

A NEW HOME BY ZERO LATITUDE:

THE WAVERLY

SOUTH HARBOR DRIVE - LOT 5
VERO BEACH, INDIAN RIVER COUNTY, FLORIDA
A MERIDIAN HOMES CONSTRUCTION PROJECT



SHEET INDEX		GENERAL NOTES		APPLICABLE CODES	DESIGN PROFESSIONALS
A1- A2- A3- A4- A5- A6- A7- A8- A9- A10- A11- A12-	COVER SHEET & DATA SITE PLAN PLUMBING/SLAB PLAN DIMENSIONED 1ST FLOOR DETAILED 1ST FLOOR DIMENSIONED 2ND FLOOR DETAILED 2ND FLOOR ROOF PLAN ELEVATIONS SECTIONS ELECTRICAL 1ST FLOOR ELECTRICAL 2ND FLOOR	1. IT IS THE INTENT OF THE DESIGNER/ENGINEER THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.	15. ALL WIND LOAD CALCULATIONS AND DESIGN CRITERIA ARE BASED ON A TYPICAL STRUCTURE. ANY BREACH OR PENETRATION, SUCH AS WINDOWS, DOORS, GARAGE DOORS, ETC., DURING STORM EVENT WILL COMPROMISE STRUCTURAL INTEGRITY.	SINGLE FAMILY RESIDENCE • FLORIDA BUILDING CODE, 7TH EDITION (2020), BUILDING (FBCB) WITH SUPPLEMENTS • FLORIDA BUILDING CODE, 7TH EDITION (2020), PLUMBING (FBCP) • FLORIDA BUILDING CODE, 7TH EDITION (2020), MECHANICAL (FBCM) • NATIONAL ELECTRICAL CODE, 2017 (NEC) • ASCE7-16	RESIDENTIAL DESIGNER: ZERO LATITUDE 210 SOUTH PARK AVE., SANFORD, FL 32771 (239) 662-2210 GENERAL CONTRACTOR: Meridian Homes 1810 Chippewa Trail Maitland, FL 32751 754-4154
S-1 S-2 S-3 S-4 S-5 S-6 S-7	GENERAL STRUCTURAL NOTES STRUCTURAL DETAILS FOUNDATION PLAN LINTEL PLAN LOWER TRUSS FRAMING PLAN UPPER TRUSS FRAMING PLAN STRUCTURAL DETAILS	2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES IN THE DRAWING AND EXISTING CONDITIONS TO THE DESIGNER/ENGINEER PRIOR TO COMMENCING WORK.	16. ALL DOOR AND WINDOW OPENINGS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.		BUILDING DATA - LOT 5 THE WAVERLY FIRST FLOOR1,684 SF SECOND FLOOR2,018 SF TOTAL AC AREA3,702 SF GARAGE499 SF ENTRY PORCH79 SF LANAI416 SF WIDOW-WALK BALCONY325 SF REAR BALCONY203 SF TOTAL OTHER AREAS1,522 SF TOTAL CONSTRUCTION5,224 SF
		3. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD IN THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PROPS AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.	17. ALL SHEAR WALLS MUST TRANSFER LOADS TO FLOOR JOISTS OR FOUNDATION.		
		4. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE DESIGNER/ENGINEER AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE DESIGNER/ENGINEER.	18. DIAPHRAGM SYSTEMS MUST BE ATTACHED TO END WALLS AND/OR SIDE WALLS.		
		5. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONTRAILED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.	19. TRUSSES MUST BE CAPABLE OF TRANSFERRING LATERAL LOADS TO BEARING WALLS.		
		6. SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A 2000 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER/ENGINEER PRIOR TO COMMENCING WORK.	20. TRUSSES, GIRDERS AND BEAM TIE DOWNS ARE SIZED PER LIFT REQUIREMENTS. ANY QUESTION AS TO SIZE, TYPE OR VALUE OF A LIFT, STRAP OR CLIP SHOULD BE VERIFIED BY STRUCTURAL ENGINEER.		
		7. CONTRACTOR WILL INCORPORATE ALL NECESSARY LOCAL/STATE/FEDERAL BUILDING, FIRE AND HANDICAP CODES INTO THE DESIGN AND BASE PROPOSAL FOR A COMPLETE TURN-KEY PROJECT.	21. ALL WINDOWS TO COMPLY WITH THE 2020 FLORIDA BUILDING CODE 130 MPH WIND LOAD REQUIREMENT.		
		8. PROJECT SHALL BE TURNED OVER TO OWNER IN CLEAN CONDITION WITH ALL TRASH AND DEBRIS REMOVED FROM SITE. ALL WINDOWS AND GLASS CLEAN, ALL FLOORS CLEAN, ALL HORIZONTAL SURFACES DUSTED AND CLEANED, AND ALL TOILET AND PLUMBING FIXTURES CLEAN AND IN GOOD WORKING ORDER.	22. SUBCONTRACTORS SHALL VERIFY ALL APPLICABLE DIMENSIONS AND FIXTURE LOCATIONS.		
		9. CONTRACTOR SHALL MAINTAIN ALL RUBBERB FROM SITE ON A REGULAR BASIS. DO NOT ALLOW TO ACCUMULATE.	23. ALL INTERIOR SLABS TO HAVE STEEL TROWEL FINISH. ALL EXTERIOR SLABS TO HAVE MEDIUM BROOM FINISH.		
		10. CONTRACTOR TO OBTAIN ALL PERMITS AND TO PAY ALL FEES AND TAXES.	24. REFER TO TUBESHOWER MANUFACTURER FOR DRAIN LOCATION; PER OWNER'S SELECTION.		
		11. DIMENSIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING CONDITIONS ARE THE BEST AVAILABLE DATA OBTAINABLE, BUT ARE NOT GUARANTEED. BEFORE PROCESSING WITH ANY WORK DEPENDENT UPON THE DATA INVOLVED, THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS. GRADE, LEVEL, LEVELS OR OTHER CONDITIONS OF LIMITATIONS AT THE SITE TO AVOID CONSTRUCTION ERRORS. IF ANY WORK IS PERFORMED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS PRIOR TO ADEQUATE VERIFICATION OF APPLICABLE DATA, ANY RESULTANT EXTRA COST FOR ADJUSTMENT OF WORK AS REQUIRED TO CONFORM TO EXISTING LIMITATIONS, SHALL BE ASSUMED BY THE CONTRACTOR WITHOUT REIMBURSEMENT OR COMPENSATION BY THE OWNER.	25. ALL PLUMBING TO MEET LOCAL PLUMBING CODES.		
		12. A DESIGNATED LOCATION FOR STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL BE DETERMINED BY OWNER AND IDENTIFIED AT THE PRECONSTRUCTION MEETING.	26. PROVIDE STUB-OUT FOR ICE MAKER AT REFRIGERATOR LOCATION.		
		13. CONTRACTOR PERSONNEL ARE CONFINED TO AREAS OF BUILDING NECESSARY FOR COMPLETING THE WORK. FREE ACCESS TO ALL PARTS OF THE BUILDING IS NOT ALLOWED. ALL CONTRACTOR TOOL BOXES, CONTAINER, ETC., ARE SUBJECT TO OWNER'S INSPECTION.	27. REFER TO DOOR & WINDOW SCHEDULE FOR DOOR & WINDOW WEIGHTS.		
		14. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, STORING, SETTING IN PLACE, AND PROTECTING FROM DAMAGE ALL NEW EQUIPMENT FURNISHED BY THE CONTRACTOR. THIS SHALL ALSO APPLY TO ITEMS FURNISHED TO OWNER BY THE CONTRACTOR.	28. WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH FBC WIND LOAD REQUIREMENTS. (WINDOWS MUST MEET R-30)		
			29. USE PREDESIGNED KIT WET WALLS.		
			30. PROVIDE BLOORING AT 30-36" AFF IN BATHROOM WALLS ABOVE WATER CLOSET, TUBSHOWER FAUCETS AND TUB SOAP DISH FOR FUTURE GRAB BARS.		
			31. CONTRACTOR TO PROVIDE SITE ADDRESS PER SECTION R-319 OF 2020 FLORIDA BUILDING CODE RESIDENTIAL.		
			32. FOAM PLASTIC MATERIALS TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL.		
			33. PROTECTION OF WOOD DECAY TO MEET THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL.		
			34. PROVIDE HANDICAP ACCESSIBILITY PER SECTION R-301 OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL.		
			35. THIS STRUCTURE MEETS THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL.		
			36. TERMINATE HEATING AND PROTECTION TO MEET THE REQUIREMENT OF SECTION R-318 OF THE FBC.		
			37. FINISHED FLOOR TO MINIMUM 12" ABOVE OPENING OF ROAD.		
			38. FINISHED FLOOR TO MINIMUM 8" ABOVE GRADE.		

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Revisions	#	Date
STAIR WINDOW CHANGE	1	08/17/23

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WAVERLY SPEC HOME

LOT 5 - SOUTH HARBOR DR., VERO BEACH, FL.
MERIDIAN CUSTOM HOMES

alba
ENGINEERING

C.A. #00556

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meridian

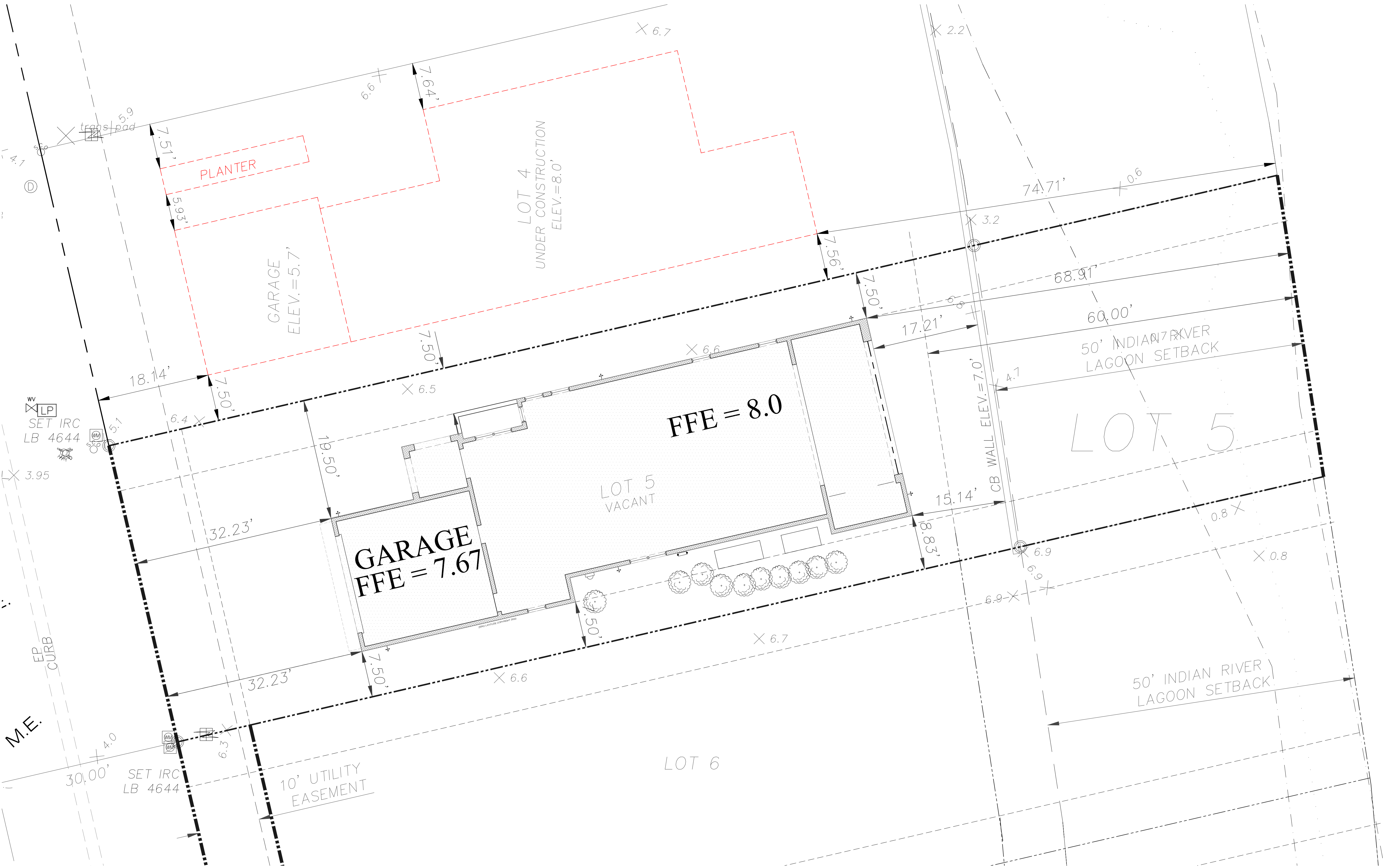
Date	02-20-23
Project #	22-026
Drawn by	FVC
Checked by	JH/DS
Reviewed by Interior Design & Owner	YES

7

ZERO LATITUDE

A1

PERMIT SET
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THIS IS NOT
A SURVEY

THIS IS NOT A SURVEY
SITE PLAN BASED ON
BOUNDARY SURVEY BASED
ON OCCUPATION AND
MONUMENTATION.

Site Plan Notes

This is not a survey. Zero Latitude Inc. assumes no responsibility for its accuracy. The Owner and Contractor are totally responsible for placing the building on the property.

Pool Design and location, if shown, are only suggested.

Landscaping design by others.

Zero Latitude Inc. assumes no responsibility for septic design or location. Septic, if shown, on plan is per builder or owner requirements. Septic systems are to be designed and located per Dept. of Health requirements or as per governing codes.

Site Plan
1/8"=1'-0"

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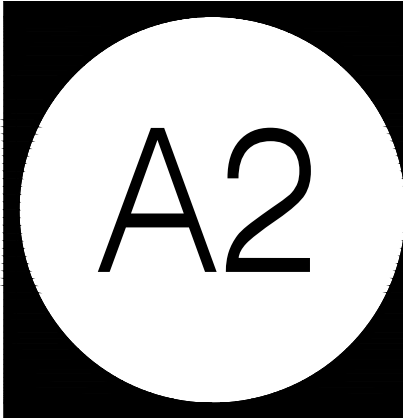
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TERMITE NOTES:

R-318 TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITICIDE). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTION TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

USE REGISTERED TERMITICIDES OR OTHER APPROVED METHODS.

SOIL TREATMENTS FOR SUBTERRANEAN TERMITES.

PROTECTION TO BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETE.

DISTURBED SOIL TREATMENT MUST BE RETREATED.

TREATMENT SHALL BE PROTECTED FROM RAINFALL BY 6 MIL VAPOR BARRIER. IF RAINFALL OCCURS BEFORE BARRIER PLACEMENT, SOIL MUST BE RETREATED.

TREATMENT AROUND EXTERIOR OF FOUNDATION SHALL BE DONE AFTER REMOVAL OF CONCRETE OVER POURS OR ACCUMULATED MORTAR.

TREATMENT APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT OF PRIMARY STRUCTURE SIDEWALLS. VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION COMPLETION (INCLUDING LANDSCAPING AND IRRIGATION/SPRINKLER INSTALLATION.)

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PER RULES AND LAWS ESTABLISHED FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-SLAB GRADE FLOORS SHALL NOT BE CELLULOSE-CONTAINING MATERIALS AND RECEIVE AN APPLICATION OF TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.

PLUMBING NOTES

1. REFER TO PLANS FOR SCHEDULES OF EQUIPMENT AND FIXTURES. AMERICAN STANDARD, KOHLER AND CRANE ARE CONSIDERED ACCEPTABLE AS EQUALS.

2. MAINTAIN A MINIMUM CLEARANCE OF 6" BETWEEN PLUMBING PIPING AND EQUIPMENT AND ALL FIRE/SMOKE RATED WALLS.

3. INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. INSTALL UNITS LEVEL AND PLUMB, FIRMLY ANCHORED IN LOCATIONS INDICATED. MAINTAIN MANUFACTURER'S CLEARANCES. SUPPORT ALL EQUIPMENT AS REQUIRED TO PROVIDE A RIGID, VIBRATION FREE INSTALLATION.

4. POTABLE WATER PIPING SHALL BE AS FOLLOWS:
A. BELOW GRADE: TYPE 'K', ANNEALED TYPE TEMPERED COPPER TUBE FOR PIPE SIZES 2 INCHES AND SMALLER, BRAZE ALL JOINTS.
B. ALL OTHER: TYPE 'L' DRAWN COPPER TUBE WITH WROUGHT COPPER FITTINGS AND 95-5 TIN-ANTIMONY SOLDER.

5. PIPING OF DISSIMILAR METALS SHALL BE DI-ELECTRICALLY SEPARATED.

6. FIELD VERIFY EXACT CONNECTION POINTS PRIOR TO SUBMITTING BID AND NOTIFY ENGINEER IF CONDITIONS ARE NOT AS SHOWN ON THE PLANS OR AS STATED IN THE SPECIFICATIONS. CONTRACTOR SHALL VERIFY THE OPERABILITY OF ENTIRE SYSTEM PRIOR TO TIE-IN AS FOLLOWS:
A. SNAKE SANITARY FOR A DISTANCE OF 100 FEET AND REPORT ANY BLOCKAGE.
B. TEST WATER PRESSURE TO INSURE MINIMUM PSI MATCHES MOST DEMANDING EQUIPMENT SUPPLIED.

7. INSULATE ALL HOT AND COLD WATER PIPING WITH 1" THICK (K=0.23 @ 75°F) FIBERGLASS PIPE INSULATION WITH AN ALL SERVICE JACKET TO MEET LOCAL CODES AND UL FLAME SPREAD AND SMOKE DEVELOPED RATING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

8. INSULATE THE TRAP, SANITARY AND SUPPLY PIPES UNDER LAVATORIES WITH TRUEBRO MODEL 102W "HANDI LAV GUARD" INSULATION KIT OR EQUAL.

9. INSTALL ALL NECESSARY PIPE HANGERS, SADDLES, AND CARRIERS TO PROPERLY SUPPORT ALL PIPING AND FIXTURES. HANGERS SHALL SUIT TYPE OF PIPING PROVIDED AND BE SPACED AT A MAXIMUM SPAN OF 5 FEET.

10. STERILIZE WATER SYSTEM IN ACCORDANCE WITH LOCAL CODES.

11. TEST ENTIRE PLUMBING SYSTEM IN ACCORDANCE WITH 2020 FLORIDA PLUMBING CODE.

12. PROVIDE WATER METER AND REMOTE READER PER LOCAL UTILITIES REQUIREMENT, IF APPLICABLE.

13. CONDENSATE DRAIN: PROVIDE POLYVINYL CHLORINE (PVC) SCHEDULE 40 PLASTIC PIPE (TYPE DWV) IN CONFORMANCE WITH STANDARD ASTM D2665.

14. VALVES: PROVIDE BALL VALVE NIBCO SERIES 585-70 FOR SHUT-OFF

15. PROVIDE ACCESS PANELS WHERE REQUIRED FOR OPERATION, MAINTENANCE AND BALANCING OR PLUMBING EQUIPMENT.

16. PROVIDE WATER HAMMER ARRESTORS AT EACH BRANCH LINE

GAS LINES

1. FURNISH AND INSTALL A COMPLETE GAS PIPING SYSTEM.

2. GAS LINES SHALL BE BLACK STEEL, SCHEDULE 40, ASTM A-53, WITH MALLEABLE THREADED FITTINGS FOR 2" AND SMALLER, AND WITH WELDED JOINTS FOR 2-1/2" AND LARGER.

3. FURNISH AND INSTALL A GAS COCK, DIRT LEG, AND UNION CONNECTION AT EACH PIECE OF EQUIPMENT.

4. PITCH PIPING AT A UNIFORM GRADE OF 1/4" IN 15 FEET UPWARD IN DIRECTION OF FLOW. SUPPORT PIPING EVERY 5 FEET, AS DETAILED ON DRAWINGS, OR BY STANDARD INDUSTRY PRACTICE, WHICHEVER IS MORE STRINGENT.

5. GAS PIPING EXPOSED ON ROOF SHALL BE PAINTED WITH RUST-INHIBITING PAINT.

6. GAS PIPING INSTALLED IN RETURN AIR PLENUMS SHALL BE SLEEVED AND VENTED OR WELDED IN ACCORDANCE WITH THE LOCAL GAS COMPANY, LOCAL CODE AND APPLICABLE NFPA 54 CODES.

7. TESTING AND PURGING OF GAS PIPING SHALL BE DONE PER THE REQUIREMENTS OF THE LOCAL GAS COMPANY, LOCAL CODES AND APPLICABLE NFPA CODES.

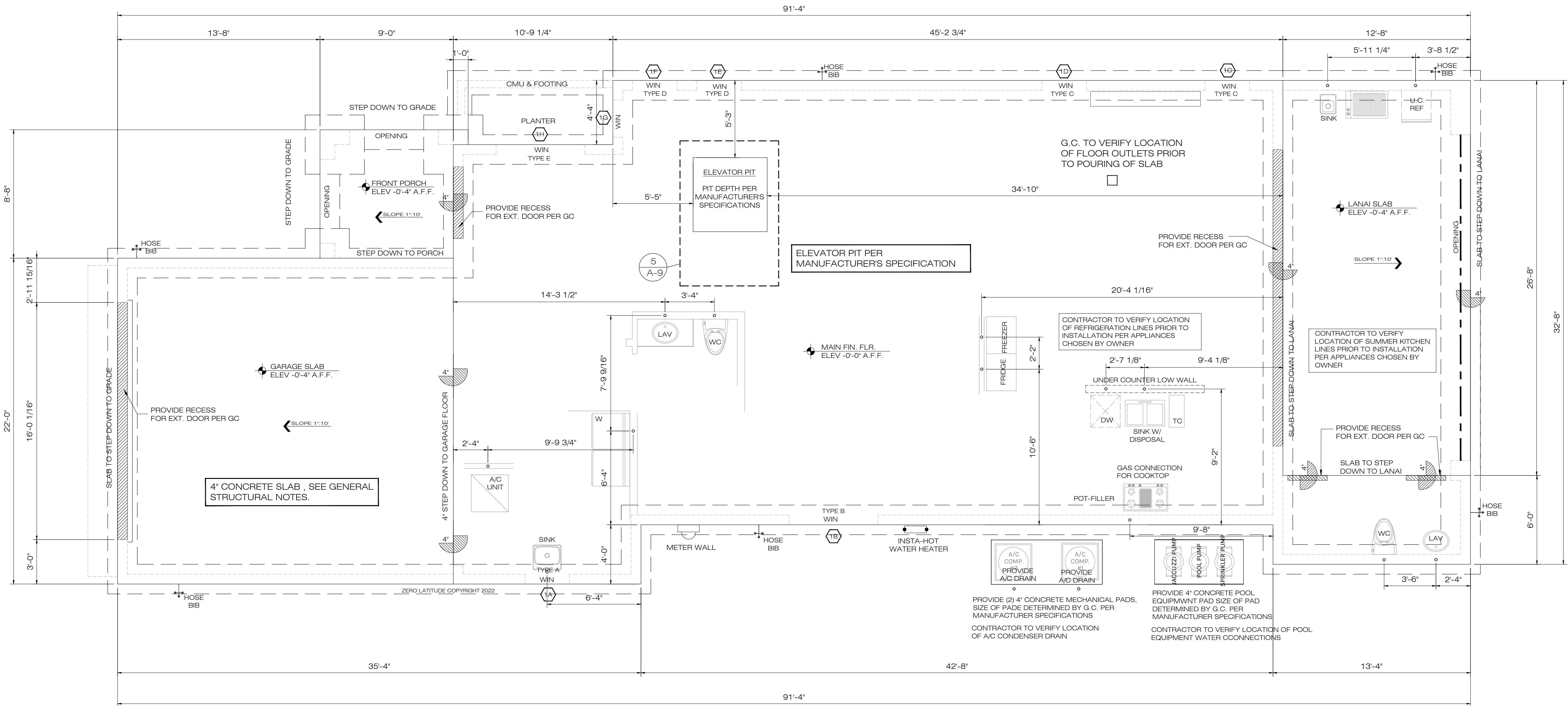
8. CONTACT AND COORDINATE GAS SERVICE, METER AND REGULATOR REQUIREMENTS WITH THE LOCAL GAS COMPANY PRIOR TO BID. INCLUDE INSTALLATION COST OF GAS METER AND REGULATOR IN BID.

GAS WATER HEATER

CLEARANCES REQUIRED:

1. GREATER THAN 4'-0" FROM AN OPENING, OPERABLE WINDOW, DOOR AND FRESH AIR OPENING OR ADJACENT WALL.

2. 5'-0" FROM A NATURAL GAS METER OR REGULATOR.



1 SLAB-PLUMBING PLAN
A3 SCALE: 1/4" = 1'-0"

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meridian

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Reviewed by Interior Design & Owner	YES

ZERO LATITUDE

A3

EGRESS WINDOWS

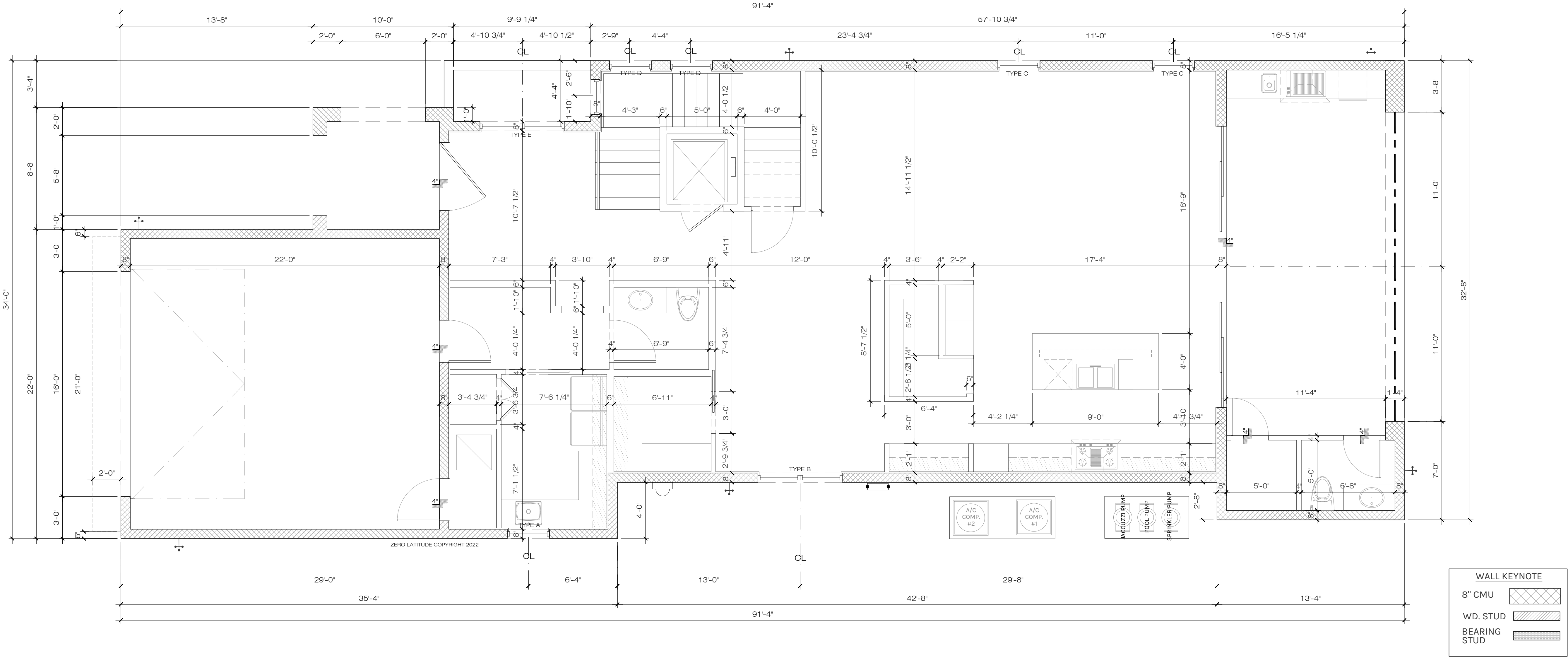
MEAN OF ESCAPE NOTE (EGRESS):

ALL EGRESS WINDOWS TO COMPLY W/F.B.C. R 310.1. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SF IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OF THE FLOOR, THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE ENSURING AN EMERGENCY WHEN LOCKED.

FLOOR PLAN NOTES

- DOOR BETWEEN GARAGE AND LIVING AREA OF HOUSE TO BE MINIMUM 20 MINUTE SOLID CORE DOOR WITH SELF CLOSING MECHANISM.
- WALL BETWEEN GARAGE AND LIVING AREA OF HOUSE TO HAVE 1/2" FINISHED DRYWALL MINIMUM IF WALL IS NOT SOLID BLOCK.
- GARAGE CEILING TO BE 1/2" FINISHED DRYWALL MINIMUM AND 5/8" TYPE X DRYWALL IF THERE IS LIVING SPACE ABOVE THE GARAGE.
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" INCH GYPSUM BOARD. (FBCR-R302.7)
- ATTIC ACCESS, MINIMUM 30"x22" OPENING. PROVIDE (1) OUTLET, SWITCH AND LIGHT IN ATTIC AT PULL-DOWN STAIRS.
- PULL DOWN ATTIC ACCESS LADDER, MINIMUM 54"x22" OPENING.
- AT SECOND FLOOR BALCONIES: FLOORING TO BE TILES OVER PLI-DEK WATERPROOF SYSTEM. CONTRACTOR OPTION WITH OWNER APPROVAL TO USE DUROCK OVER 60 MIL WATERPROOF MEMBRANE OVER 30# FELT OVER 3/4" PLYWOOD W/ FLASHING (TYP.)
- CONTRACTOR AND/OR STAIR MANUFACTURER TO VERIFY ALL STAIR HEIGHTS, RISER HEIGHTS AND TREAD DEPTHS TO ENSURE THE CORRECT DIMENSIONS WERE PROVIDED.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES PRIOR TO ORDERING TO ENSURE ELEVATIONS PORTRAY THE CORRECT WINDOW AND DOOR HEIGHTS.
- ALL RAILINGS ABOVE 24" A.F.F. SHALL BE 42 INCH HIGH GUARDRAILS UNLESS OTHERWISE SPECIFIED.
- ALL SHOWERS TO BE 4 INCH RECESSED, WHERE APPLICABLE, IN FIRST FLOOR SLAB AND IN TRUSSES AT ALL OTHER FLOORS.
- ALL TRAY CEILINGS TO BE 8 INCHES DEEP UNLESS OTHERWISE NOTED ON DRAWINGS.



1 DIM 1ST FLOOR PLAN
A4 SCALE: 1/4" = 1'-0"

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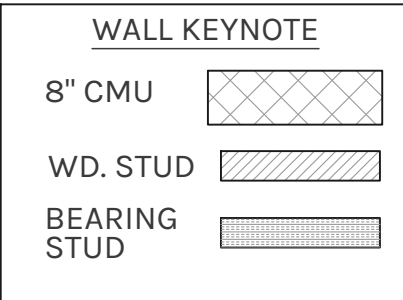


A triangle with the number 1 inside it.



1. FOR EXACT SILL HEIGHT ABOVE FINISHED FLOOR (A.F.F.), SEE ELEVATIONS. FLOOR PLANS ONLY SHOW ALPHABETICAL NOTATION. SEE WINDOW SCHEDULE FOR FULL WINDOW INFORMATION.
2. ALL WINDOWS THAT HAVE A SILL LOWER THAN 24 INCHES A.F.F. WILL HAVE TEMPERED GLASS
3. ALL WINDOWS/GLASS SHALL MEET OR EXCEED THE FLORIDA BUILDING CODE (MIAMI-DADE COUNTY) AND LOCAL ORDINANCES FOR HURRICANE REQUIREMENTS.

DOOR ELEVATIONS



FLOOR PLAN NOTES

1. DOOR BETWEEN GARAGE AND LIVING AREA OF HOUSE TO BE MINIMUM 20 MINUTE SOLID CORE DOOR WITH SELF CLOSING MECHANISM.
2. WALL BETWEEN GARAGE AND LIVING AREA OF HOUSE TO HAVE 1/2" FINISHED DRYWALL MINIMUM IF WALL IS NOT SOLID BLOCK.
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7. AT SECOND FLOOR BALCONIES: FLOORING TO BE TILES OVER PLI-DEK WATERPROOF SYSTEM. CONTRACTOR OPTION WITH OWNER APPROVAL TO USE DUROCK OVER 60 MIL. WATERPROOF MEMBRANE OVER 30# FELT OVER 3/4" PLYWOOD W/ FLASHING (TYP.)
8. CONTRACTOR AND/OR STAIR MANUFACTURER TO VERIFY ALL STAIR HEIGHTS, RISER HEIGHTS AND TREAD DEPTHS TO ENSURE THE CORRECT DIMENSIONS WERE PROVIDED.
9. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES PRIOR TO ORDERING TO ENSURE ELEVATIONS PORTRAY THE CORRECT WINDOW AND DOOR HEIGHTS.
10. ALL RAILINGS ABOVE 24" A.F.F. SHALL BE 42 INCH HIGH GUARDRAILS UNLESS OTHERWISE SPECIFIED.
11. ALL SHOWERS TO BE 4 INCH RECESSED, WHERE APPLICABLE, IN FIRST FLOOR SLAB AND IN TRUSSES AT ALL OTHER FLOORS.
12. ALL TRAY CEILINGS TO BE 8 INCHES DEEP UNLESS OTHERWISE NOTED ON DRAWINGS.

MEAN OF ESCAPE NOTE (EGRESS):

ALL EGRESS WINDOWS TO COMPLY W/F B.C. R 310.1. AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SF IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OF THE FLOOR, THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET, EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE ENSURING AN EMERGENCY WHEN LOCKED

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Revisions	#	Date
STAIR WINDOW CHANGE	1	08/17/23

A NEW HOME BY ZERO LATITUDE HOMES
WAVERLY SPEC HOME
 LOT 5 - SOUTH HARBOR DR., VERO BEACH,
 FLORIDA 33570
 MERIDIAN CUSTOM HOMES

alpa
ENGINEERING

DANIEL SOUTER, P.E.
P.E.# 63901
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meridian

Date	02-20-23
Project #	22-026
Drawn by	FVC
Checked by	JH/DS
Reviewed by Interior Design & Owner	YES



A5

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FOR CONSTRUCTION

EGRESS WINDOWS

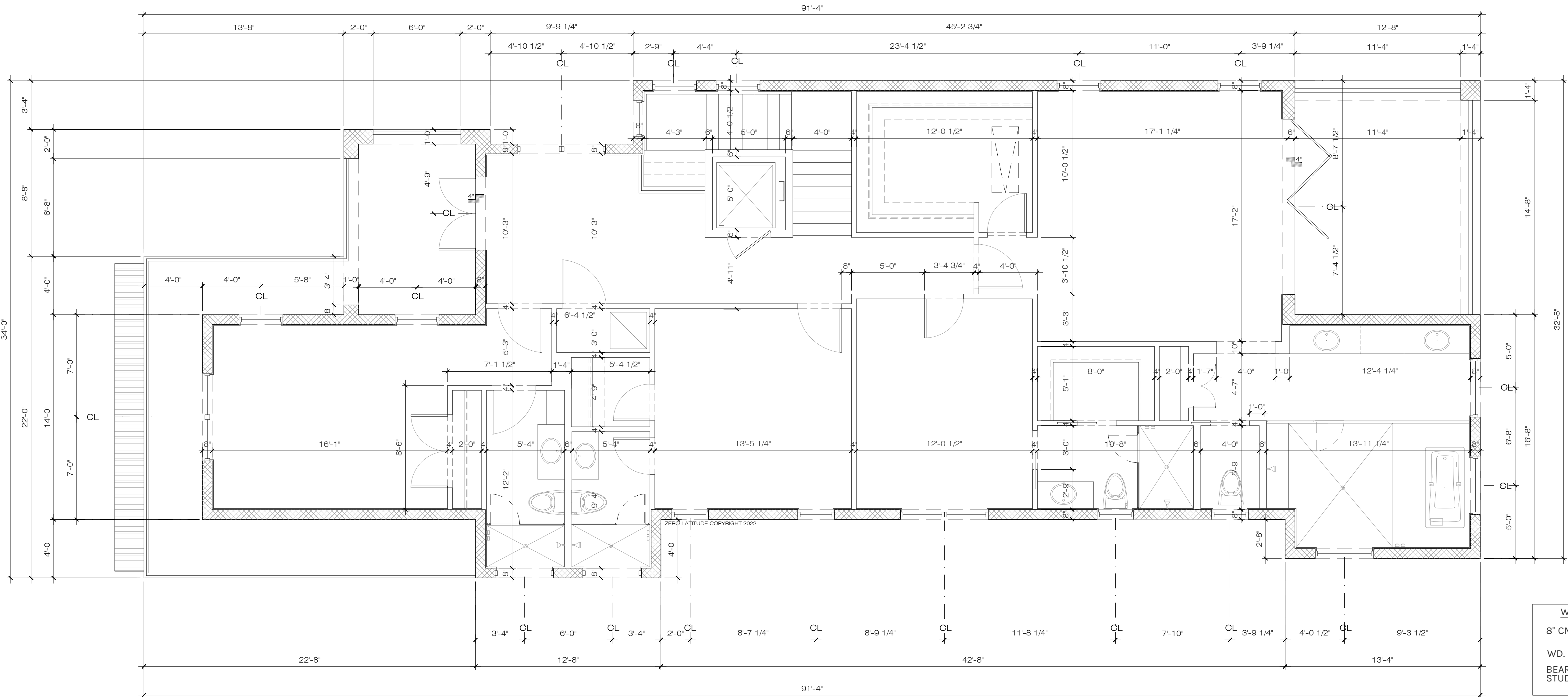
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FLOOR PLAN NOTES

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- WALL BETWEEN GARAGE AND LIVING AREA OF HOUSE TO HAVE 1/2" FINISHED DRYWALL MINIMUM IF WALL IS NOT SOLID BLOCK.
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1 DIM 2ND FLOOR PLAN
A6 SCALE: 1/4" = 1'-0"

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A NEW HOME BY ZERO LATITUDE HOMES
WAVERLY SPEC HOME
LOT 5 - SOUTH HARBOR DR., VERO BEACH, FL.
MERIDIAN CUSTOM HOMES

alba
ENGINEERING
CA #00556

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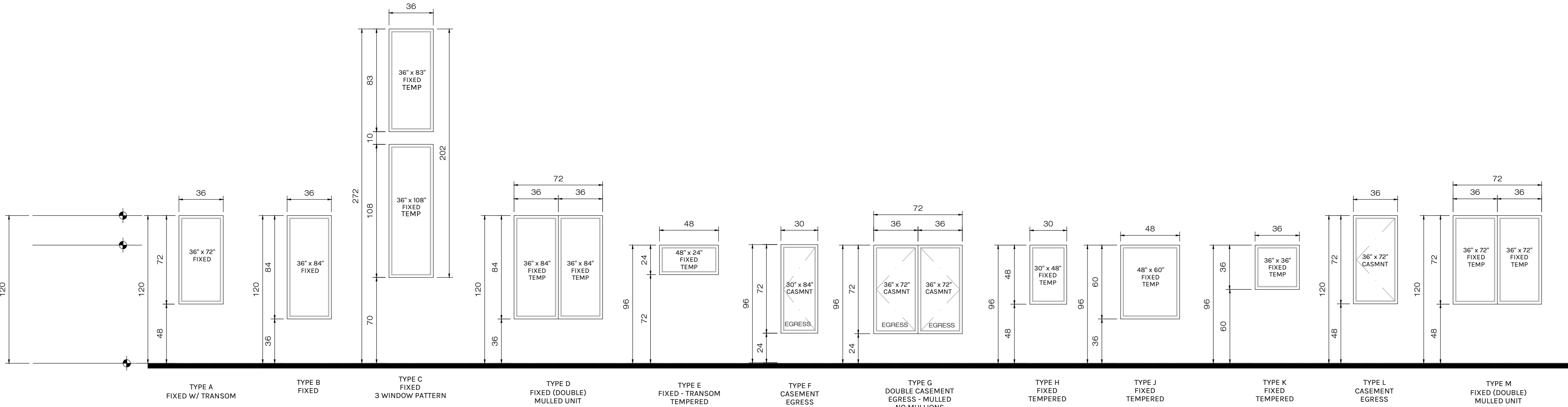


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Reviewed by Interior Design & Owner	YES



A6

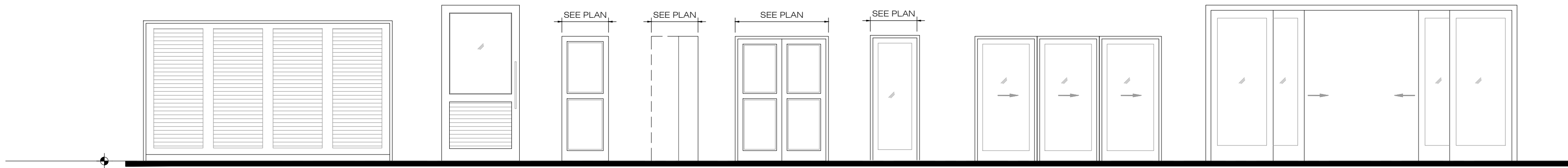
WAVERLY - WINDOW SCHEDULE						
UNIT #.	UNIT SIZE	TYPE	TOP OF WINDOW	LOCATION	EGRESS	REMARKS
SECOND FLOOR						
2A	(2)36" x 72"	M	8'-0" A.F.F.	BEDROOM 4		FIXED - FIXED
2B	48" x 24"	E	8'-0" A.F.F.	BATH 4		FIXED - TEMP
2C	48" x 24"	E	8'-0" A.F.F.	BATH 3		FIXED - TEMP
2D	30" x 72"	F	8'-0" A.F.F.	BEDROOM 3	YES	CASEMENT
2E	30" x 72"	F	8'-0" A.F.F.	BEDROOM 3	YES	CASEMENT
2F	(2)36" x 72"	G	8'-0" A.F.F.	BEDROOM 2	YES	CASEMENT - MULLED UNIT
2G	30" x 48"	H	8'-0" A.F.F.	BATH 2		FIXED - TEMP
2H	30" x 48"	H	8'-0" A.F.F.	MASTER BATH		FIXED - TEMP
2J	48" x 24"	E	8'-0" A.F.F.	MASTER BATH		FIXED - TEMP
2K	48" x 60"	J	8'-0" A.F.F.	MASTER BATH		FIXED - TEMP
2L	48" x 60"	J	8'-0" A.F.F.	MASTER BATH		FIXED - TEMP
2M	36" x 36"	K	8'-0" A.F.F.	MASTER BEDROOM		FIXED
2N	36" x 36"	K	8'-0" A.F.F.	MASTER BEDROOM		FIXED
2P	(2)36" x 72"	M	8'-0" A.F.F.	SMALL LLOUNGE		FIXED - MULLED UNIT
2Q	36" x 72"	L	8'-0" A.F.F.	BEDROOM 4	YES	CASEMENT
2R	36" x 72"	L	8'-0" A.F.F.	BEDROOM 4	YES	CASEMENT



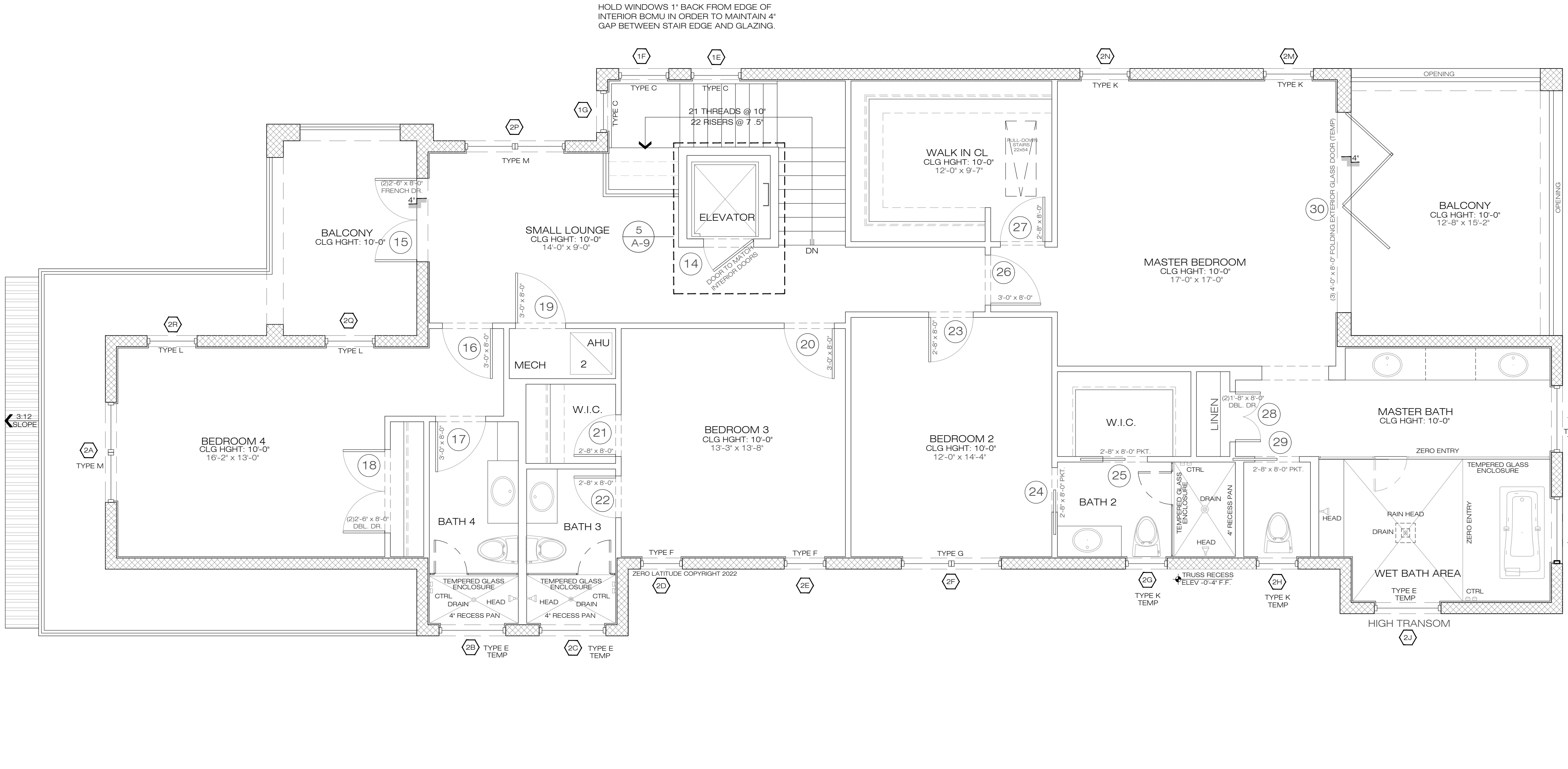
WINDOW ELEVATIONS

- FOR EXACT SILL HEIGHT ABOVE FINISHED FLOOR (A.F.F.), SEE ELEVATIONS. FLOOR FINISH ONLY SHOWN ALPHABETICAL NOTATION. SEE WINDOW SCHEDULE FOR FULL WINDOW INFORMATION.
- ALL WINDOWS THAT HAVE A SILL LOWER THAN 24 INCHES A.F.F. WILL HAVE TEMPERED GLASS.
- ALL WINDOWS/GLASS SHALL MEET OR EXCEED THE FLORIDA BUILDING CODE (DADE COUNTY AND LOCAL ORDINANCES FOR HURRICANE REQUIREMENTS).

WAVERLY - DOOR SCHEDULE							
UNIT #.	WIDTH	HEIGHT	THKS.	MATERIALS	DOOR	LOCATION	NOTES
SECOND FLOOR							
14	3'-0"	8'-0"	1 1/2"	SC	WOOD	C	ELEVATOR
15	(2)2'-6"	8'-0"	1 1/2"	WOOD/GLASS	WOOD	F	SMALL LOUNGE - BALCONY
16	3'-0"	8'-0"	1 1/2"	SC	WOOD	C	BEDROOM 4
17	3'-0"	8'-0"	1 1/2"	SC	WOOD	C	BATH 4 - ENTRY
18	(2)2'-6"	8'-0"	1 1/2"	SC	WOOD	E	BEDROOM 4 - CLOSET
19	3'-0"	8'-0"	1 1/2"	SC	WOOD	C	MECHANICAL
20	3'-0"	8'-0"	1 1/2"	SC	WOOD	C	BEDROOM 3 - ENTRY
21	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	BEDROOM 3 - W.I.C.
22	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	BATH 3 - ENTRY
23	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	BEDROOM 2 - ENTRY
24	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	BATH 2 - ENTRY
25	2'-8"	8'-0"	1 1/2"	SC	WOOD	D	BATH 2 - W.I.C.
26	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	MASTER BEDROOM - ENTRY
27	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	MASTER BEDROOM - W.I.C.
28	2'-8"	8'-0"	1 1/2"	SC	WOOD	C	MASTER BEDROOM - LINEN
29	2'-8"	8'-0"	1 1/2"	SC	WOOD	D	MASTER BATH - ENTRY
30	(4)4'-0"	8'-0"	1 1/2"	ALUMINUM/GLASS	ALUMINIUM	G	GATHERING - BALCONY



DOOR ELEVATIONS



1
A7

DETAIL 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

COMPONENTS AND CLADDING WINDOW AND DOOR WIND PRESSURE SCHEDULE Vasd VALUES (EXP C. 160mph Vult)		
	AREA	PRESSURE (PSF)
1ST STORY	10 S.F.	+33.4, -44.8
	20 S.F.	+31.9, -41.7
	50 S.F.	+30.0, -37.8
	100 S.F.	+28.4, -34.7
2ND STORY	10 S.F.	+35.6, -47.7
	20 S.F.	+34.1, -44.5
	50 S.F.	+32.0, -40.2
	100 S.F.	+30.3, -37.0

FLOOR PLAN NOTES

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Revisions	#	Date
STAIR WINDOW CHANGE	1	08/17/23

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WAVERLY SPEC HOME
LOT 5 - SOUTH HARBOR DR., VERO BEACH, FL.
MERIDIAN CUSTOM HOMES

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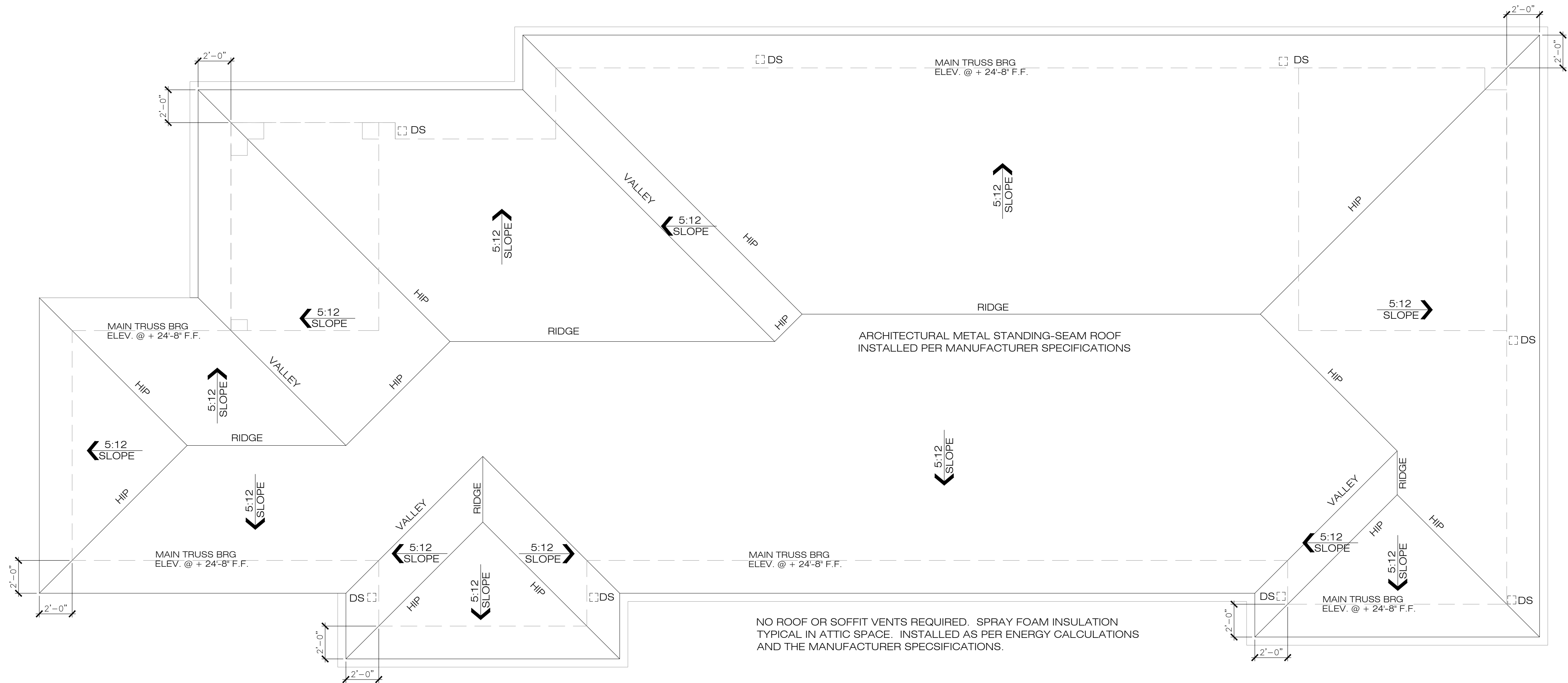
meridian

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Drawn by	FVC
Checked by	JH/DS
Reviewed by Interior Design & Owner	YES 07

ZERO LATITUDE

A7

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1 ROOF PLAN
A8 SCALE: 1/4" = 1'-0"

ROOF NOTES

GENERAL NOTES:

1. COORDINATE ALL ROOF NOTES WITH ELEVATION AND FLOOR PLANS NOTES.
2. REFER TO ROOFING SPECIFICATIONS 202 7TH EDITION FBC CHAPTER 9 - ROOF ASSEMBLIES FOR FURTHER INFORMATION, TYP.
3. REFER TO CIVIL DRAWINGS FOR STORM DRAIN LOCATION. COORDINATE IN FIELD.
4. PROVIDE ROOF CRICKETING AROUND ROOF ACCESSORIES AND PENETRATIONS.
5. GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF DOWNSPOUT AND/OR SCUPPERS IF APPLICABLE TO BUILD.

LOW-SLOPE ROOF DRAINAGE

ALL LOW ROOFS SURROUNDED BY PARAPET WALLS TO HAVE DRAINS PIPED TO EXTERIOR OF RESIDENCE, WITH SEPARATE OVERFLOW DRAINS OR SCUPPERS LOCATED 2' ABOVE PRIMARY DRAIN ELEVATION TO COMPLY WITH FBC-R304 AND FBC-PLUMBING 1105 & 1106

FLASHING NOTE:

FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS, AT ALL CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ALL ROOF OPENINGS PER FBC-R903.

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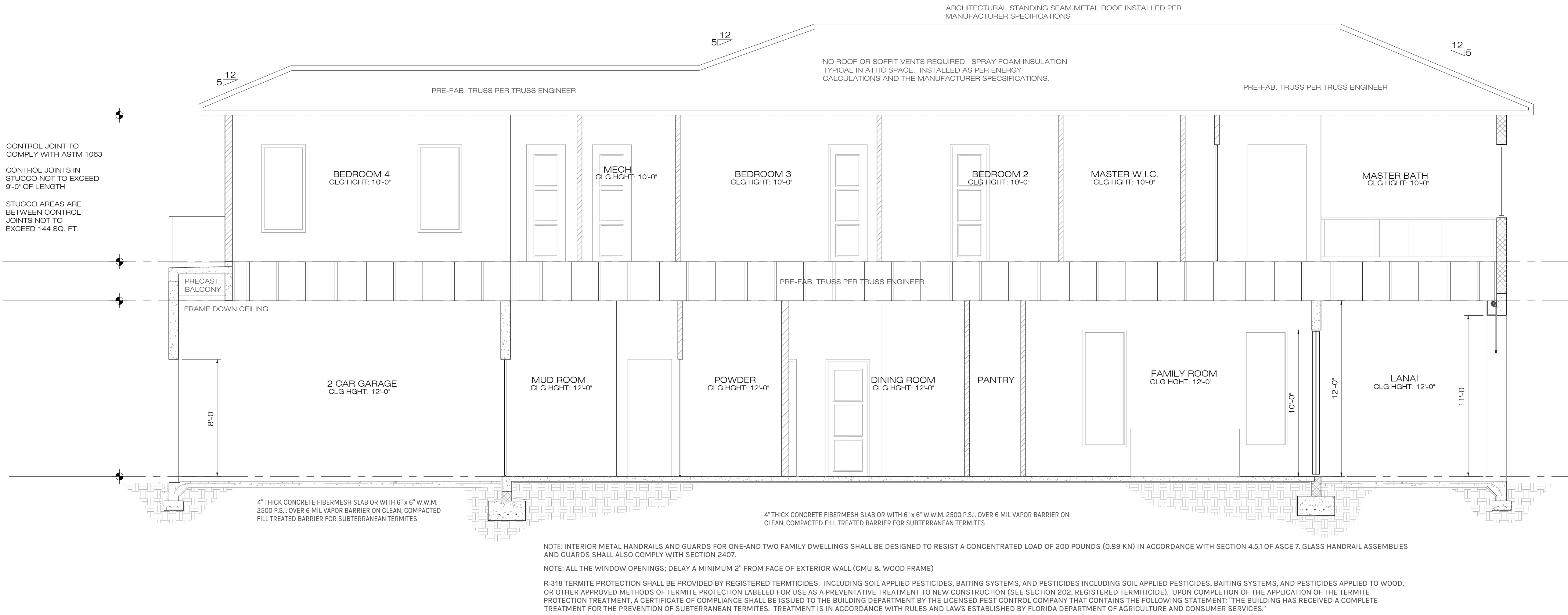


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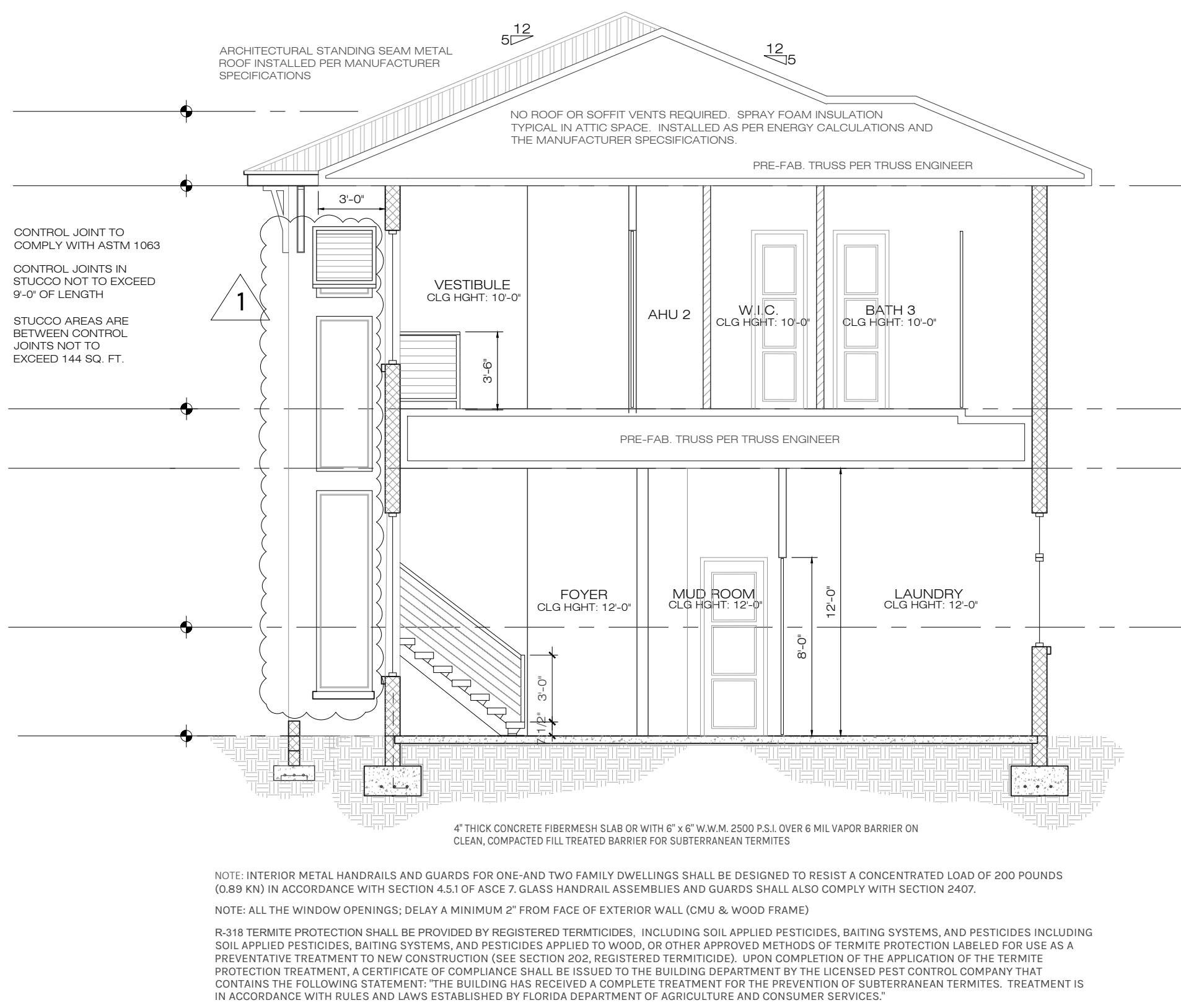


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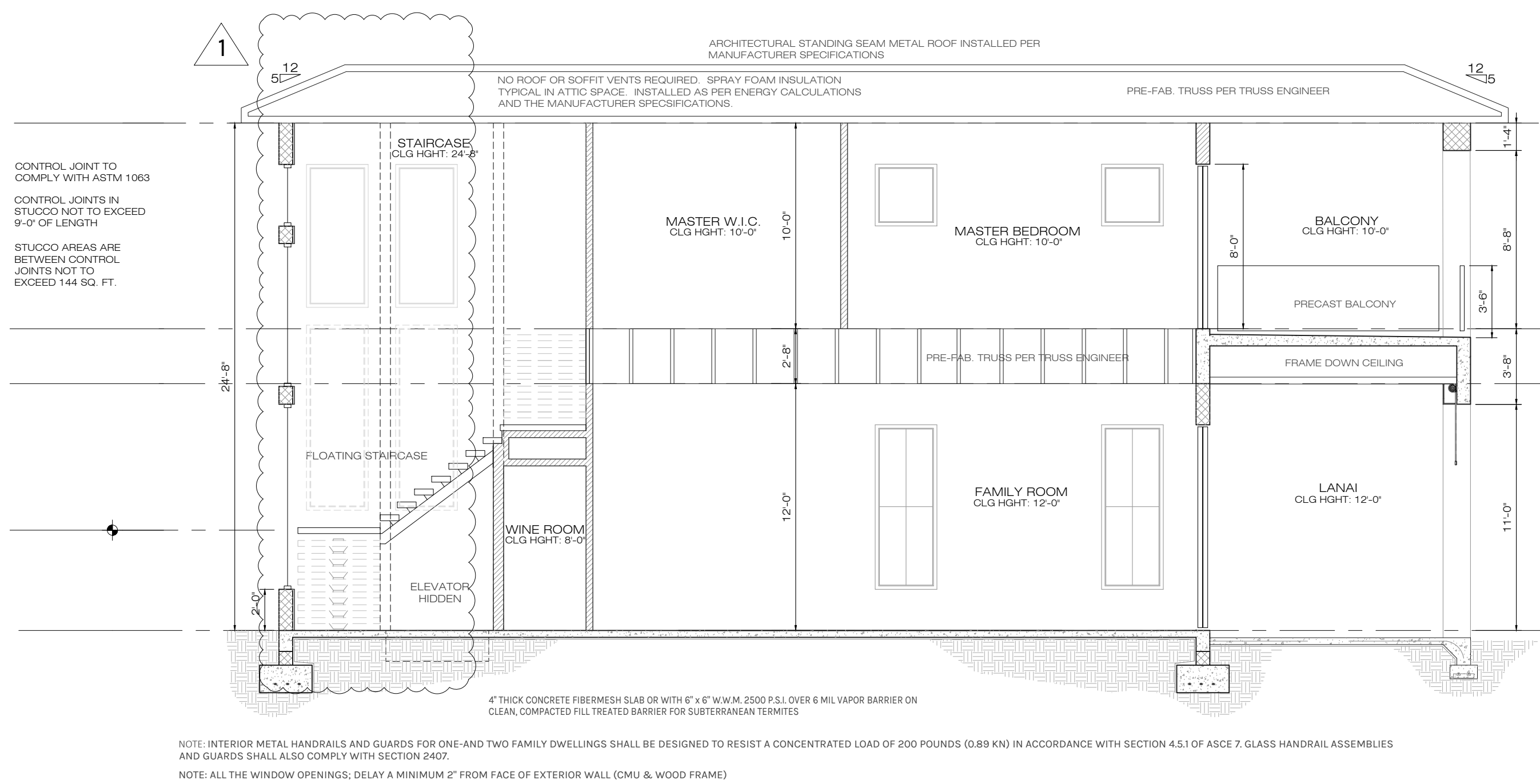
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1 BUILDING ELEVATION
A10 SCALE: 1/4" = 1'-0"



3 BUILDING ELEVATION
A10 SCALE: 3/16" = 1'-0"



2 BUILDING ELEVATION
A10 SCALE: 3/16" = 1'-0"

ELEVATION NOTES

1. TYPICAL 5/8" SMOOTH STUCCO FINISH @ C.M.U. WALL
2. TYPICAL 7/8" SMOOTH STUCCO FINISH @ FRAME WALL
3. ARCHITECTURAL METAL STANDING-SEAM ROOF INSTALLED PER MANUFACTURER SPECIFICATION.
4. NO ROOF VENTS REQUIRED, SPRAY FOAM INSULATION TO BE USED PER ENERGY CALCULATIONS.
5. FRONT ELEVATION WINDOW SILLS TO BE 4" x 6" STUCCO AND/OR WHERE ALSO INDICATED.
6. 6" WOOD SIDING WHERE INDICATED, STYLE AND COLOR PER CONTRACTOR AND OWNER.
7. CONTROL JOINTS ON EXTERIOR STUCCO WALLS OVER WOOD FRAME TO BE INSTALLED PER ASTM 1063

NOTE: CONTRACTOR TO VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND CONTACT DESIGNER/ENGINEER WITH ANY CHANGES OR QUESTIONS.

EGRESS

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STUCCO APPLICATION

- TYPICAL 5/8" SMOOTH STUCCO FINISH @ C.M.U. WALLS
- TYPICAL 7/8" SMOOTH STUCCO FINISH @ FRAME WALLS OVER EXPANDED METAL OR FIBERGLASS LATH, OVER #15 BUILDING PAPER, OVER TYVEK HOMEWRAP (OR EQUAL).

CONTROL JOINTS

- CONTROL JOINTS IN STUCCO SHALL NOT EXCEED 9'-0" IN LENGTH.
- STUCCO AREAS ARE BETWEEN CONTROLS JOINTS SHALL NOT EXCEED 144 SQ. FT.

GUARD RAILS

GUARD RAILS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 24 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT. LARGEST GAPS BETWEEN HANDRAIL MEMBERS, PICKETS AND BASE SHALL NOT EXCEED 4". HANDRAIL/GUARDRAIL LIVE LOADS, GUARDS AND HANDRAILS (HIGHER OF 200LB PT LOAD OR 50PLF). GUARD/PICKET INFILL COMPONENTS, 50PSF OVER A 1 SQ. FT. AREA.

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A10

ELECTRICAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND MANUFACTURER'S SPECIFICATIONS FOR CORRECT INSTALLATION. ELECT
2. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND ACCEPTABLE WORKING INSTALLATION. ALL INSTALLATIONS ARE TO BE CHECKED AS WORKING PRIOR TO OCCUPANCY CERTIFICATION.
3. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND WITH ALL LOCAL ORDINANCES HAVING JURISDICTION, PER 2017 NEC EDITION.
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FIRE-SMOKE ALARM SYSTEM

NFPA 72 29.5.1.3.1

All points on the ceiling shall have a smoke alarm within a distance of 30 ft (9.1 m) travel distance or shall have an equivalent of one smoke alarm per 500 ft2 (46 m2) of floor area.

- 29.5.1.1 - Where required by other governing laws, codes, or standards for a specific type of occupancy, approved single and multiple-station smoke alarms shall be installed as follows:
- (2) In all sleeping rooms and guest rooms
- (2) Outside of each separate dwelling unit sleeping area, within 21 ft. of any door to a sleeping room, with the distance measured along a path of travel
- (3) On every level of a dwelling unit, including basements
- (4) On every level of a residential board and care occupancy (small facility), including basements and excluding crawl spaces and unfinished attics
- (5) In the living area(s) of a guest suite
- (6) In the living area(s) of a residential board and care occupancy (small facility)

29.5.1.2 - Where the area addressed in 29.5.1.1(2) is separated from the adjacent living areas by a door, a smoke alarm shall be installed in the area between the door and the sleeping rooms, and additional alarms shall be installed on the living area side of the door as specified by 29.5.1.1 and 29.5.1.3.

29.5.1.3 - In addition to the requirements of 29.5.1.1(1) through (3), where the interior floor area for a given level of a dwelling unit, excluding garage areas, is greater than 1000 ft2 smoke alarms shall be installed per 29.5.1.3.1 and 29.5.1.3.2.

29.5.1.3.1 - All points on the ceiling shall have a smoke alarm within a distance of 30 ft. travel distance or shall have an equivalent of one smoke alarm per 500 ft2 of floor area. One smoke alarm per 500 ft2 is evaluated by dividing the total interior square footage of floor area per level by 500 ft2

29.5.1.3.2 - Where dwelling units include great rooms or vaulted/cathedral ceilings extending over multiple floors, smoke alarms located on the upper floor that are intended to protect the aforementioned area shall be permitted to be considered as part of the lower floor(s) protection scheme used to meet the requirements of 29.5.1.3.1.

29.5.2.1.1 - Smoke and Heat Alarms. Unless exempted by applicable laws, codes, or standards, smoke or heat alarms used to provide a fire-warning function, and when two or more alarms are installed within a dwelling unit, suite of rooms, or similar area, shall be arranged so that the operation of any smoke or heat alarm causes all alarms within these locations to sound.

NOTE: A SUPERVISED FIRE ALARM SYSTEM IS REQUIRED TO BE INSTALLED PER NFPA 72.29.8.2 - A SEPARATE FIRE ALARM PERMIT IS REQUIRED. THE SYSTEM DESIGN, PERMIT APPLICATION AND INSTALLATION IS THE RESPONSIBILITY OF THE FIRE ALARM SYSTEM COMPANY. ZERO LATITUDE INC. WILL BEAR NO RESPONSIBILITY FOR ITS ACCURACY.

SECURITY SYSTEM

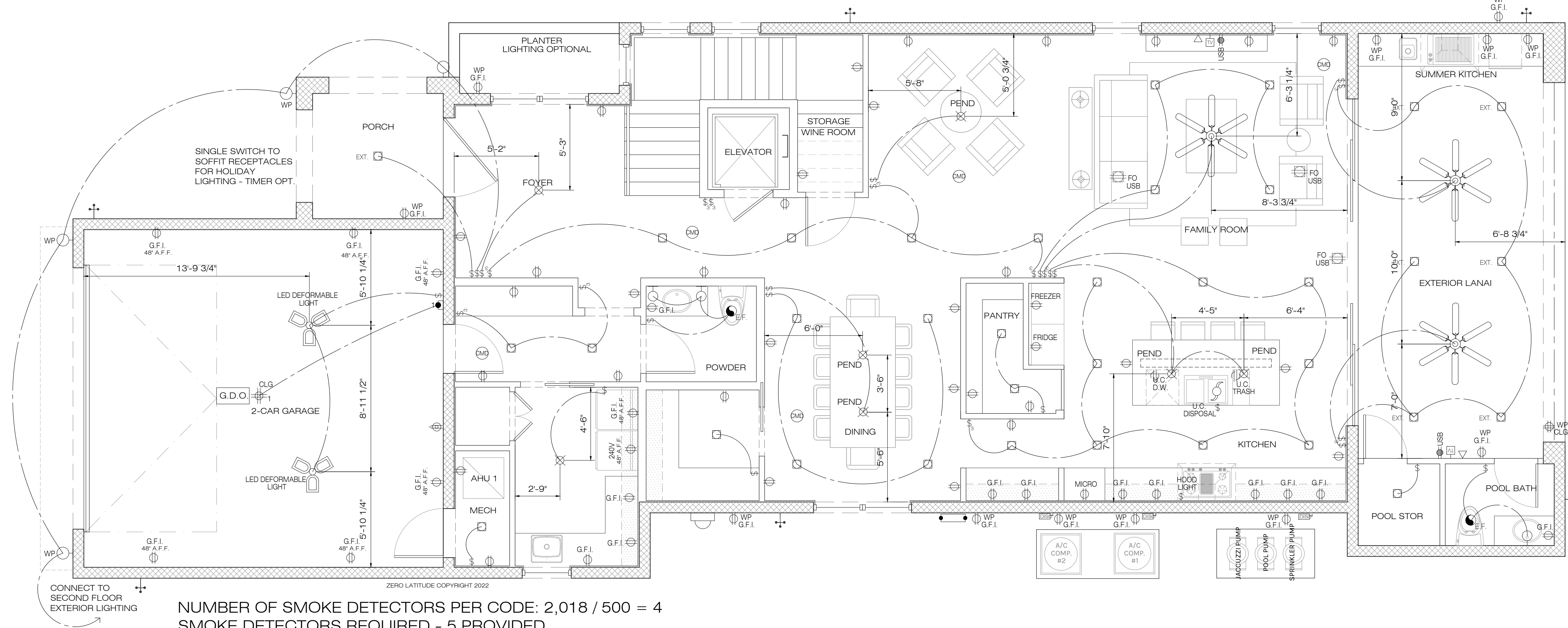
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ELECTRICAL SYMBOLS LEGEND

	ELECTRIC METER
	ELECTRIC PANEL
	ELECTRICAL - A/C DISCONNECT
	DUPLEX OUTLET
	FLOOR OUTLET LOCATE PER OWNERS / BUILDER
	DUPLEX OUTLET - HALF SWITCHED
	WEATHER PROOF DUPLEX OUTLET
	G.F.I DUPLEX OUTLET
	220 VOLT RECEPTACLE
	TELEVISION JACK
	CAT 6 NETWORK
	CENTRAL VACUUM HOSE OUTLET
	WALL SWITCH
	3-WAY WALL SWITCH
	4-WAY WALL SWITCH
	DIMMER WALL SWITCH
	PUSH BUTTON WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	JUNCTION BOX
	TRACK LIGHTING
	HANGING LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED HIGHLIGHTING LIGHT FIXTURE
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	EXT. RECESSED LIGHT FIXTURE
	4' LONG FLUORESCENT LIGHT FIXTURE
	52" CEILING FAN WITH LIGHT
	FLOOD LIGHT
	THERMOSTAT
	FIRE ALARM CONTROL PANEL
	SMOKE DETECTOR
	SMOKE & CARBON MONOXIDE DETECTOR
	EXHAUST FAN CFM MIN 80
	CEILING OUTLET
	NEMA 14-50 (220V) ELECT CAR CHARGER OUTLET
	GARAGE DOOR POWER BUTTON
	DOORBELL BUTTON
	LED GARAGE, DEFORMABLE TRIPLE LIGHT
	DOORBELL CHIME
	INSTA-HOT EXTERIOR WATER HEATER

SMOKE DETECTOR GOES INSIDE BEDROOMS
SMOKE & CARBON MONOXIDE DETECTOR GOES IN COMMON AREAS



NUMBER OF SMOKE DETECTORS PER CODE: 2,018 / 500 = 4
SMOKE DETECTORS REQUIRED - 5 PROVIDED

ELECTRICAL 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

COPYRIGHT NOTICE

Date

#

Revisions

A NEW HOME BY ZERO LATITUDE HOMES
WAVERLY SPEC HOME
LOT 5 - SOUTH HARBOR DR., VERO BEACH, FL.
MERIDIAN CUSTOM HOMES

alba
ENGINEERING
C.A. #00556

DANIEL SOUTER, P.E.
P.E.# 63901
P.O. BOX 547774
ORLANDO, FL 32854
PHONE: (407) 421-4866

meridian

Date	02-20-23
Project #	22-026
Drawn by	FVC
Checked by	JH/DS
Reviewed by Interior Design & Owner	YES

ZERO LATITUDE

A11

PERMIT SET
FOR CONSTRUCTION

ELECTRICAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND MANUFACTURER'S SPECIFICATIONS FOR CORRECT INSTALLATION. ELECT
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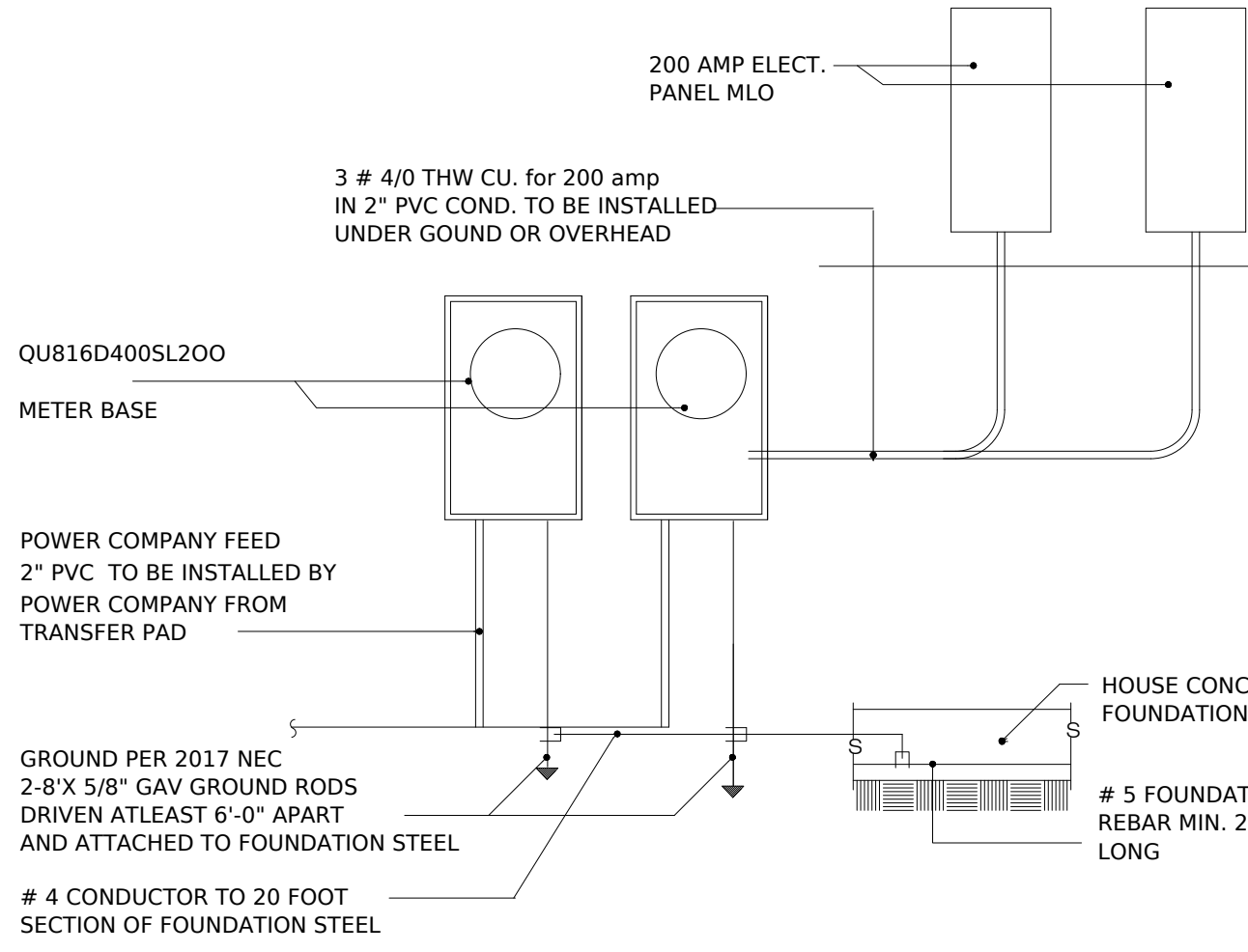
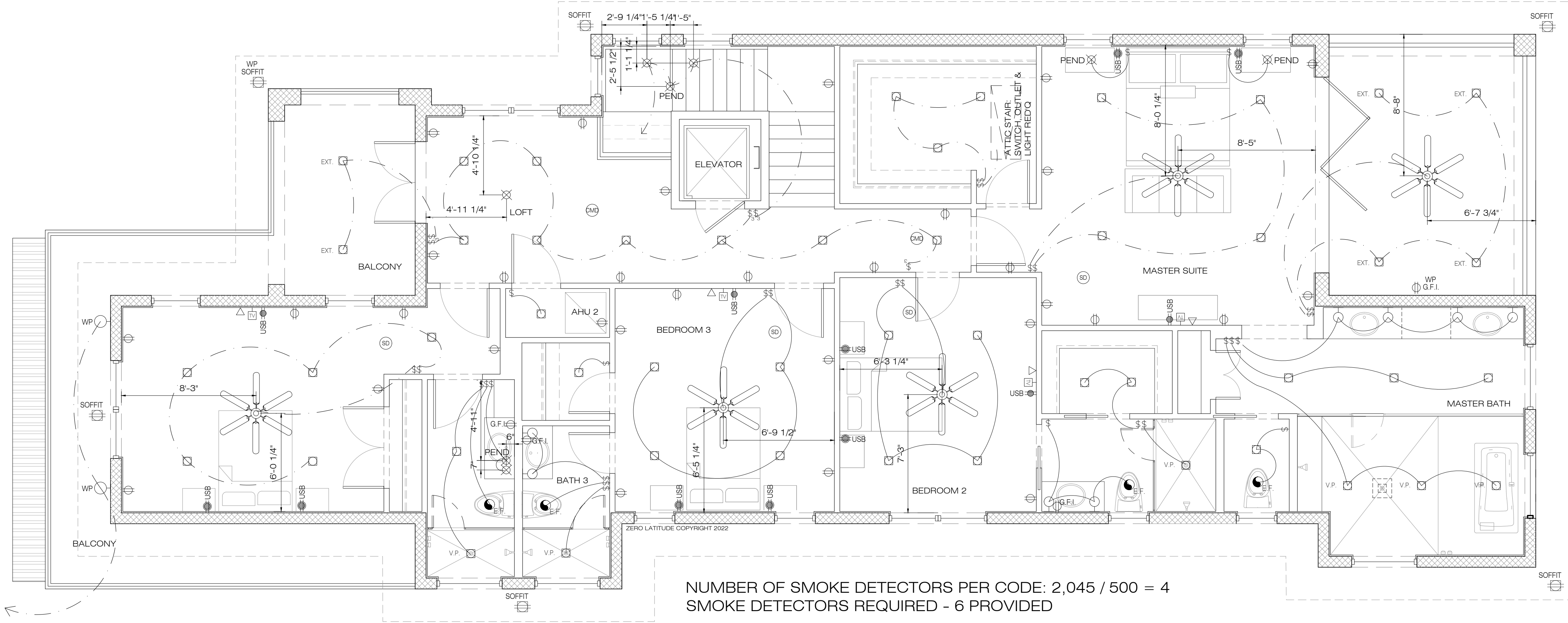
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STAIR WINDOW CHANGE	1	08/17/23

Date	02-20-23
Project #	22-026
Drawn by	FVC
Checked by	JH/DS
Reviewed by Interior Design & Owner	YES