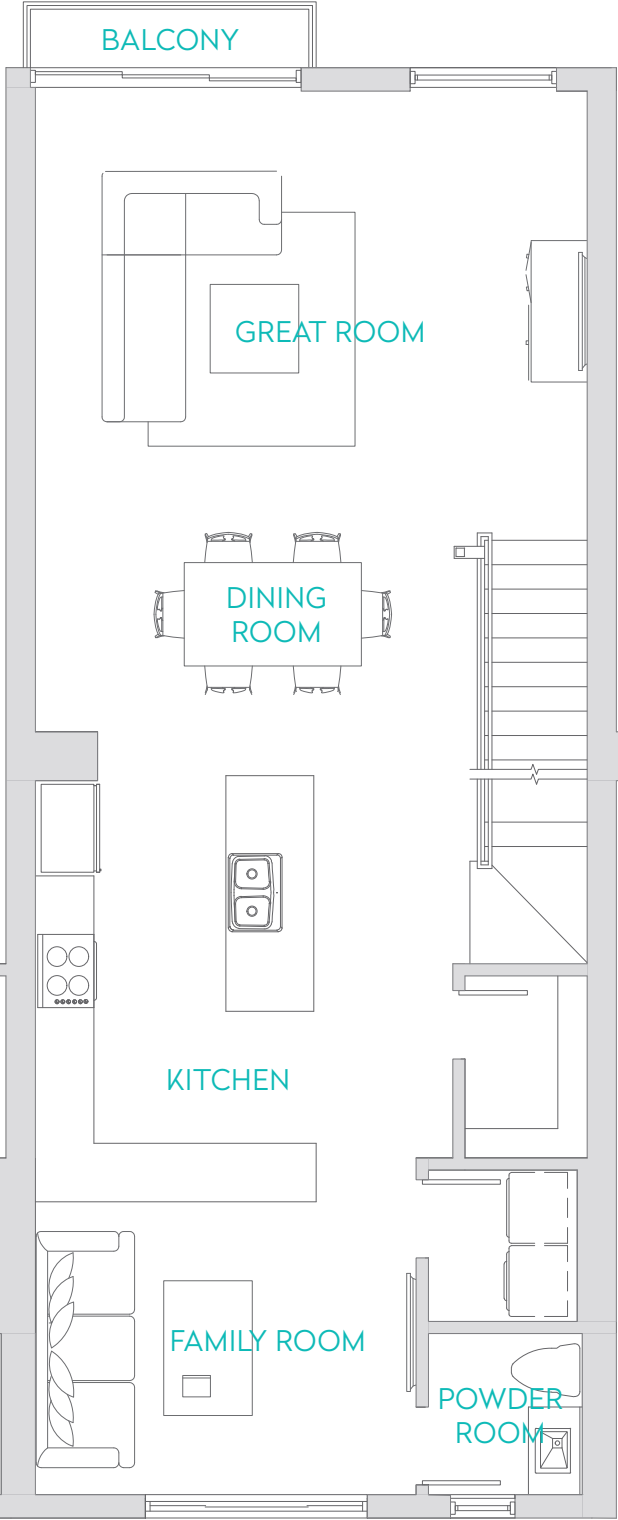
UNIT AREA

A/C Area:	2,503 sf.	231.8 m <sup>2</sup>
Non-A/C Area:	1,145 sf.	106.3 m <sup>2</sup>
Total Area:	3,648 sf.	338.1 m <sup>2</sup>

2nd FLOOR AREA

A/C Area:	1,028 sf.	95.1 m <sup>2</sup>
Non-A/C Area:	19 sf.	1.8 m <sup>2</sup>
Total Area:	1,047 sf.	96.9 m <sup>2</sup>

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RESIDENCE 4/5 1155 3rd FLOOR

3 Bedroom, 3.5 Bath with Family Room

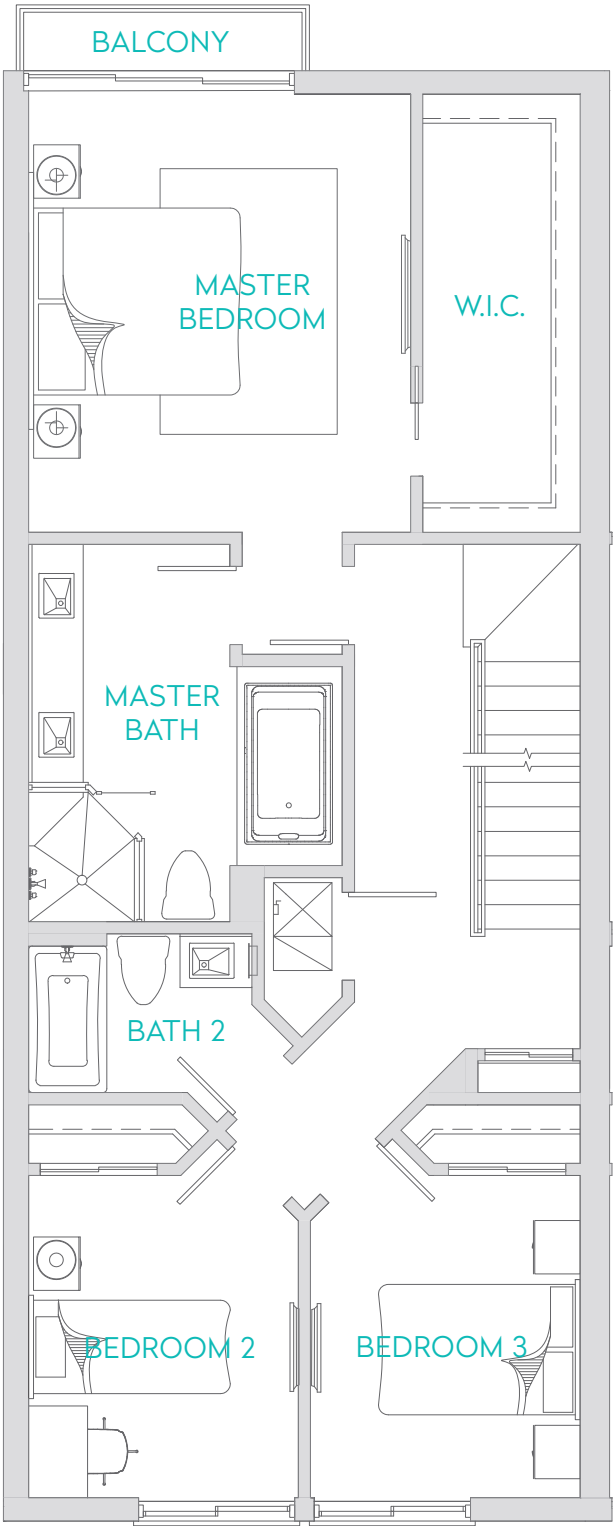
UNIT AREA

A/C Area:	2,503 sf.	231.8 m²
Non-A/C Area:	1,145 sf.	106.3 m²
Total Area:	3,648 sf.	338.1 m²

3rd FLOOR AREA

A/C Area:	981 sf.	91.1 m²
Non-A/C Area:	19 sf.	1.8 m²
Total Area:	1,000 sf.	92.9 m²

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RESIDENCE 4/5 1155 ROOF TOP

3 Bedroom, 3.5 Bath with Family Room

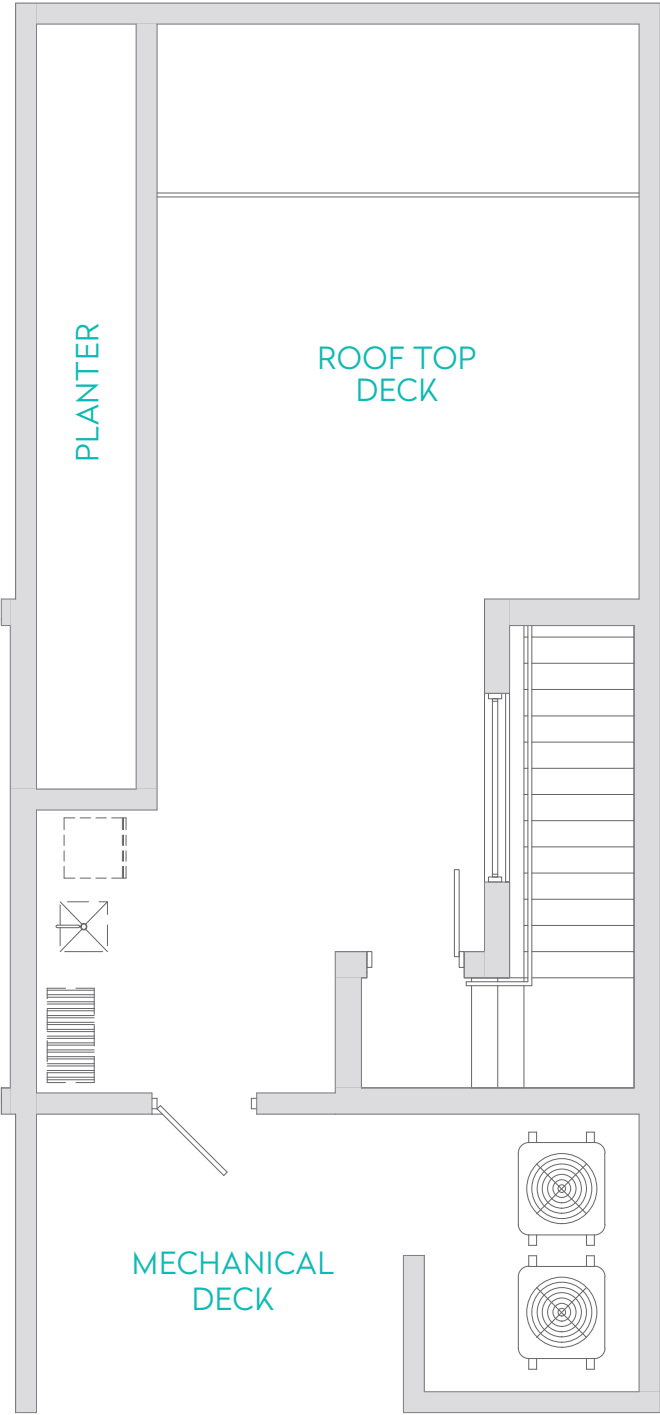
UNIT AREA

A/C Area:	2,503 sf.	231.8 m²
Non-A/C Area:	1,145 sf.	106.3 m²
Total Area:	3,648 sf.	338.1 m²

ROOF TOP AREA

A/C Area:	75 sf.	7 m²
Non-A/C Area:	593 sf.	55.0 m²
Total Area:	668 sf.	62.0 m²

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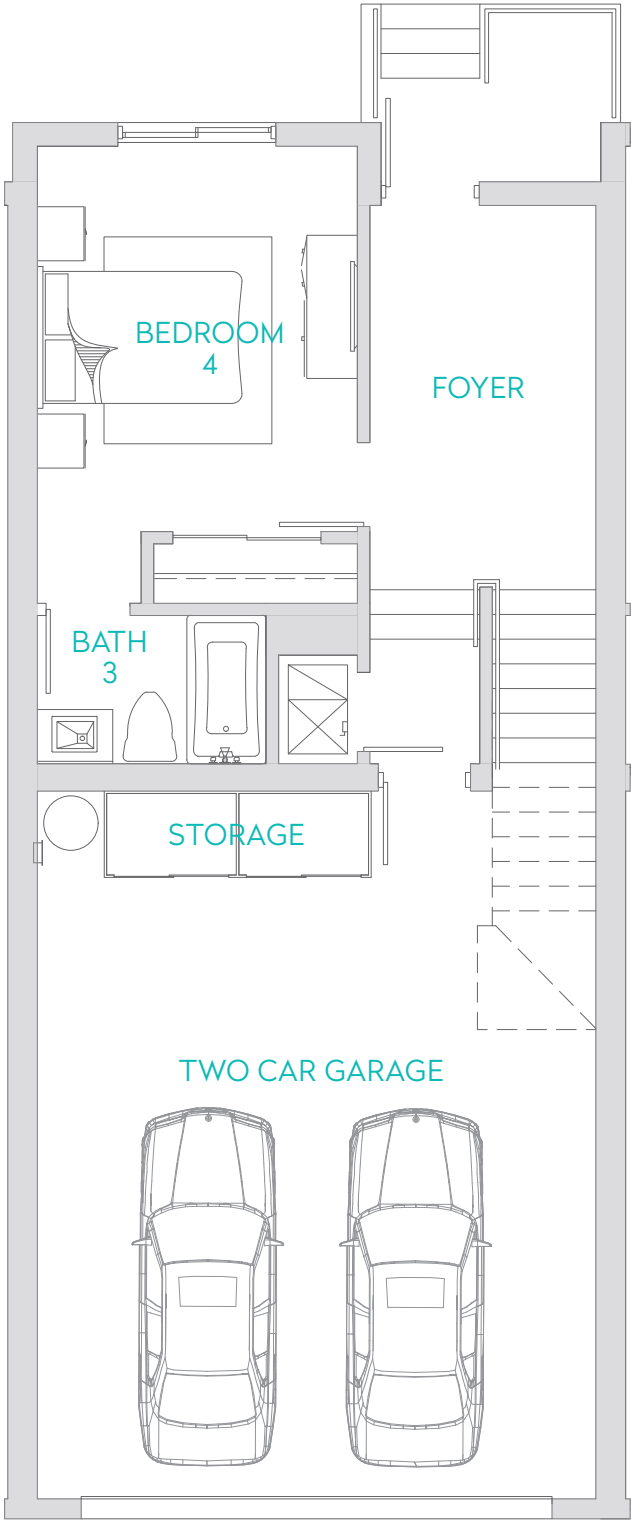
# RESIDENCE 6 1155 1st FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,544 sf.	236.4 m²
Non-A/C Area:	1,166 sf.	110.6 m²
Total Area:	3,710 sf.	347.0 m²

1st FLOOR AREA		
A/C Area:	426 sf.	39.6 m²
Non-A/C Area:	523 sf.	48.6 m²
Total Area:	949 sf.	88.2 m²

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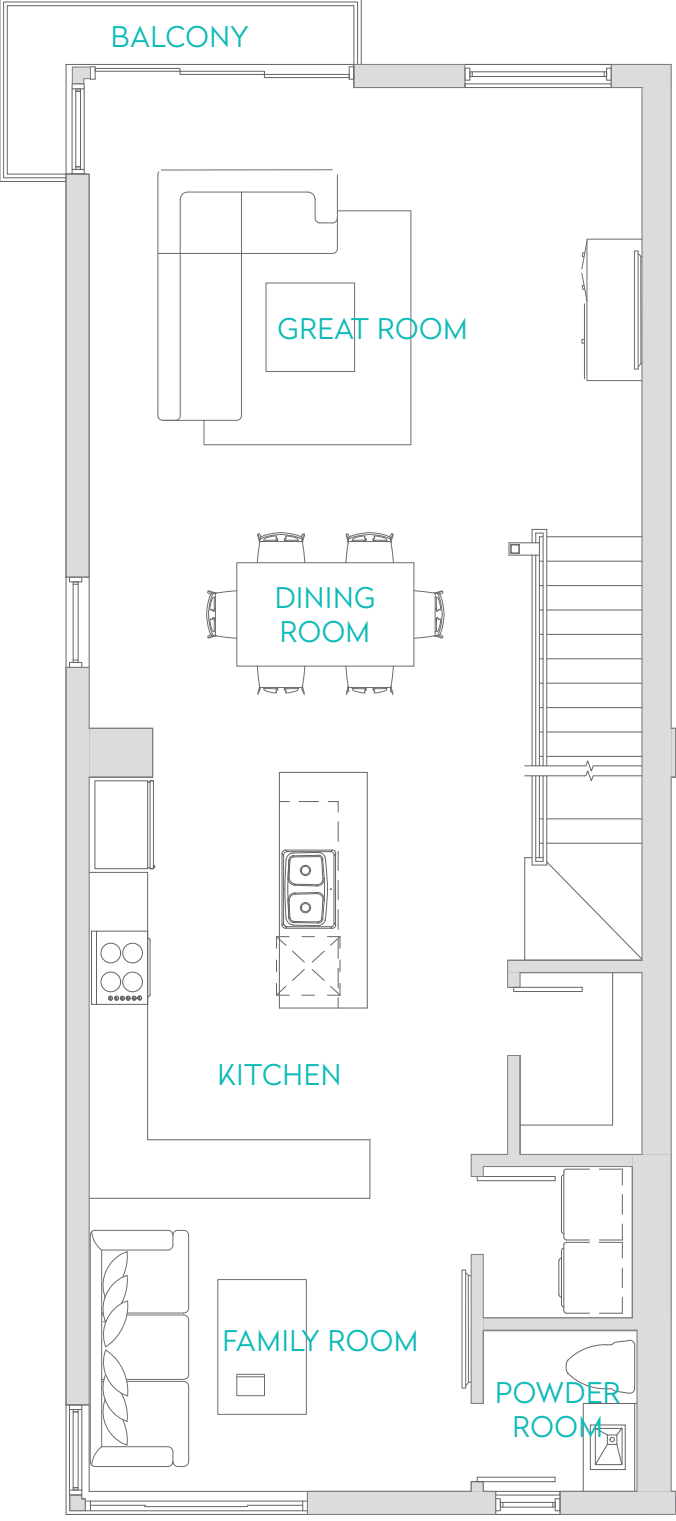
# RESIDENCE 6 1155 2nd FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,544 sf.	236.4 m²
Non-A/C Area:	1,166 sf.	110.6 m²
Total Area:	3,710 sf.	347.0 m²

2nd FLOOR AREA		
A/C Area:	1,045 sf.	97.1 m²
Non-A/C Area:	31 sf.	2.9 m²
Total Area:	1,076 sf.	100.0 m²

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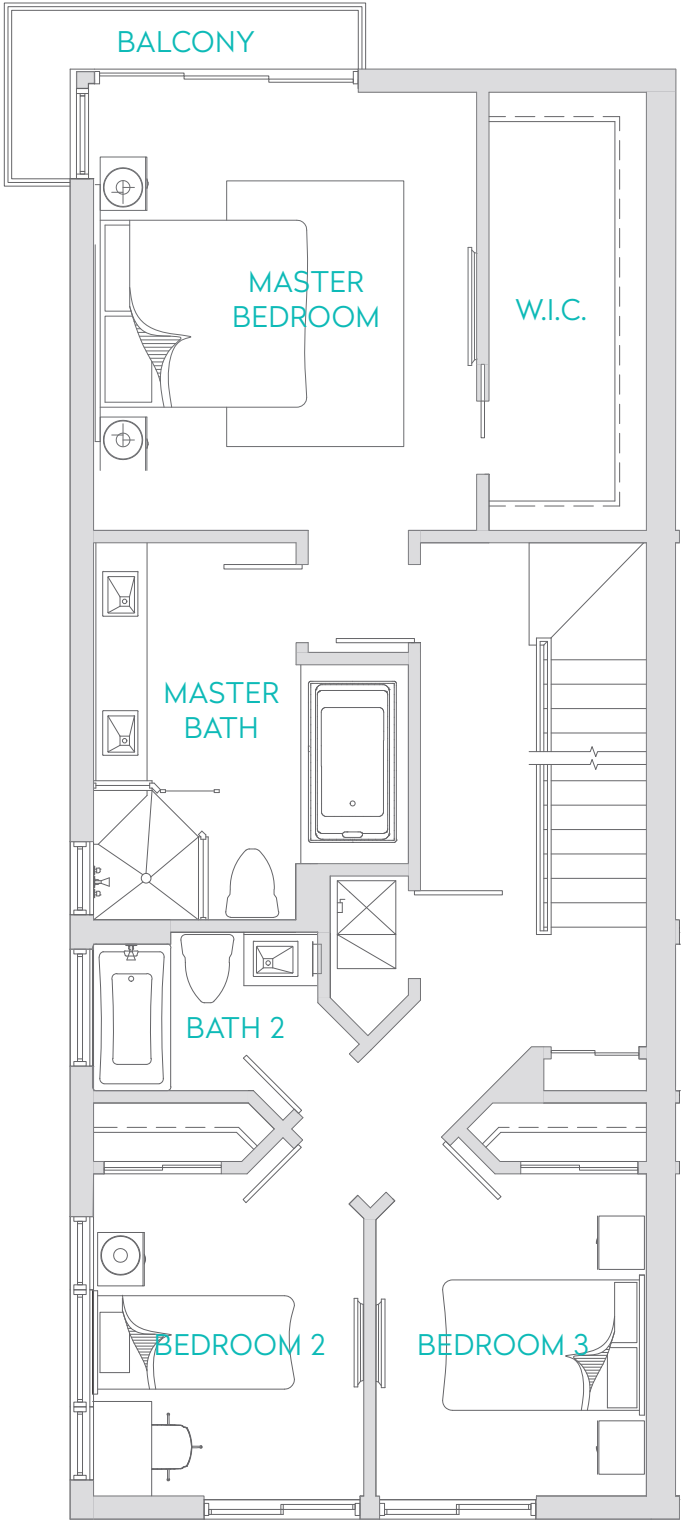
RESIDENCE 6 1155 3rd FLOOR

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,544 sf.	236.4 m²
Non-A/C Area:	1,166 sf.	110.6 m²
Total Area:	3,710 sf.	347.0 m²

3rd FLOOR AREA		
A/C Area:	998 sf.	92.7 m²
Non-A/C Area:	31 sf.	2.9 m²
Total Area:	1,029 sf.	95.6 m²

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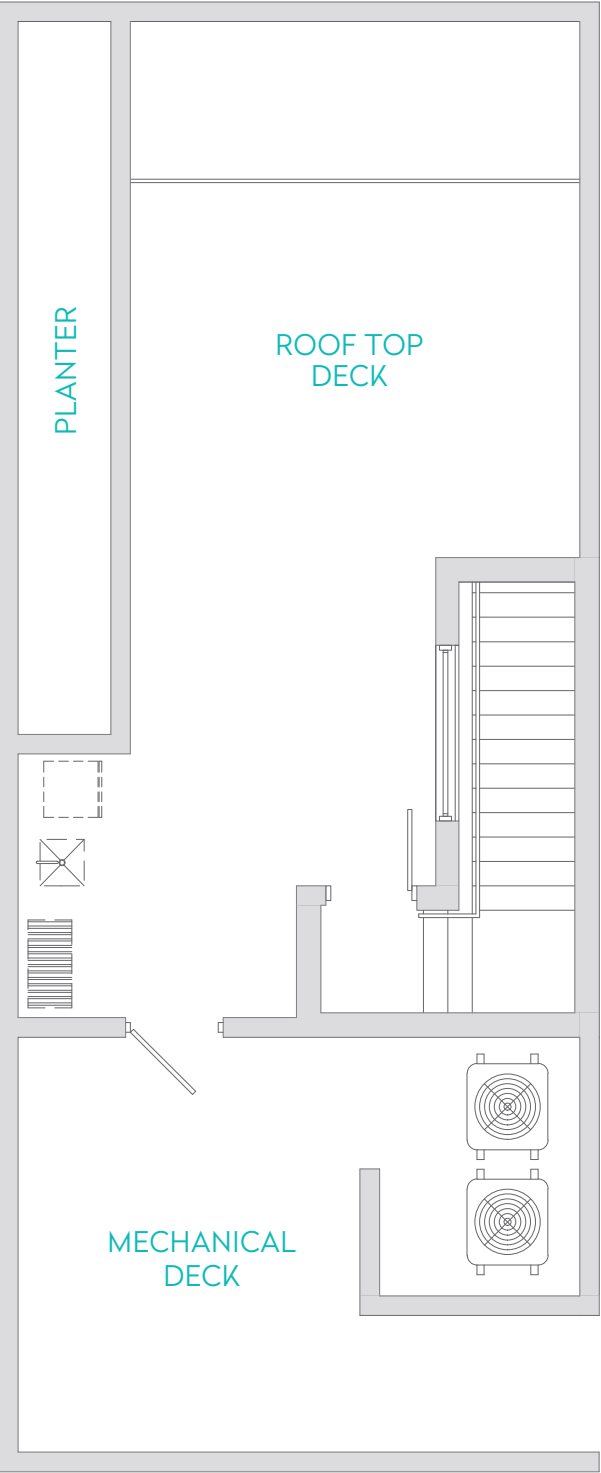
RESIDENCE 6 1155 ROOF TOP

3 Bedroom, 3.5 Bath with Family Room

UNIT AREA		
A/C Area:	2,544 sf.	236.4 m²
Non-A/C Area:	1,166 sf.	110.6 m²
Total Area:	3,710 sf.	347.0 m²

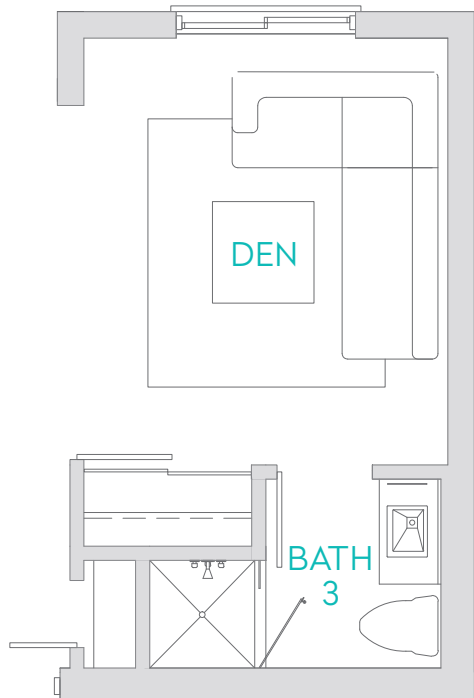
ROOF TOP AREA		
A/C Area:	75 sf.	7.0 m²
Non-A/C Area:	605 sf.	56.2 m²
Total Area:	680 sf.	63.2 m²

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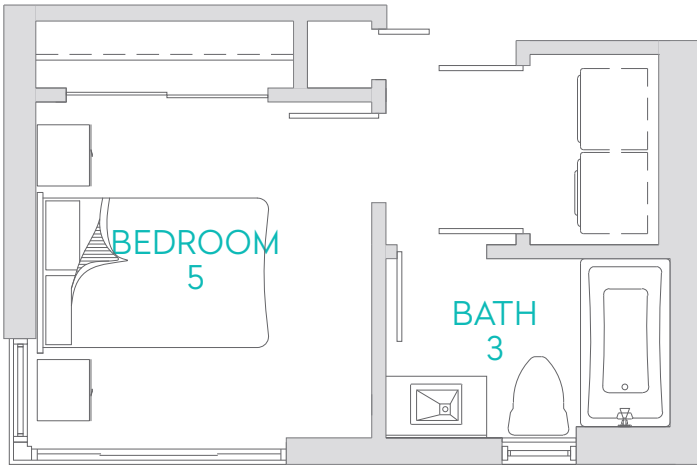




RESIDENCE OPTIONS



DEN OPTION  
2 BEDROOM + DEN



5TH BEDROOM OPTION  
5 BEDROOM

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SITE PLAN



# THE BUILDER’S STORY

Michael Puder, has been a developer for over 35 years with an outstanding reputation in the industry. As a licensed building contractor, real estate broker, and mortgage broker, he has extensive experience in the building and real estate industries, having founded multiple development firms. Since the beginning, he has successfully developed thousands of single/multi-family homes, as well as numerous retail and mixed-use development projects.

Over the years, Puder’s innovative concepts and designs in development have won him many accolades. He and his team have received several awards, such as the Palm Award and Pinnacle Award for architecture and design.

Currently, Puder and his team own and manage several apartment communities, strip centers, and other related investments....and continues to remain active in the industry.

Jodi Puder is a seasoned home builder with over 15 years experience in the building industry. She comes from a family of home builders first starting with her father and then later, her brother. Puder walked the fields of her father’s communities at a young age and later sold and marketed communities for her father and brother. Later, Puder decided to follow in the footsteps of her brother and ventured out on her own in the building business.

From the initial acquisition to the very last closing, Puder is actively involved. She works closely with site planners and architects to help design the very best communities and thus her communities and homes have been the recipient of numerous industry awards. Her previous company, Puder-Siegel Homes, was named the 8th fastest builder in the country by BUILDER magazine. Puder-Siegel’s most notable communities include, but are not limited to, Mizner’s Preserve in Delray Beach, Florida and Mizner Falls in Boynton Beach, Florida.

Puder is active in all aspects of the business and brings that personal touch to her communities. She works closely with contractors and personally inspects each home; making sure it meets her high level of standard for quality construction.

In addition, Puder works closely with homeowner’s throughout the buying process, ensuring they obtain a high level of customer satisfaction.

Puder was a past Director for the Gold Coast Builder’s Association, a past Director for the state of Florida’s Builder Association and a past Director for the National Association of Home Builder’s. Puder is also a Licensed Realtor and Commercial Insurance Agent in the state of Florida.

For more information about the builder’s please visit: [www.ThePuderGroup.com/our-team.html](http://www.ThePuderGroup.com/our-team.html) - Pictures/collage of the past developments (you can get that from <http://www.93bayharbor.com/builders-story.html>)

# THE PUDER GROUP

The Puder Group is a family owned building and development company with over 50 years’ experience in the building industry. Collectively this brother/sister team has built over several thousand homes. As second generation builders, each of the principals has a proven track record in the building industry and are coming together in this new building era, to build two new communities in Bay Harbor: 93 Bay Harbor and 101 Bay Harbor. Some of their past notable communities include but are not limited to: Mizner’s Preserve, Mizner Falls, Knightsbridge at the Polo Club, Muirhead Estates at Aberdeen County Club, The Grove, The Enclave, and Gateway Club Apartments.







# 101

RESIDENCES  
BAY HARBOR ISLANDS

All renderings are conceptual and the Developer expressly reserves the right to make modifications, revisions, and changes it deems desirable in its sole and absolute discretion without prior notice. Actual views may vary and cannot be guaranteed. Views shown cannot be relied upon as the actual view from any particular unit within the condominium. Improvements, landscaping and amenities depicted may not exist. Photographs may be stock photography used to depict suggested lifestyles rather than any that may exist.

[101BayHarbor.com](http://101BayHarbor.com)