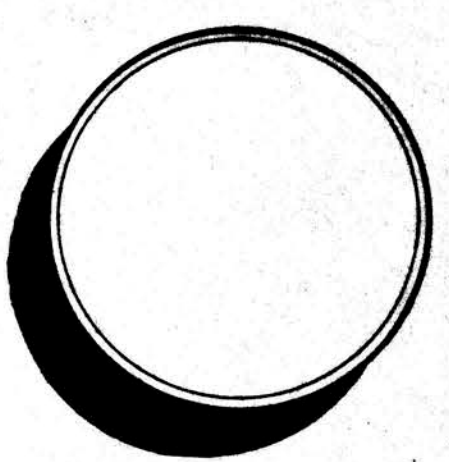
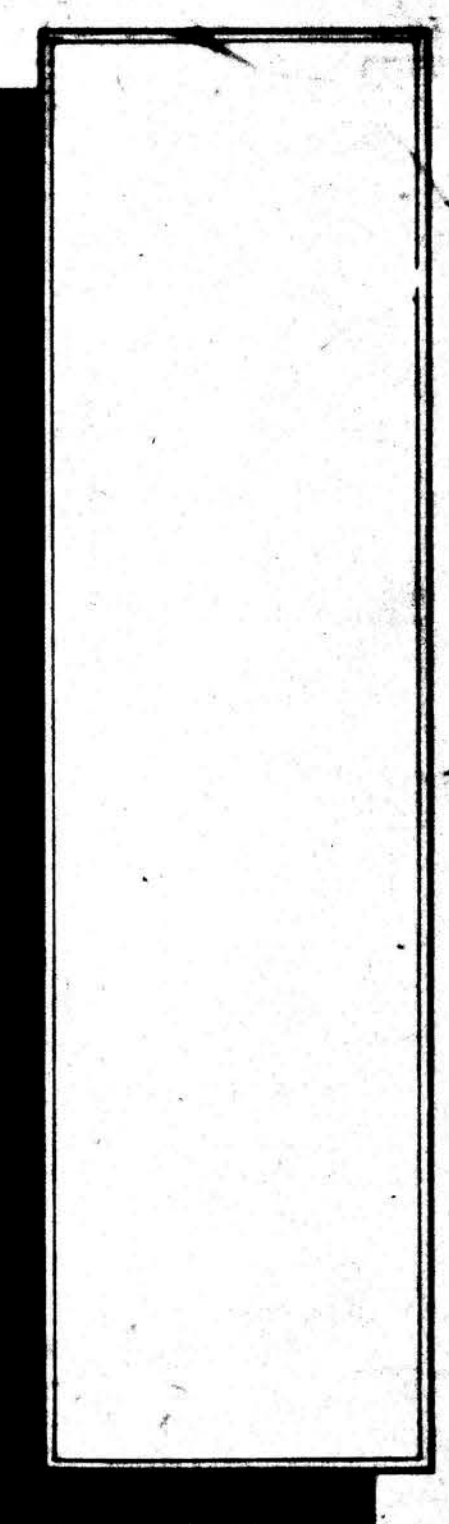
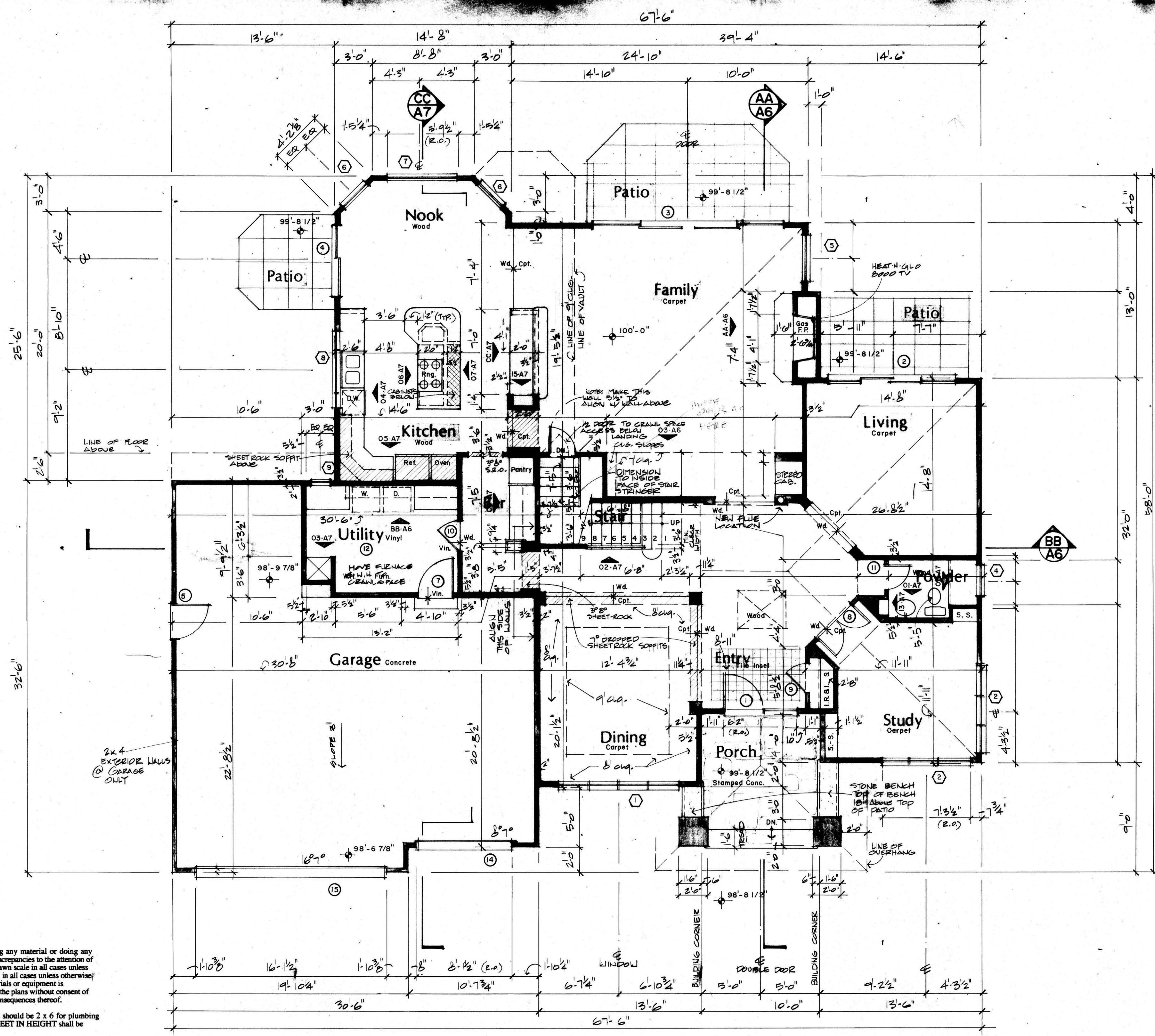


NOTICE OF COOPERATION: The architect and contractor shall cooperate in the performance of the contract. The architect shall be responsible for the design and construction of the project. The contractor shall be responsible for the construction of the project. The architect shall be responsible for the design and construction of the project. The contractor shall be responsible for the construction of the project.



Drawn	5-3-84
Revised	



Main Level Plan

2074 SF

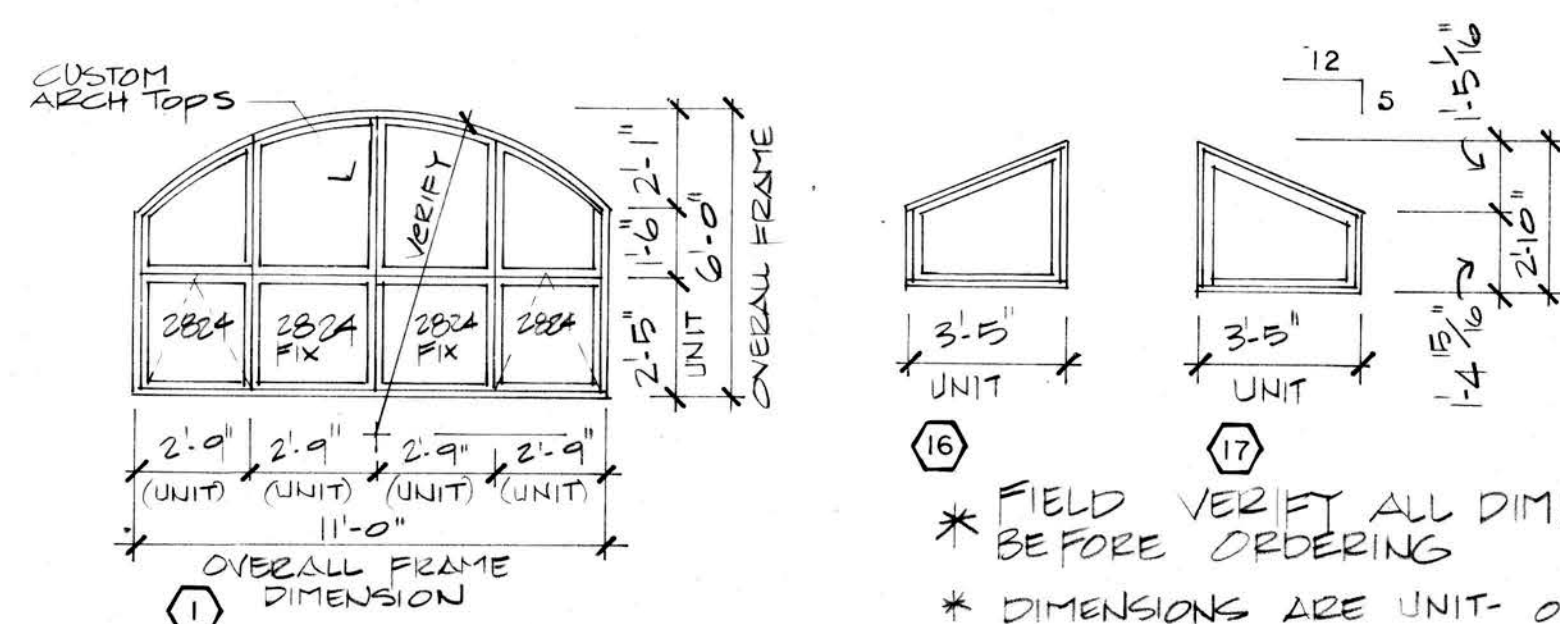
SCALE: 1/4" = 1'-0"

MAIN LEVEL ARCH.
MAIN LEVEL DOORS
TITLE SHEET

Window Schedule						
NOTE: WINDOWS ARE "SEALRITE" WOOD WINDOWS UNLESS NOTED AS OTHER.						
KEY	MODEL NUMBER	R.O. WIDTH	R.O. HEIGHT	TOP OF R.O. ABOVE SUBFLOOR	BOT. OF R.O. ABOVE SUBFLOOR	LOCATION
1	COMBINATION SEE ELEVATION	11'-0 1/2"	VARIES	VARIES	1'-10 1/2" (FIELD VERIFY)	DINING
2	2444-3 CASEMENT	7'-3 1/2"	4'-2 1/2"	7'-1"	2'-10 1/2"	STUDY
3	1648-1 CASEMENT	1'-9 1/2"	4'-6 1/2"	7'-11 3/4"	3'-5 1/4"	UTILITY
4	2432-1 CASEMENT	2'-5 1/2"	3'-2 1/2"	7'-1"	3'-10 1/2"	POWDER
5	2060-2 CASEMENT	4'-2 1/2"	5'-6 1/2"	7'-11 3/4"	2'-5 1/4"	FAMILY
6	2860-1 CASEMENT	2'-9 1/2"	5'-6 1/2"	7'-11 3/4"	2'-5 1/4"	NOOK
7	FIXED PICTURE 6460-1	5'-9 1/2"	5'-6 1/2"	7'-11 3/4"	2'-5 1/4"	NOOK
8	COMBO: 1648/2848/1648	6'-3 1/2" VERIFY	4'-6 1/2"	7'-11 3/4"	3'-5 1/4"	KITCHEN
9	2440-3 CASEMENT	7'-3 1/2"	3'-10 1/2"	6'-9"	2'-10 1/2"	BEDRM #2
10	2440-4 CASEMENT	9'-8 1/2"	3'-10 1/2"	6'-9"	2'-10 1/2"	BEDRM #3
11	2440-1 CASEMENT	2'-5 1/2"	3'-10 1/2"	6'-9"	2'-10 1/2"	BDRM #4
12	2816-11 AWNING	2'-9 1/2"	1'-10 1/2"	6'-9"	4'-10 1/2"	BDRM #4
13	4016-11 AWNING	3'-9 1/2"	1'-10 1/2"	6'-9"	4'-10 1/2"	STAIR
14	2844-1 CASEMENT	2'-9 1/2"	4'-2 1/2"	6'-8 3/4"	2'-6 1/4"	MSTR BDRM
15	PICTURE UNITS 3644-1	3'-5 1/2"	4'-2 1/2"	6'-8 3/4"	2'-6 1/4"	MSTR BDRM
16	CUSTOM TRAP	3'-5 1/2"	VARIES	VARIES	6'-11 3/4"	
17	CUSTOM TRAP	3'-5 1/2"	VARIES	VARIES	6'-11 3/4"	
18	2444-2 CASEMENT	4'-10 1/2"	4'-2 1/2"	6'-8 3/4"	2'-6 1/4"	MSTR BATH
19	2440-1 CASEMENT	2'-5 1/2"	3'-10 1/2"	6'-9"	2'-6 1/4"	BDRM #2
20	VELUX FS #606	3'-8 3/4"	3'-11"			STAIR SKYLIGHT
21	VELUX FS #104	1'-9 1/2"	3'-3"			MSTR. CLOSET SKYLIGHT
22	VELUX FS #606	3'-8 3/4"	3'-11"			ENTRY SKYLIGHT
23	FIXED TRANSOME @ ENTRY	6'-2"	1'-10"	8'-10"	7'-0"	ENTRY TEMPER
24						
25						
26						
27						

GENERAL NOTE:

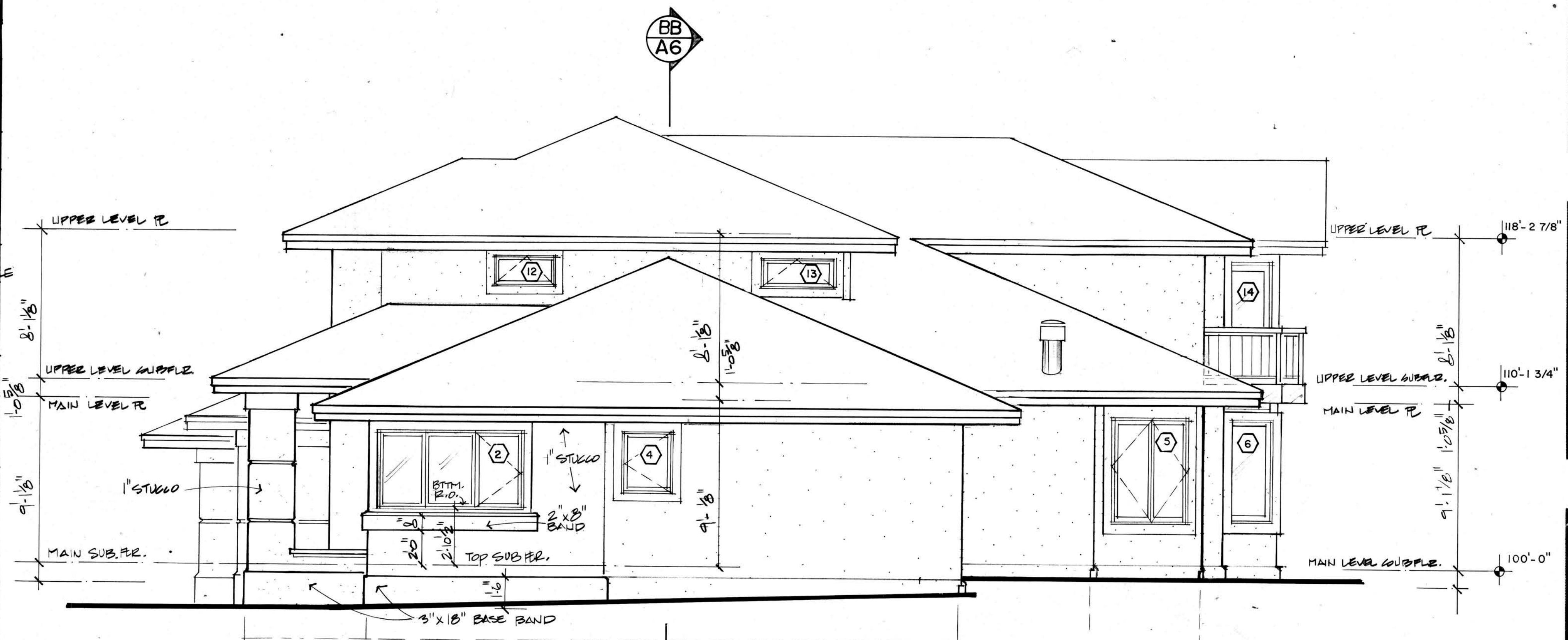
Contractor, Window Supplier and Framing Subcontractor to verify all window rough openings and compliance with code egress requirements prior to ordering any windows and prior to framing any rough openings or pouring concrete walls with window openings. Rough openings indicated on this schedule reflect manufacturer's catalog information as provided to the Architect. This information is subject to change and must be verified.



* FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING
* DIMENSIONS ARE UNIT- OR FRAME DIMENSIONS UNLESS NOTED AS OTHER

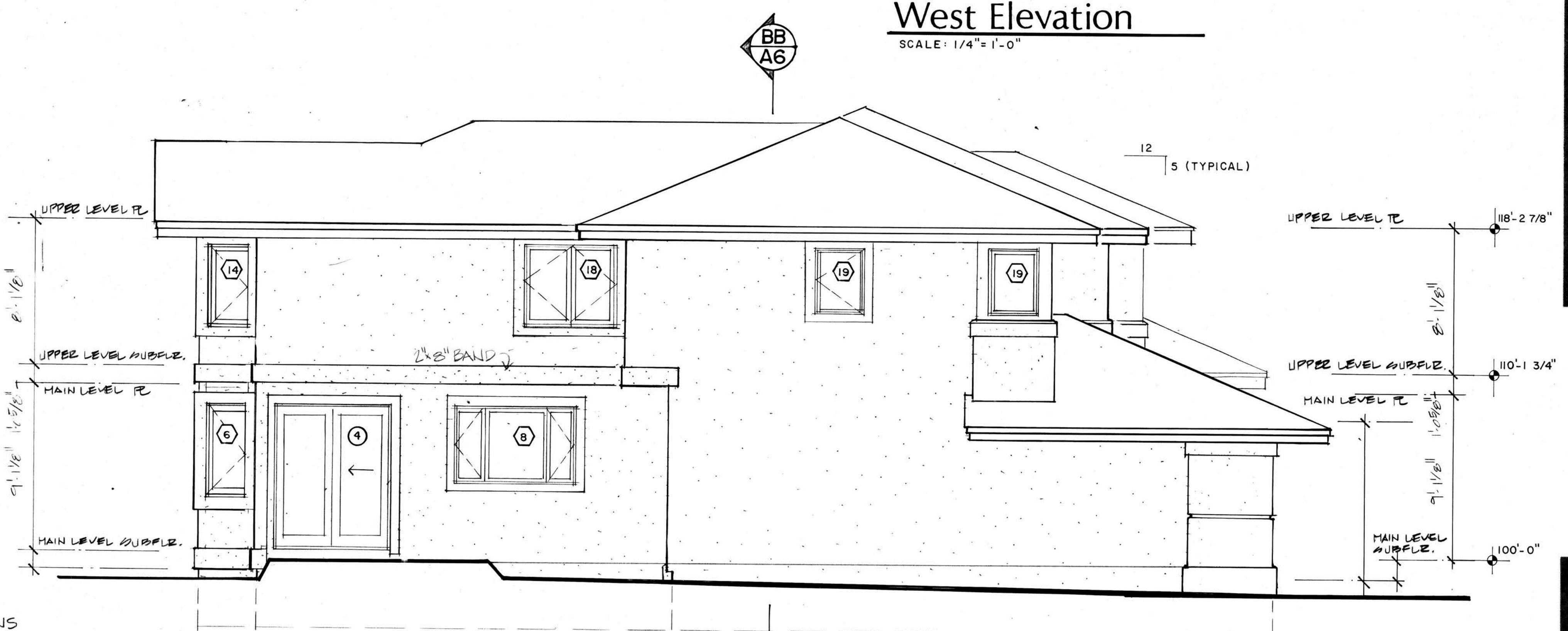
Window Elevations

SCALE: 1/4" = 1'-0"



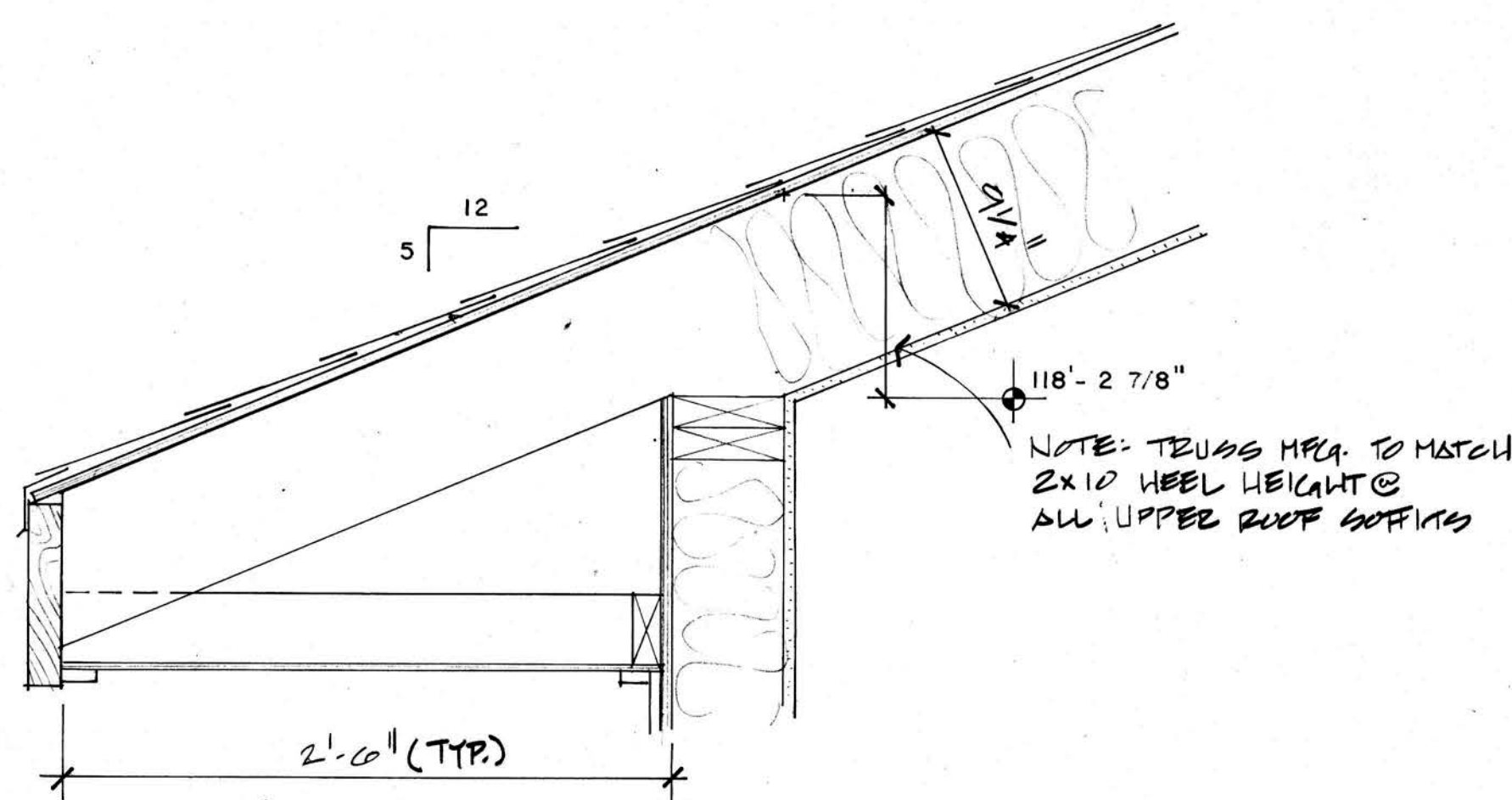
West Elevation

SCALE: 1/4" = 1'-0"

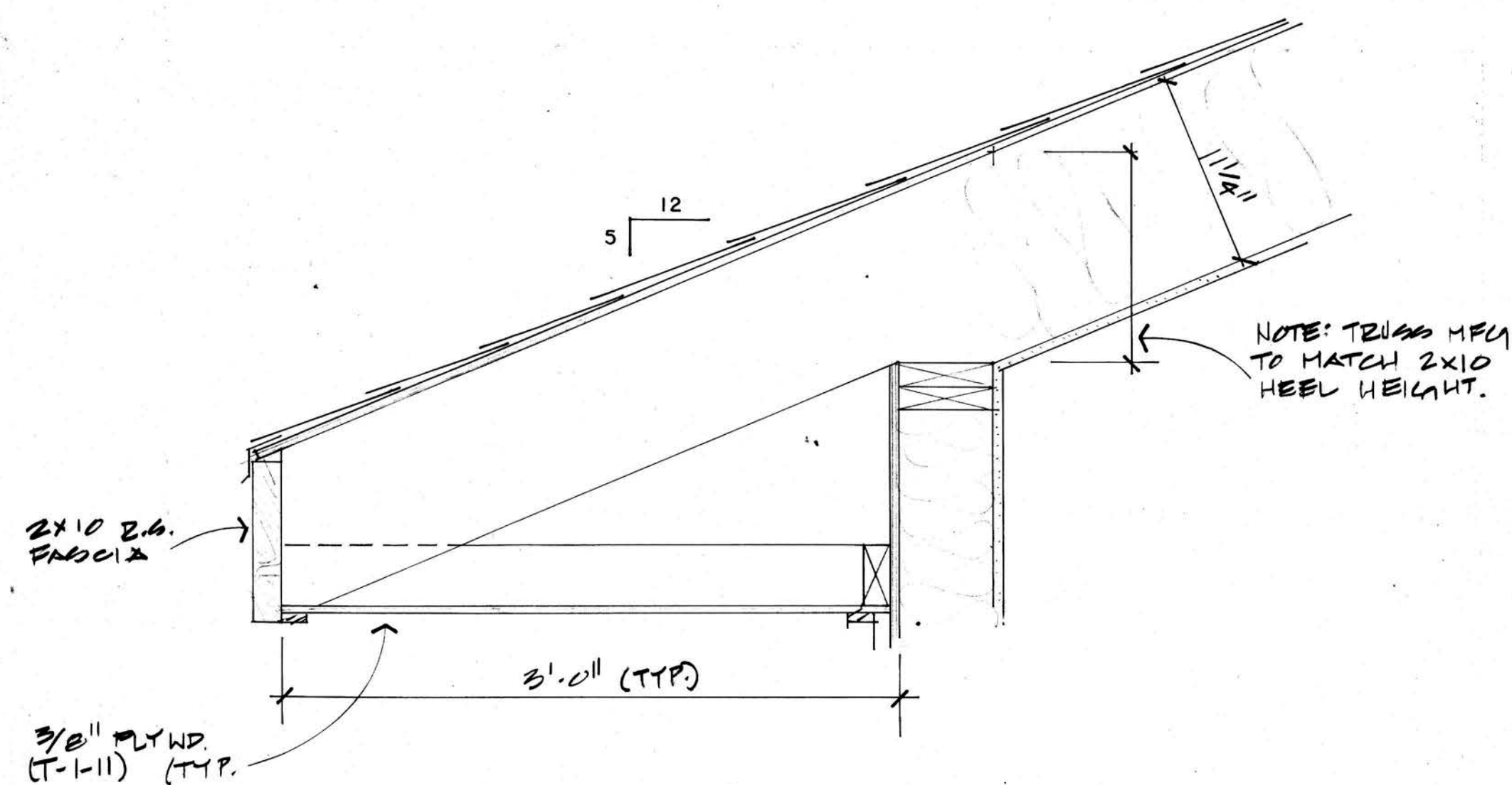


East Elevation

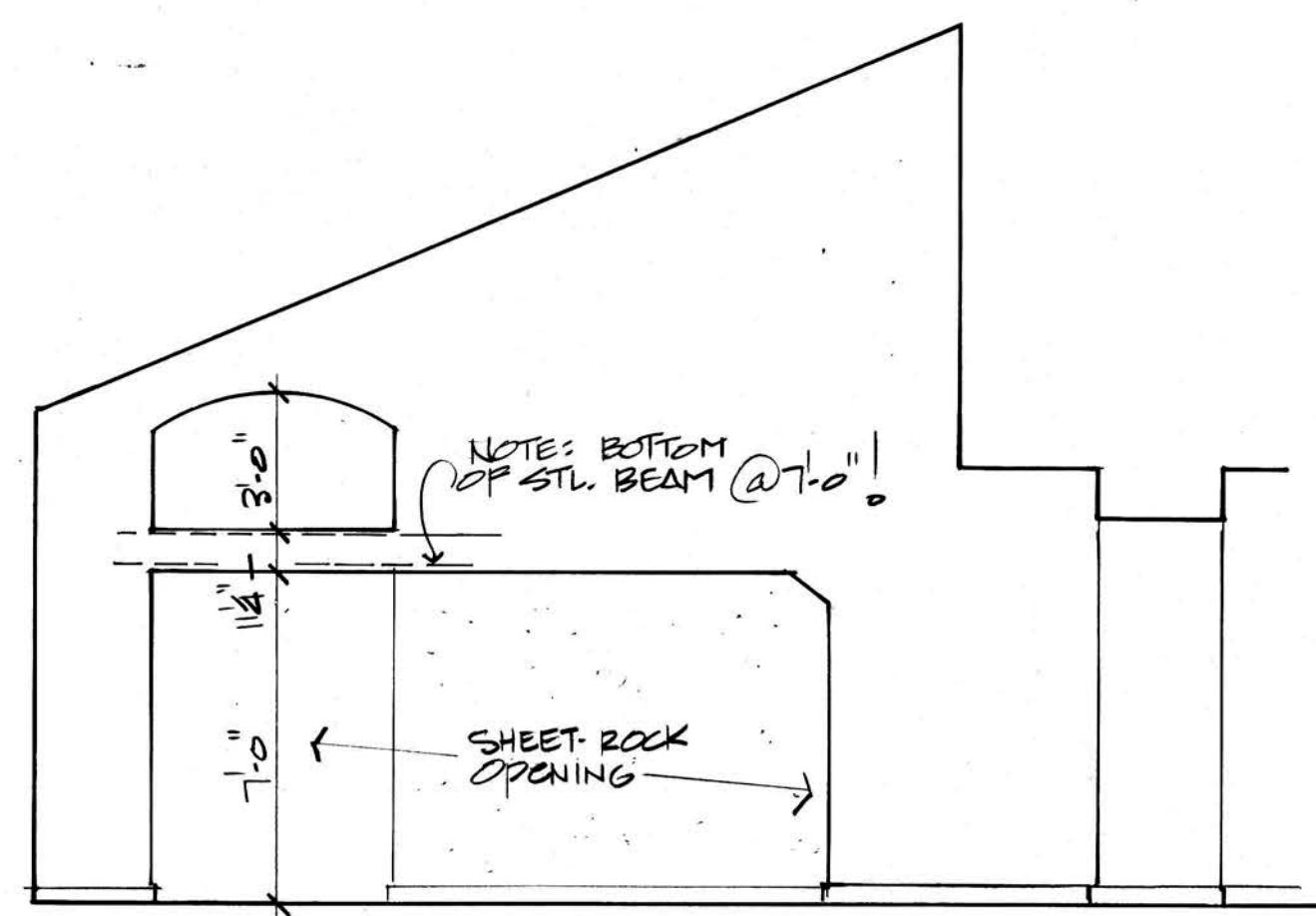
SCALE: 1/4" = 1'-0"



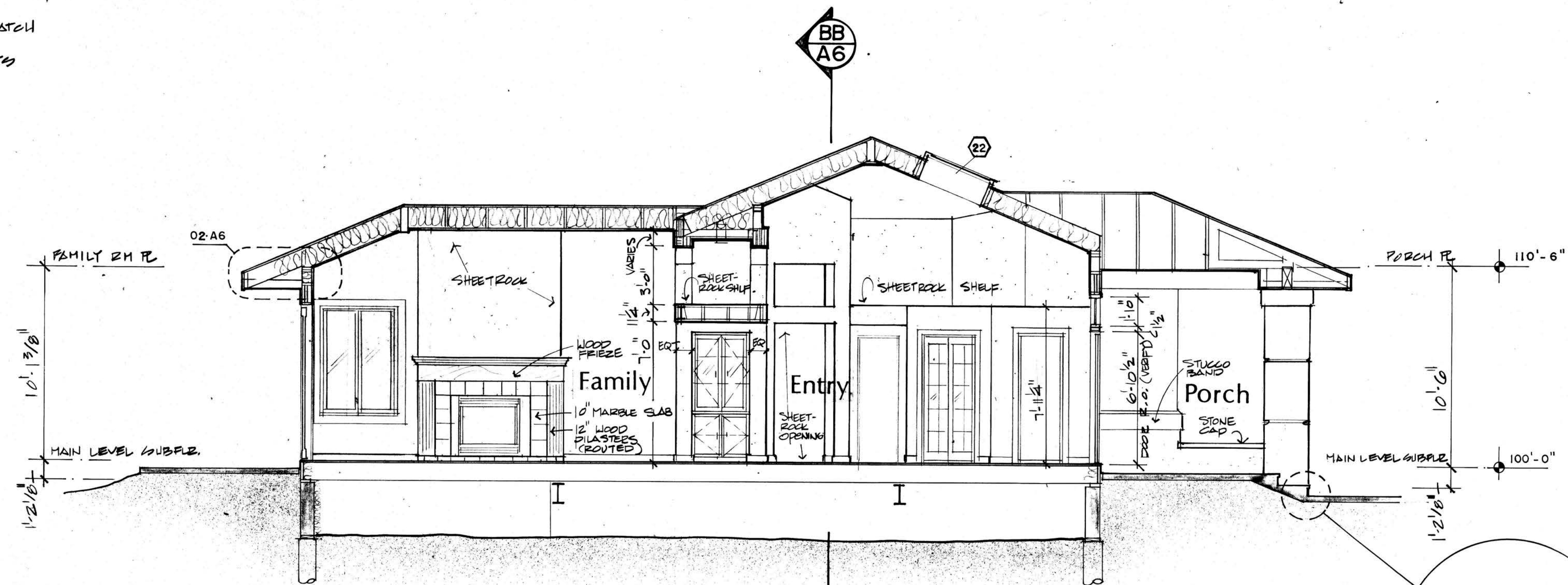
01 UPPER LEVEL SOFFIT
SCALE: 1 1/2" = 1'-0"



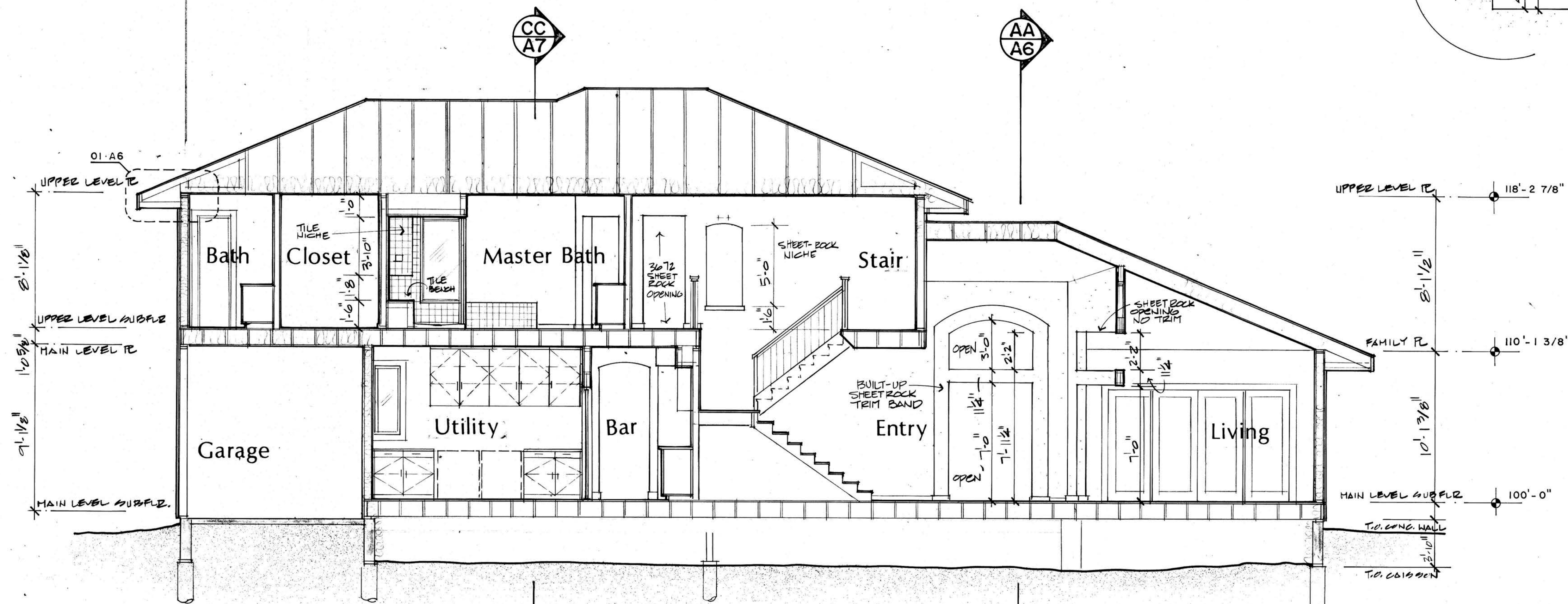
02 MAIN LEVEL SOFFIT
SCALE: 1 1/2" = 1'-0"



03 FAMILY ROOM
SCALE: 1/4" = 1'-0"



Building Section AA
SCALE: 1/4" = 1'-0"

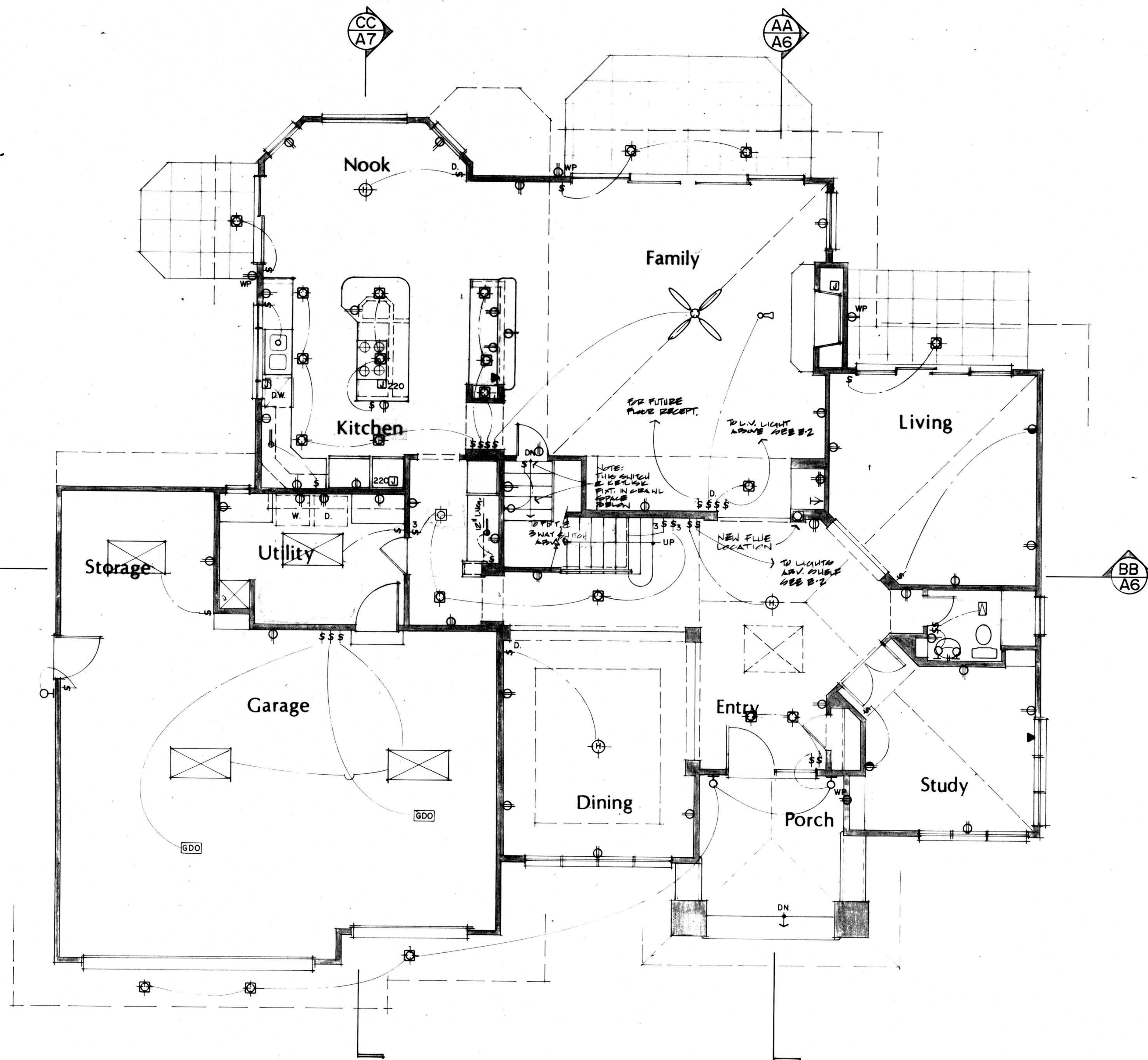


Building Section BB
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
	Duplex Receptacle
	1/2 Switched Duplex Receptacle
	Quadplex Receptacle
	Waterproofed Receptacle
	220 Volt Outlet (or junction box)
	Junction Box
	Single Pole Switch
	3 Way Switch
	Dimmer Switch
	Breaker Panel
	Ceiling Mounted Globe Light Fixture
	Recessed Incandescent Light Fixture
	Hanging Light Fixture
	Wall Mounted Sconce Light Fixture
	Telephone Jack
	Cable Television Jack
	Smoke Detector
	Vent Exhaust Fan (Bath Vent)
	HVAC System Thermostat
	Garage Door Opener
	Bath Mirror Lighting Strip
	Under Cabinet Fluorescent Lighting
	Track Lighting Fixture

ELECTRICAL LEGEND	
	Floor Mounted Duplex Receptacle
	Monopoint Spot Light Fixture
	Provide Natural Gas Hookup
	Low Voltage (Halogen) Recessed Fixture
	4 Way Switch
	Recessed Incandescent Light Fixture With Waterproof Lens
	2' x 4' Fluorescent Light Fixture (With color corrected lamps, typical)
	Ceiling Fan

General Note: Electrician shall comply with all applicable codes, including but not limited to: location of GFI circuits, minimum number of duplex receptacles, location and number of smoke detectors, and proximity of switches and unprotected fixtures to hazardous locations, i.e. showers/tubs.



Main Level Electrical

SCALE: 1/4" = 1' - 0"

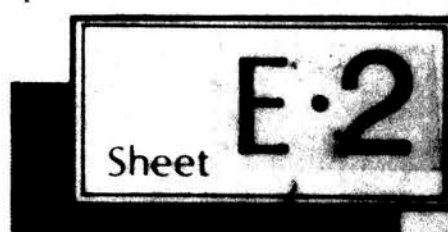
MAIN ELECT.
MAIN LEVEL DOORS
MAIN LEVEL BASE
TITLE SHEET

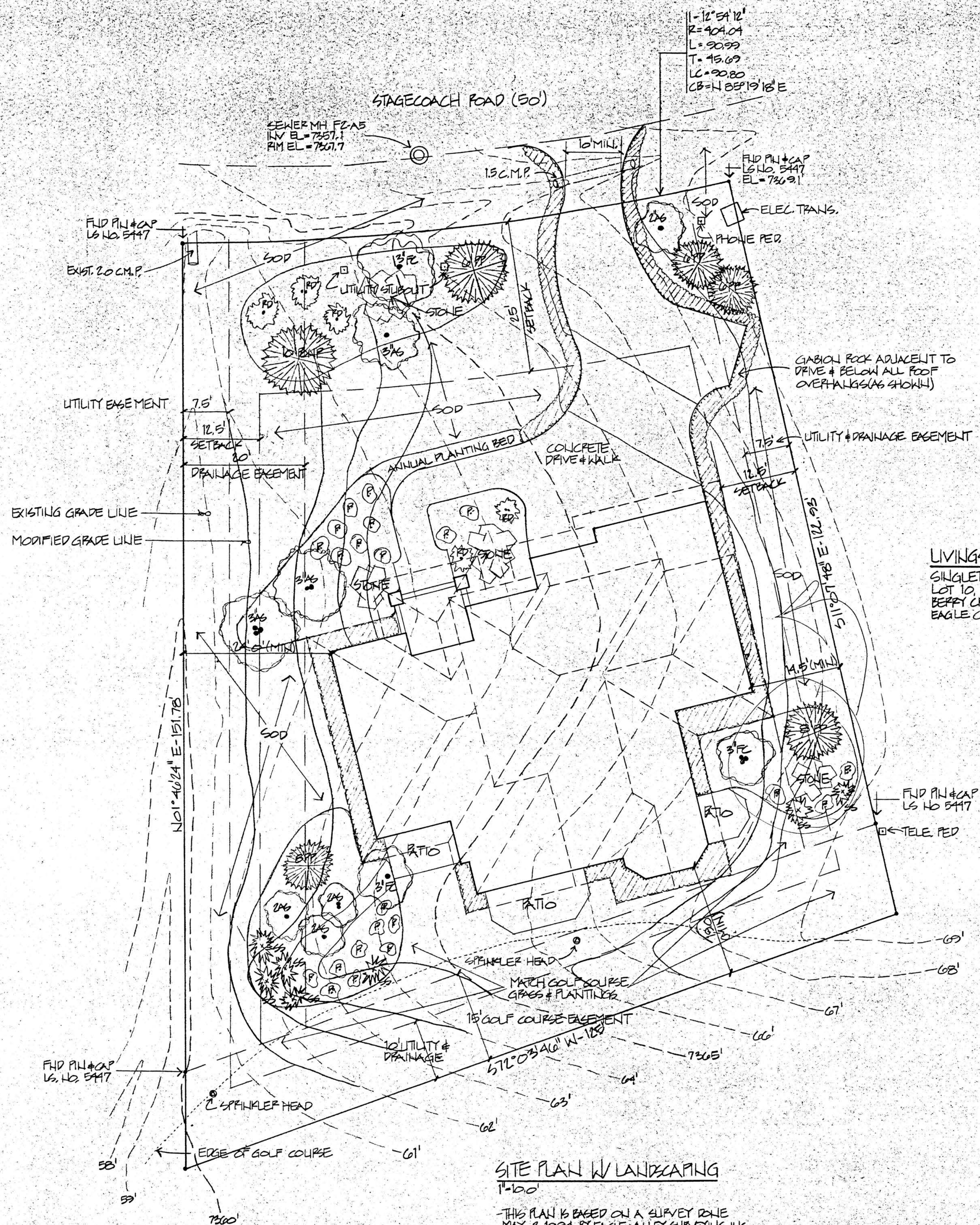
Drawn	5-3-94
Revised	

Sheet **E-1**

NOTICE OF COOPERATION
The architect and the contractor shall cooperate in the selection of materials and methods of construction. The architect shall be responsible for the design and the contractor shall be responsible for the construction. The architect shall be responsible for the design and the contractor shall be responsible for the construction. The architect shall be responsible for the design and the contractor shall be responsible for the construction.

Tollson Architects
ARCHITECTS - INTERIORS
Thomas Tollson
Cheryl Tollson
P.O. Box 4076 • Main Street
Evergreen, Colorado 80439
TELEPHONE 303-674-2871





LIVINGSTONE RESIDENCE
SINGLE TREE DEVELOPMENT
LOT 10, BLOCK 2
BERRY CREEK RANCH FILING #2
EAGLE COUNTY, COLORADO

SITE PLAN W/ LANDSCAPING 1"=100'

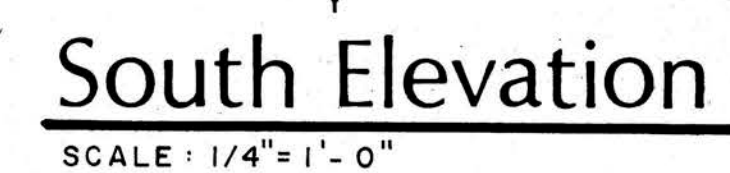
-THIS PLAN IS BASED ON A SURVEY DONE
MAY 3, 1994 BY EAGLE VALLEY SURVEYING, INC.
STAN HOFFFELD, COLORADO PLS. 26598
FOR LOT 10, BLOCK 2, BERRY CREEK RANCH
FILING NO. 2, EAGLE COUNTY, COLORADO

PLANT LIST			
ABBR.	PLANT	SIZE	QUANTITY
P	BENTONELLA	VARIOUS	22
SS	SNOWBUND SPIREA	#5	7
RD	REDWING DOGWOOD	#3	5
PP	PONDEROSA PINE	6"	3
		8"	2
AG	ASPEN	2"	4
		3"	3
FC	FLOWERING CRAB	3"	3

*LARGE STONES IN PLANTING BEDS (4 LOCATIONS) TO BE RELOCATED
FROM SITE OF EXCAVATION - IF POSSIBLE

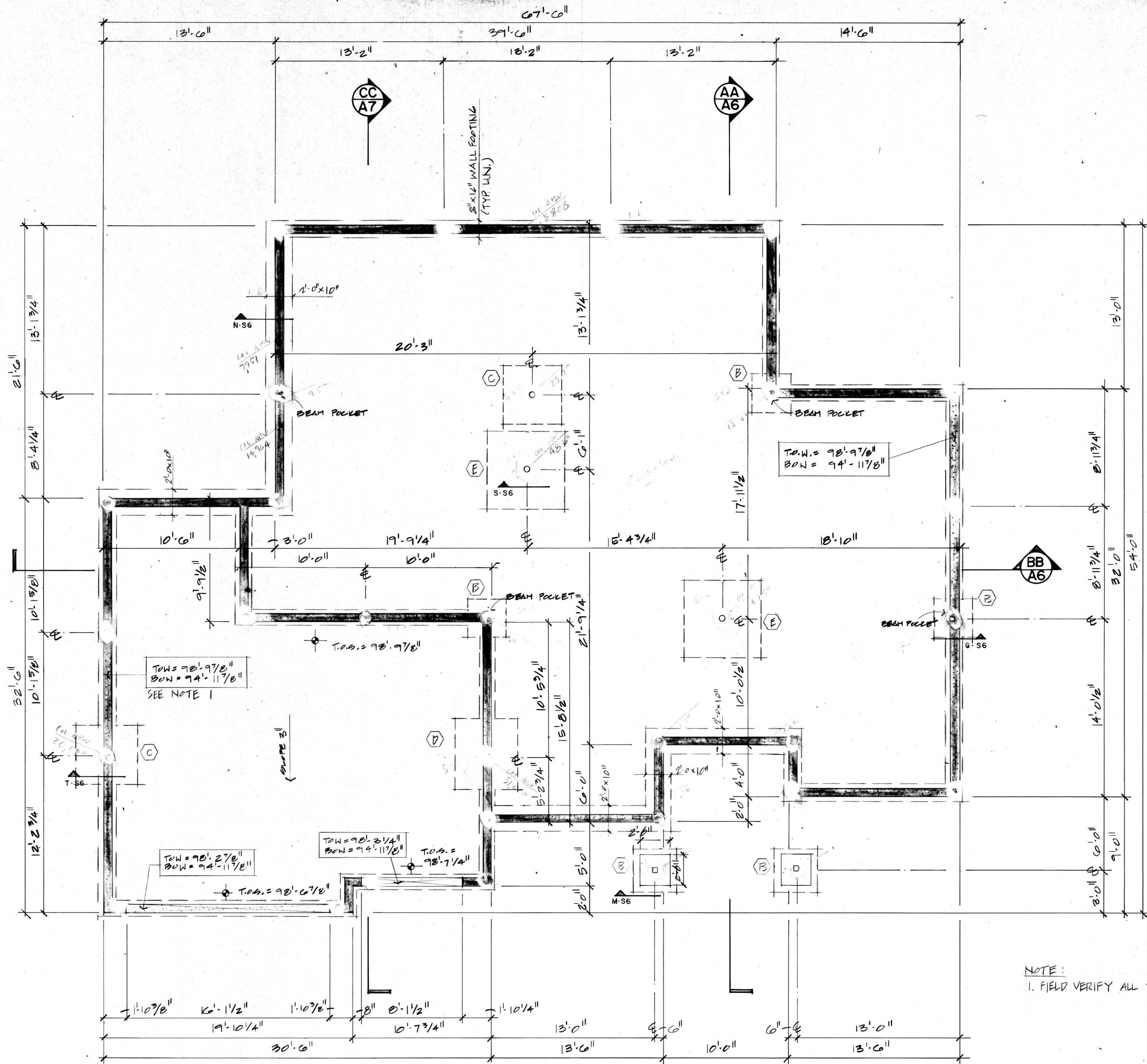
NOTES:
*ZONED SPRINKLER SYSTEM AUTO SPRAY & DRIP SYSTEM
*GABION ROCK ADJACENT TO DRIVE & UNDER OVERHANGS
*WOOD CHIPS & STONE ON BEAMS & PLANTING BEDS
*GALVANIZED STEEL EDGING
*TREES TO BE STAKED & TIED
*WEED CONTROL UNDER STONE & WOOD CHIPS

Residence for Lot 10, Block 2,
Filing 2, Berry Creek Ranch Sub.
Eagle County, Colorado



FOUNDATION LEGEND	
8" Thick Concrete Wall	
FOOTING Below Wall	
Step in Elevation in the top of the Concrete Wall.	
Step in Elevation in the bottom of the Concrete Wall.	
Wood Pony Wall above the Concrete Wall	
Block-out in Concrete Wall	
Top of Slab Elevation T.O.S. = Top of Slab	
Concrete Wall Elevations: T.O.W. = Top of Wall B.O.W. = Bottom of Void Form & Top of Caisson	

FOOTING SCHEDULE		
TYPE	SIZE	REINF.
A	2'-0" x 2'-0" x 8"	3-#5 E.W. BOT.
B	3'-4" x 3'-4" x 10"	4- " " "
C	4'-6" x 4'-6" x 12"	5- " " "
D	5'-0" x 5'-0" x 14"	6- " " "
E	6'-0" x 6'-0" x 16"	7- " " "



Foundation Plan

SCALE: 1/4" = 1'-0"

FND. PLAN
FND. BASE
TITLE SHEET

Tollison Architects
ARCHITECTURE - ILLUSTRATION

Thomas Tollison
Cheryl Tollison
P.O. Box 3076 • Manitou Springs, Colorado 80438
TELEPHONE 303-674-2871

NOTICE OF COOPERATION
The undersigned hereby certifies that the architect and his consultants have performed their duties in accordance with the provisions of the Colorado Architects' Code of Ethics and the provisions of the Colorado Architects' Code of Professional Conduct. The undersigned further certifies that the architect and his consultants have not been convicted of any crime involving moral turpitude within the last five years. The undersigned further certifies that the architect and his consultants have not been disciplined by any professional body within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional misconduct within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional negligence within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional fraud within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional dishonesty within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional immorality within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional incompetence within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional misconduct within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional negligence within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional fraud within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional dishonesty within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional immorality within the last five years. The undersigned further certifies that the architect and his consultants have not been found guilty of any professional incompetence within the last five years.

Residence for Lot 10, Block 2,
Filing 2, Berry Creek Ranch Sub.
Eagle County, Colorado

Drawn	5-3-94
Revised	

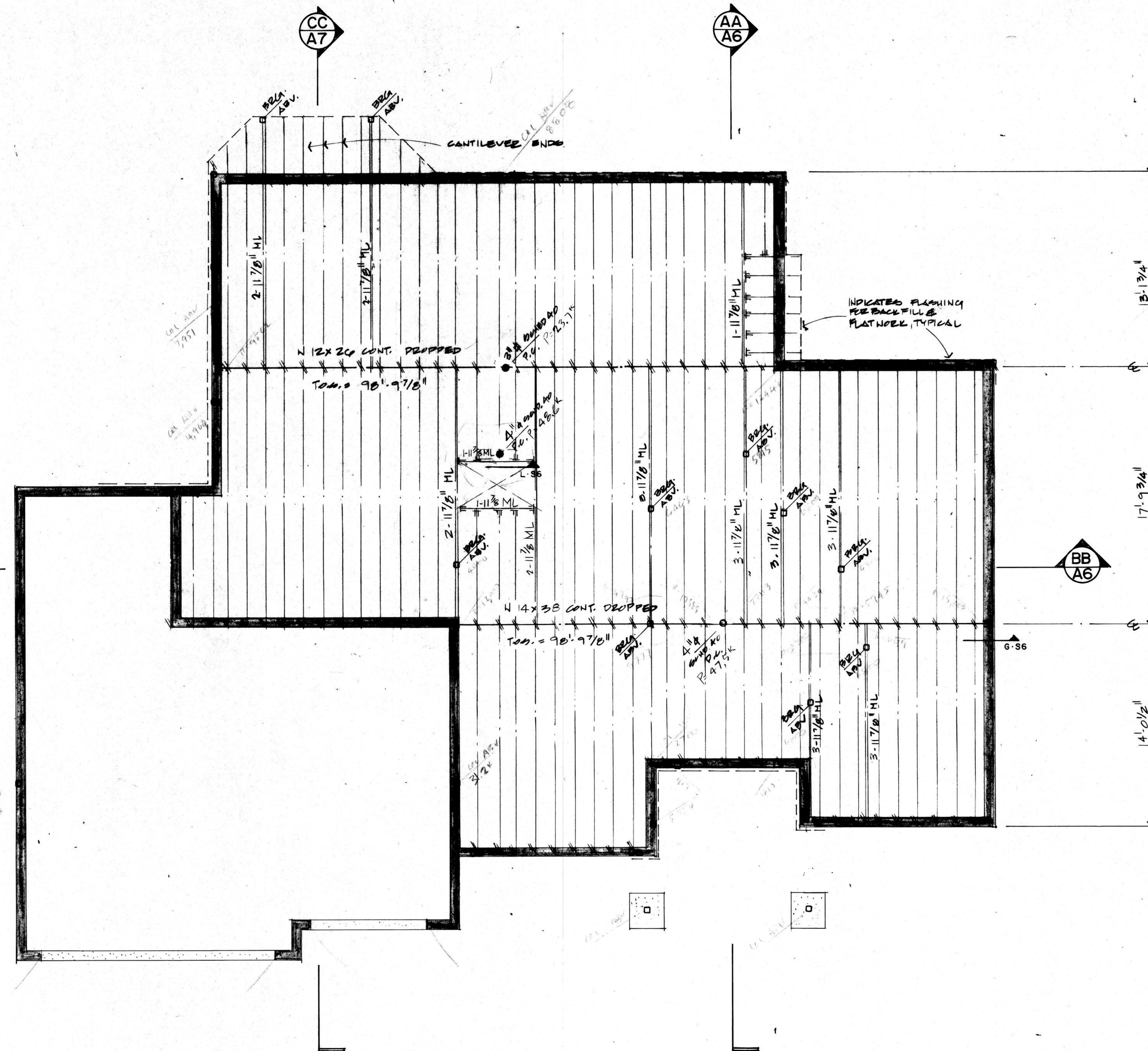
General Notes: Architectural

- 1.) Floor and Roof JOIST SPACING IS NOT TO SCALE. DO NOT use these plans as a means of counting or determining number of joists required. Actual spacing of joists is specified on these plans by the Engineer. Contractor and/or appropriate Subcontractor to determine and be responsible for actual number of joists required.
- 2.) NUMBER, DIRECTION AND LAYOUT OF ALL MECHANICAL DUCTWORK IS SHOWN ON THESE PLANS AS A GENERAL INDICATION ONLY!!!!!! These plans are meant to convey to the Contractor and Mechanical Contractor why and where the architect has allowed for dropped ceilings throughout the project. Actual size, direction and location of ductwork; size, number and location of registers required, to supply the proper amount of HVAC required, is to be determined by the mechanical and/or appropriate consultants. However, NO OTHER DROPPED CEILINGS, OTHER THAN THOSE SHOWN ON THESE PLANS, WILL BE ALLOWED UNLESS APPROVED, PRIOR TO INSTALLATION, BY THE OWNERS OR THE ARCHITECT.
- 3.) All Exterior Columns and/or posts are (2) 2x4 unless noted as other. Place one king stud each side of column wherever possible or applicable.
- 4.) All Interior Columns and/or posts are (2) 2x4 unless noted as other (see plans). Place one king stud each side of specified column wherever possible or applicable.
- 5.) ALL Headers are (2) 2 x 10 doug fir unless noted as other.
- 6.) Engineered Roof Trusses, truss hangers, connections, etc. by registered Colorado Engineer, supplied by truss manufacturer, to meet all applicable codes and requirements that apply. All Engineered Truss heels to match 2 x 10 heel unless noted as other. Overframing to be 2x6 at 24" on center minimum, unless noted as other. All Roof Rafters are 2 x 10 at 24" on center unless noted as other. All ceiling joists to be 2x6 at 16" on center, minimum, unless noted as other. (Contractor to verify number of areas requiring ceiling joists). All roof slopes are 4:12 pitch unless noted as other.
- 7.) Micro Lams are 1 3/4" wide u.s.a.o. Depths are noted on these plans by engineer.
- 8.) All ledgers are 2x10 u.s.a.o. See plans for hanger sizes (unless noted as other)
- 9.) All floor joists are 11 7/8" @ 16" o.c. u.s.a.o. All blocking and Rim joists by engineer.
- 10.) See General Notes for all structure and materials by Structural Engineer. Any discrepancies between Engineering and Architectural notes shall be reported immediately to the Engineer or architect before work begins.

FRAMING PLAN LEGEND

Beam or header.	_____
Standard joist or beam bearing on top of beam, plate or sill.	_____
Flush joist or beam bearing with joist or beam hanger.	_____
Load bearing column to below.	_____
Load bearing column from above.	_____
Shaded areas indicate overframing.	_____
Indicates top of steel beam elevation.	_____
Indicates vaulted ceiling, (arrow points up).	_____

NOTE: All floor joists are 11 7/8" LPI @ 16" o.c. unless noted otherwise.



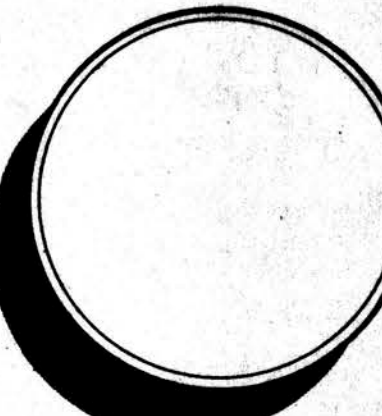
Main Level Floor Framing
SCALE: 1/4" = 1'-0"

MAIN FLR. FRM.
FND. BASE
TITLE SHEET

Tolleson Architects
ARCHITECTURE - ILLUSTRATION
Thomas Tolleson
Cheryl Tolleson
P.O. Box 4076 • Manitou Springs, Colorado 80438
TELEPHONE 303-674-2871

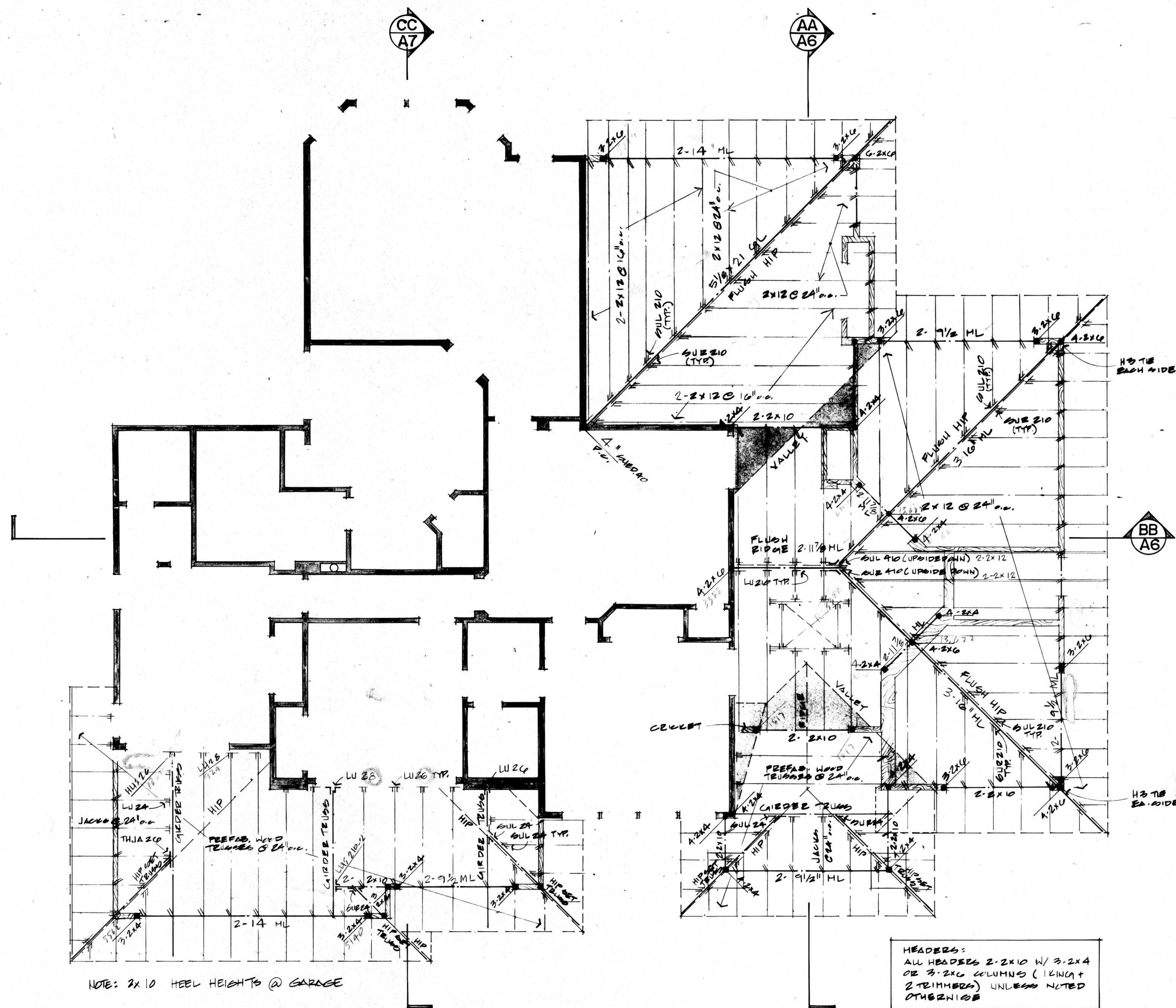
NOTICE OF COOPERATION
The architect and the contractor agree to cooperate in the completion of the project. The architect and the contractor agree to cooperate in the completion of the project. The architect and the contractor agree to cooperate in the completion of the project.

Residence for Lot 10, Block 2,
Filing 2, Berry Creek Ranch Sub,
Eagle County, Colorado



Drawn	5-3-94
Revised	

Sheet **S-2**



Lower Roof Framing
SCALE: 1/4" = 1'-0"

LOWER ROOF FRM.
UPPER LEVEL BASE
TITLE SHEET

Tolleson Architects
ARCHITECTS

Thomas Tolleson
Christi Tolleson
P.O. Box 4076 • Main Street
Evergreen, Colorado 80439
TELEPHONE 303-674-2871

NOTICE OF COOPERATION
The architect and owner agree that the architect's services are limited to the design and construction of the building and shall not be construed as a warranty of the building's performance. The architect shall not be responsible for the building's performance after completion. The architect shall not be responsible for the building's performance after completion. The architect shall not be responsible for the building's performance after completion.

Residence for Lot 10, Block 2,
Filing 2, Berry Creek Ranch Sub.
Eagle County, Colorado



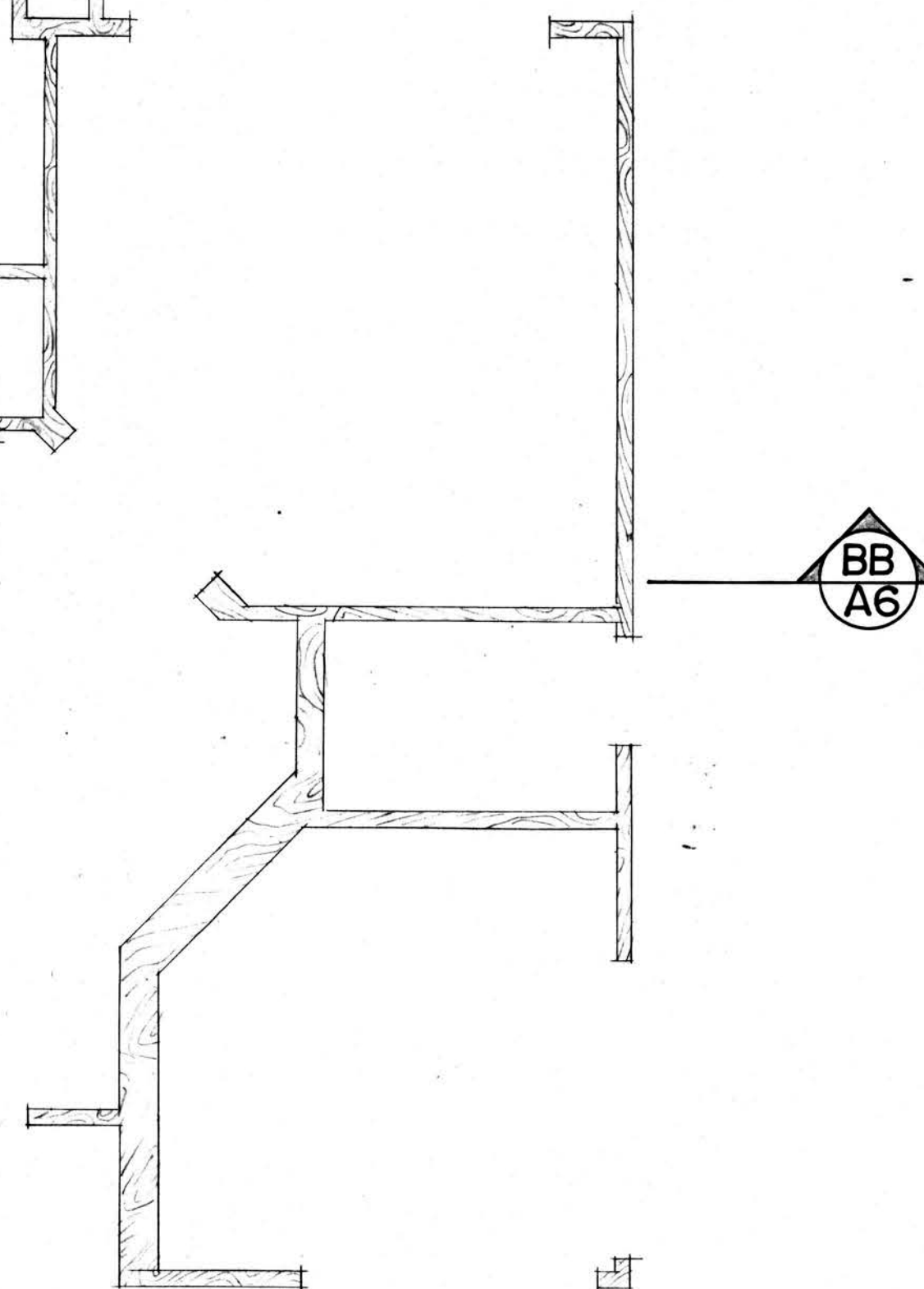
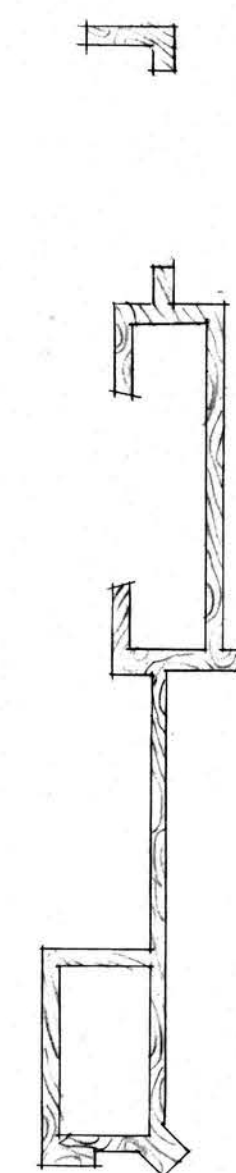
Drawn	5-3-94
Revised	



SCALE: 1 1/2" = 1' - 0"



SCALE: 1" = 1' - 0"

[illegible]

Residence for Lot 10, Block 2,
Filing 2, Berry Creek Ranch Sub.
Eagle County, Colorado

Sheet S.5

Tolleson Architects
ARCHITECTURE • INTERIOR DESIGN

 Thomas Tolleson
Cheryl Tolleson

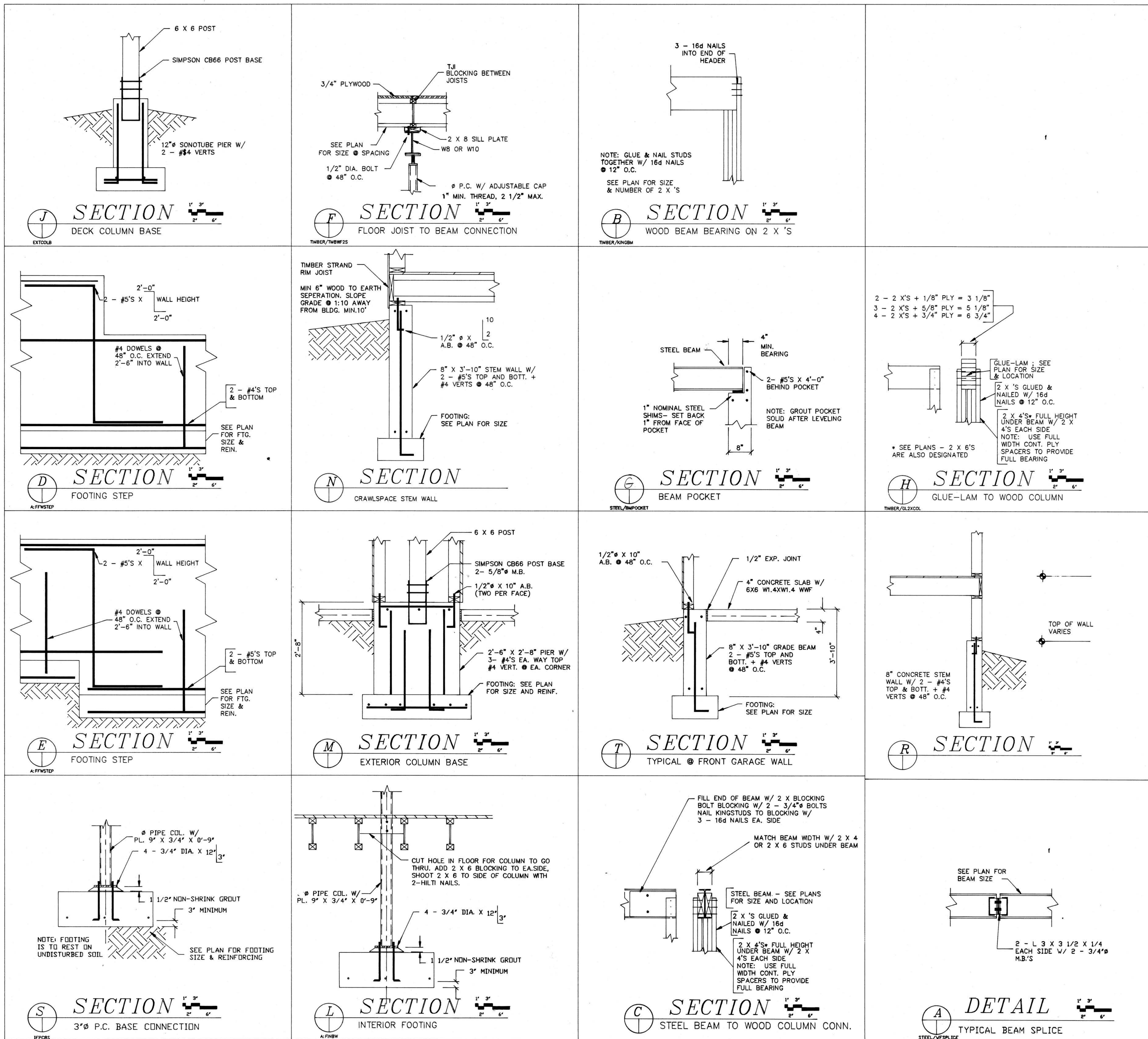
P.O. Box 4076 • Main Street
Evergreen, Colorado 80439

TELEPHONE 303-674-2871

NOTICE DUTY OF COOPERATION

Release of these plans contemplates further cooperation among the owner, the contractor and the architect. Design and construction are interrelated and the architect cannot be held responsible for the contractor's failure to perform his services with due care and diligence. The architect cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of the plans is the contractor's responsibility. The architect reserves the right to notify the architect's compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the contractor will not constitute a release of the architect from the consequences. Changes made from the plans without the consent of the architect are unauthorized and shall release the architect of any responsibility for any consequences arising out of such changes.

UPPER ROOF FRM.
UPPER LEVEL BASE
TITLE SHEET



GENERAL NOTES

- A) DESIGN CRITERIA:
- LIVE LOADS USED:

	ZONE 1
A) EARTHQUAKE	30 PSF
B) WIND	57 PSF
C) ROOF (SNOW)	40 PSF
 - CODE USED IN DESIGN: UNIFORM BUILDING CODE VOLUME 1, 1991 EDITION
 - FOUNDATION BEARING PRESSURE: 1,500 PSF
- B) CONCRETE:
- ALL CONCRETE SHALL BE MADE WITH SAND AND GRAVEL AGGREGATE AND SHALL ATTAIN A 28 DAY UNCONFINED COMPRESSIVE STRENGTH OF 3000 P.S.I. (MINIMUM).
 - CONCRETE DESIGN IS IN ACCORDANCE WITH ACI BUILDING CODE ACI-318-83. CONCRETE SHALL MEET ALL REQUIREMENTS OF ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - REINFORCEMENT SHALL BE ASTM A615, GRADE 60, DETAILED AND SUPPORTED IN ACCORDANCE WITH LATEST ACI DETAILING MANUAL, ROLLED-IN IDENTIFICATION MARKINGS ON REINFORCEMENT TO BE TO BE CLEARLY VISIBLE.
 - SPLICES IN GRADE BEAMS:
 - TOP REINFORCEMENT NEAR CENTER OF SPANS
 - HORIZONTAL GRADE BEAM AND WALL REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS. MINIMUM LAP FOR SPLICES 24" OR 36 DIAMETER. PROVIDE SUFFICIENT TIE BARS TO SUPPORT ALL REINFORCEMENT.
 - CLEARANCES FOR REINFORCEMENT:

	3"
A) SLABS ON EARTH FOOTINGS	2"
B) GRADE BEAMS; BOTTOM	1 1/2"
C) GRADE BEAMS; TOP AND SIDES	1 1/2"
D) WALLS, COLUMNS, BEAMS; O.F.	1"
E) WALLS, I.F.	1"
 - NO BACKFILL SHALL BE PLACED AGAINST BASEMENT WALLS, UNLESS FLOORS ARE IN PLACE OR BRACING IS USED. BACKFILLING ADJACENT TO FOUNDATION WALLS SHOULD BE MOISTENED, NOT PUDDLED, TO INSURE MAXIMUM COMPACTION. INSURE PERMANENCY OF 4" VOID UNDER GRADE BEAMS BY PLACING #30 FELT AT EACH SIDE OF VOID BEFORE BACKFILLING.
 - FOR ALL OPENINGS IN CONCRETE WALLS PROVIDE TWO #5 BARS AROUND ALL OPENINGS. EXTEND 2'-0" BEYOND OPENING.
 - WIRE MESH REINFORCEMENT MUST LAP ONE FULL WIRE SPACE AT SIDE AND END LAPS AND MUST BE WIRED TOGETHER.
 - FORMED CONTROL JOINTS AND SAWED JOINTS IN SLAB ON GRADE TO BE AS SHOWN ON THE PLANS.
- C) STRUCTURAL STEEL:
- ALL STRUCTURAL STEEL SHALL BE ASTM A36, FABRICATED AND ERECTED IN CONFORMANCE WITH LATEST AISC SPECIFICATIONS. CONNECTIONS SHALL BE 3/4" DIAMETER H.B. A307 UNLESS NOTED OTHERWISE. PIPE COLUMNS TO BE A53-GR40.
 - STRUCTURAL STEEL SHALL RECEIVE ONE SHOP COAT OF IRON OXIDE PRIMER. STEEL EXPOSED TO EARTH SHALL RECEIVE AN ADDITIONAL TWO COATS OF COAL TAR PAINT.
 - ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES.
- D) WOOD:
- DESIGN AND FABRICATION SHALL CONFORM TO NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS, LATEST EDITION, AND A.I.T.C. DESIGN SPECIFICATIONS.
 - DIMENSION LUMBER: FLOOR JOISTS AND ROOF RAFTERS SHALL BE DOUGLAS FIR/LARCH, GRADE 2 OR BETTER. WALL STUDS AND PLATES SHALL BE HEM FIR GRADE 2 OR BETTER. GLUE-LAMINATED BEAMS SHALL BE GRADE 24F.
 - WOOD DECK: FLOOR DECK SHALL BE 3/4" T&G U.S.C. DESIGNATION 48/24. ROOF DECK SHALL BE 1/2" U.S.C. DESIGNATION 32/16.
 - WALLING OF WOOD STRUCTURE: UBC TABLE 25Q EXCEPT AS INDICATED ON THE DRAWINGS.
 - ROOF TRUSSES SHALL BE DESIGNED BY A COLORADO REGISTERED ENGINEER. SUBMIT 4 SETS OF SHOP DRAWINGS AND CALCULATIONS. JOIST GIRDERS SHALL HAVE A VERTICAL MEMBER WHERE EACH ROOF TRUSS FRAMES INTO JOIST GIRDER.
 - CONNECTIONS SHALL BE AS SUPPLIED BY SIMPSON STRONG TIE OR APPROVED EQUAL. ALL ROOF RAFTERS, BEAMS AND TRUSSES SHALL BE ANCHORED TO WALLS WITH HURRICANE TIES.
- E) GENERAL:
- GRADING AROUND BUILDING SHALL INSURE POSITIVE DRAINAGE AWAY FROM BUILDING.
 - USE STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF WALLS, PARTITIONS, OPENINGS, AND OTHER FEATURES.
 - ALL DESIGN AND CONSTRUCTION DETAILS SHALL CONFORM WITH THE PROVISIONS OF THE SOIL REPORT.
 - ALL HOLES REQUIRED FOR PLUMBING OR HEATING SHALL BE MADE IN ACCORDANCE WITH U.S.C. REQUIREMENTS.
 - IF THE STRUCTURAL ENGINEER, AS A CLAIMANT OR A DEFENDING PARTY, IS AT ANY TIME A PARTY TO LITIGATION INVOLVING ANY CLAIM RELATED TO THE WORK DESCRIBED ON THESE DRAWINGS, AND SHOULD CLAIMANT NOT PREVAIL SUBSTANTIALLY AGAINST DEFENDING PARTY IN SUCH LITIGATION, ALL LITIGATION EXPENSES, WITNESS FEES, COURT COSTS, AND ATTORNEY'S FEES INCURRED BY THE DEFENDING PARTY IN DEFENDING SUCH CLAIM, SHALL BE PAID BY THE CLAIMANT.

Residence for
Lot 10, Block 2, Filing 2, Berry Creek Ranch Sub.
Eagle County, Colorado

PENDERGRAST AND ASSOCIATES, INC.
4710 TABLE MESA DR. #A/D10
BOULDER, COLORADO 80303
(303) 441-9101
CONSULTING STRUCTURAL ENGINEERS

DATE: 5-27-94
FILE JOB # 2400
NAME: LOT 10
DRAWN BY: J.E.C.
CHK'D BY: S.D.P.
S-6