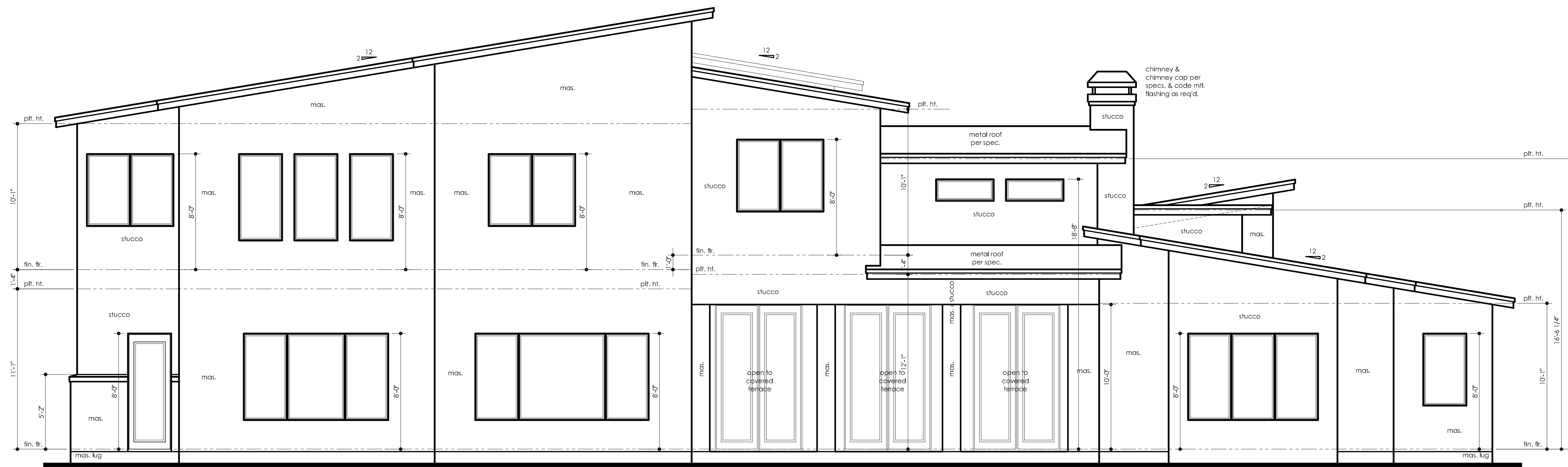


FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

GENERAL ELEVATION NOTES

- 1.0 ALL WINDOW HDR. HTS. LOWER FLOOR TO BE 8'-0" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS. ALL WINDOW HDR. HTS. UPPER FLOOR TO BE 6'-8" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- 2.0 MAXIMUM 12" EXPOSED FOUNDATION ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS.
- 3.0 GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
- 4.0 ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
- 5.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- 6.0 CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.

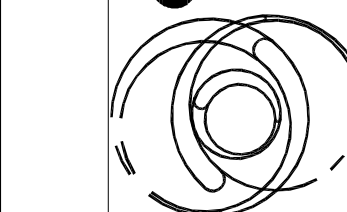
Bellaheim Homes

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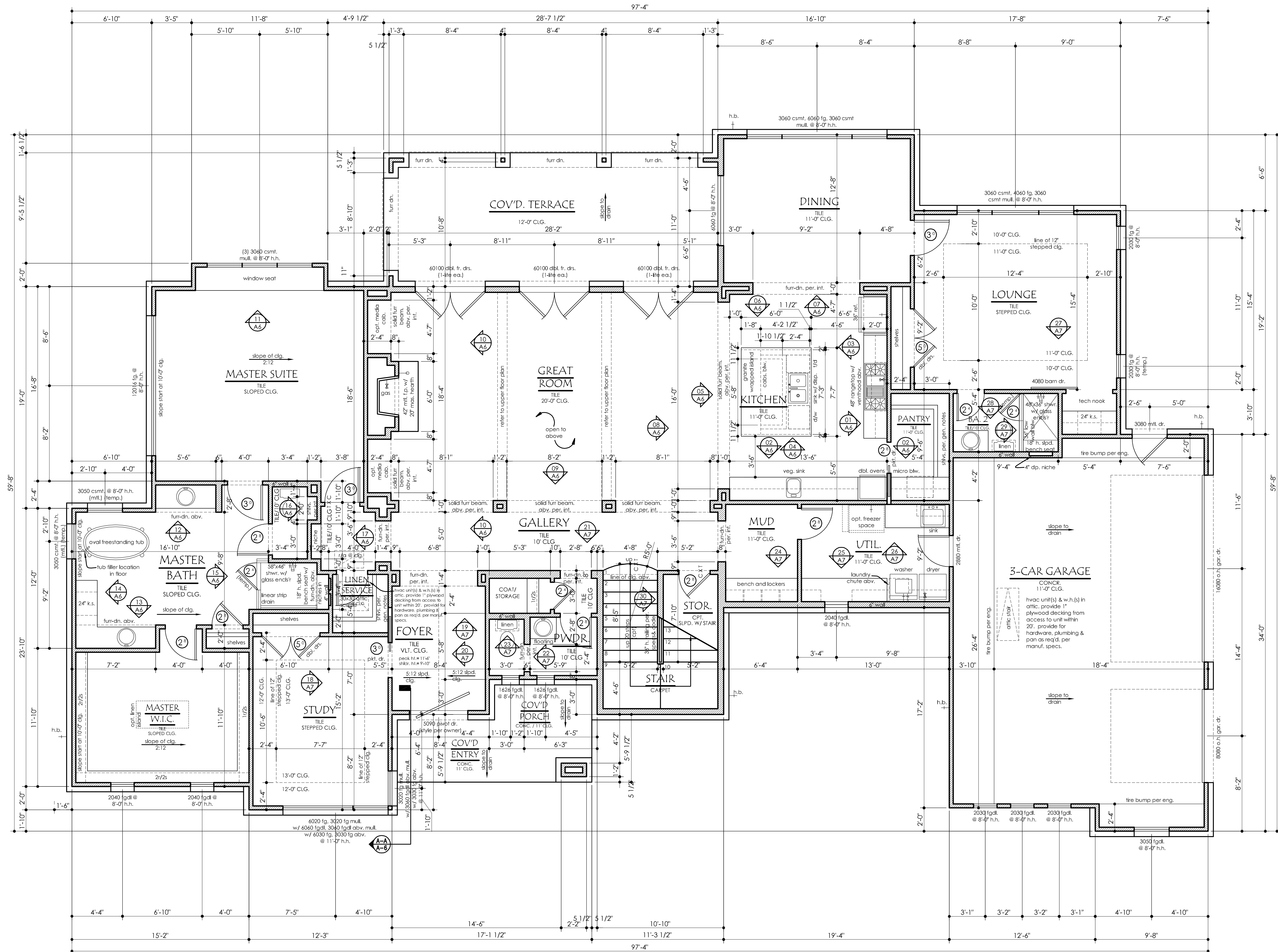
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BELLAHEIM
HOMES

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PROJECT:
Lot 1 - BOYL
11002 Foundation Rd
A-1
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date: 12.23.13
project # 3051



- GENERAL PLAN NOTES:**
- ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
 - ALL WINDOWS WITHIN 2'-0" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
 - ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
 - WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSIBLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
 - PROVIDE BLOCKING FOR CLG. FANS WHERE SPECIFIED.
 - PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
 - BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
 - WEATHERSTRIP ATTIC ACCESS DOOR(S).
 - CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
 - PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE. IF PLATE HEIGHT IS 10'-0" OR HIGHER, ALL DOORS AND CASING OPENINGS TO BE 8'-0" HT. UNLESS NOTED OTHERWISE. IF PLATE HEIGHT IS 9'-0" OR LESS, ALL DOORS AND CASING OPENINGS TO BE 4'-8" HT. UNLESS NOTED OTHERWISE. EXCEPTION: IF A 2'-0" HT. DOOR IS USED ADJUST WINDOWS TO 2'-0" HEADER HT.
 - ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
 - PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
 - PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
 - UNLESS NOTED OTHERWISE STANDARD PANTORY SHELVING TO BE AS FOLLOWS:
LOWEST 2 SHELVES TO BE 14" D. WITH HEIGHT SPACING OF 14" CLEAR.
REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
 - THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
 - THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
 - PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
 - SQUARE FOOTAGE CALCULATIONS GIVEN ARE BASED ON THESE CONSTRUCTION DRAWINGS NOT THE ACTUAL FINISHED BUILDING(S). DESIGNER IS NOT RESPONSIBLE FOR ANY ADDITIONS OR CHANGES TO SQUARE FOOTAGES THAT ARE HANDLED IN THE FIELD DURING CONSTRUCTION. ALL UPPER FLOOR DOORS TO BE 8" HEIGHT.

- LEGEND:**
- GAS KEY
 - SHOWER HEAD
 - GAS
 - HOSE BIBB
- GENERAL PROJECT NOTES:**
- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS.
 - ALL DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
 - THESE DRAWINGS HAVE AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THE DESIGNER.
 - THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
 - THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING &/OR WATERPROOFING. PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
 - ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
 - DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
 - ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
 - THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
 - ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
 - ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
 - THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
 - VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
 - IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

SQUARE FOOTAGE CALCS.

HEATED	
LOWER HEATED	3,177'
UPPER HEATED	1,874'
TOTAL HEATED	5,051'
3 CAR GARAGE	709'
COVD. ENTRY	48'
COVD. PORCH	79'
COVD. TERRACE	310'
MECH. / STORAGE	95'
MAS.	132'
TOTAL AREA	1,373'
TOTAL COVD AREA	6,424'
TOTAL IMPERVIOUS	4,455'

LOWER FLOOR PLAN
SCALE 1/4" = 1'-0"



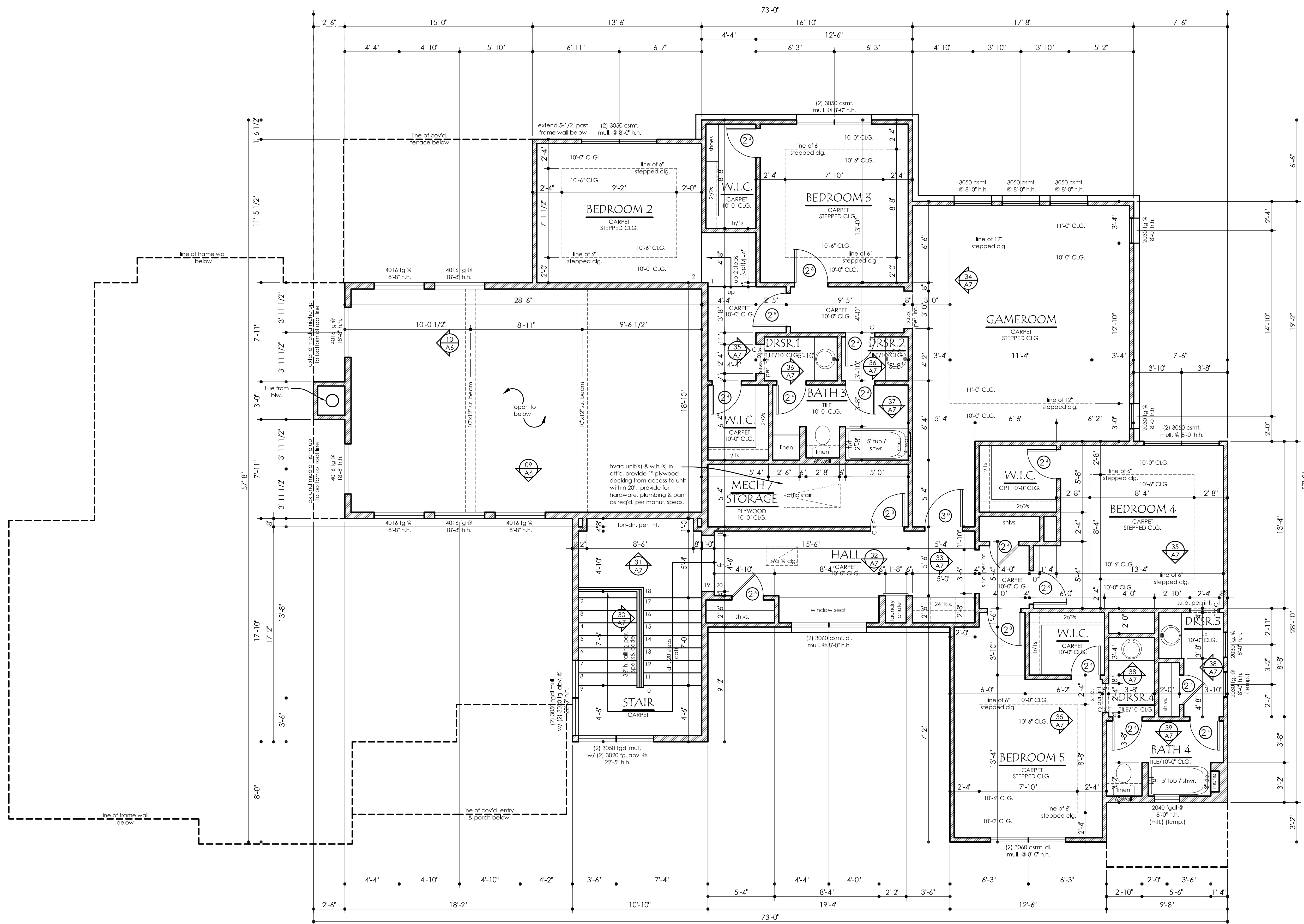
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PROJECT:
Lot 1 - BOYL
11002 Foundation Rd

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date: 12.23.13
project # 5051



- GENERAL PLAN NOTES:**
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 - PROVIDE BLOCKING FOR CLG. FANS WHERE SPECIFIED.
 - PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
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 - ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO PENETRATE THE ROOF.
 - PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
 - PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
 - UNLESS NOTED OTHERWISE STANDARD PANDENTS SHALL BE AS FOLLOWS:
LOWEST 2 SHELVES TO BE 14" D, WITH HEIGHT SPACING OF 14" CLEAR.
REMAINING SHELVES TO BE 12" D, WITH HEIGHT SPACING OF 12" CLEAR.
 - THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
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 - SQUARE FOOTAGE CALCULATIONS GIVEN ARE BASED ON THESE CONSTRUCTION DRAWINGS NOT THE ACTUAL FINISHED BUILDING(S). DESIGNER IS NOT RESPONSIBLE FOR ANY ADDITIONS OR CHANGES TO SQUARE FOOTAGES THAT ARE HANDLED IN THE FIELD DURING CONSTRUCTION.

- LEGEND:**
- GAS KEY
 - SHOWER HEAD
 - GAS
 - HOSE BIBB
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
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 - VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
 - IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

UPPER FLOOR PLAN
SCALE 1/4" = 1'-0"

BELLAHEIM HOMES

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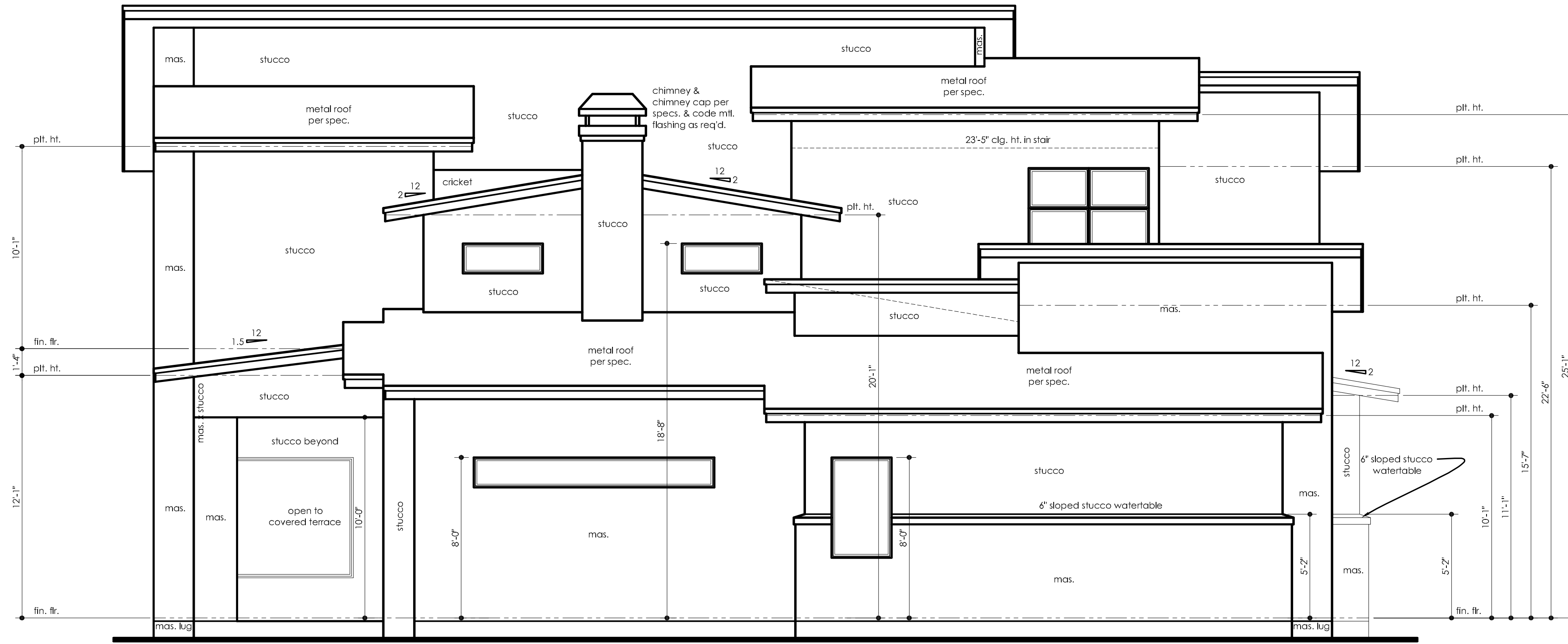
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11002 Foundation Rd

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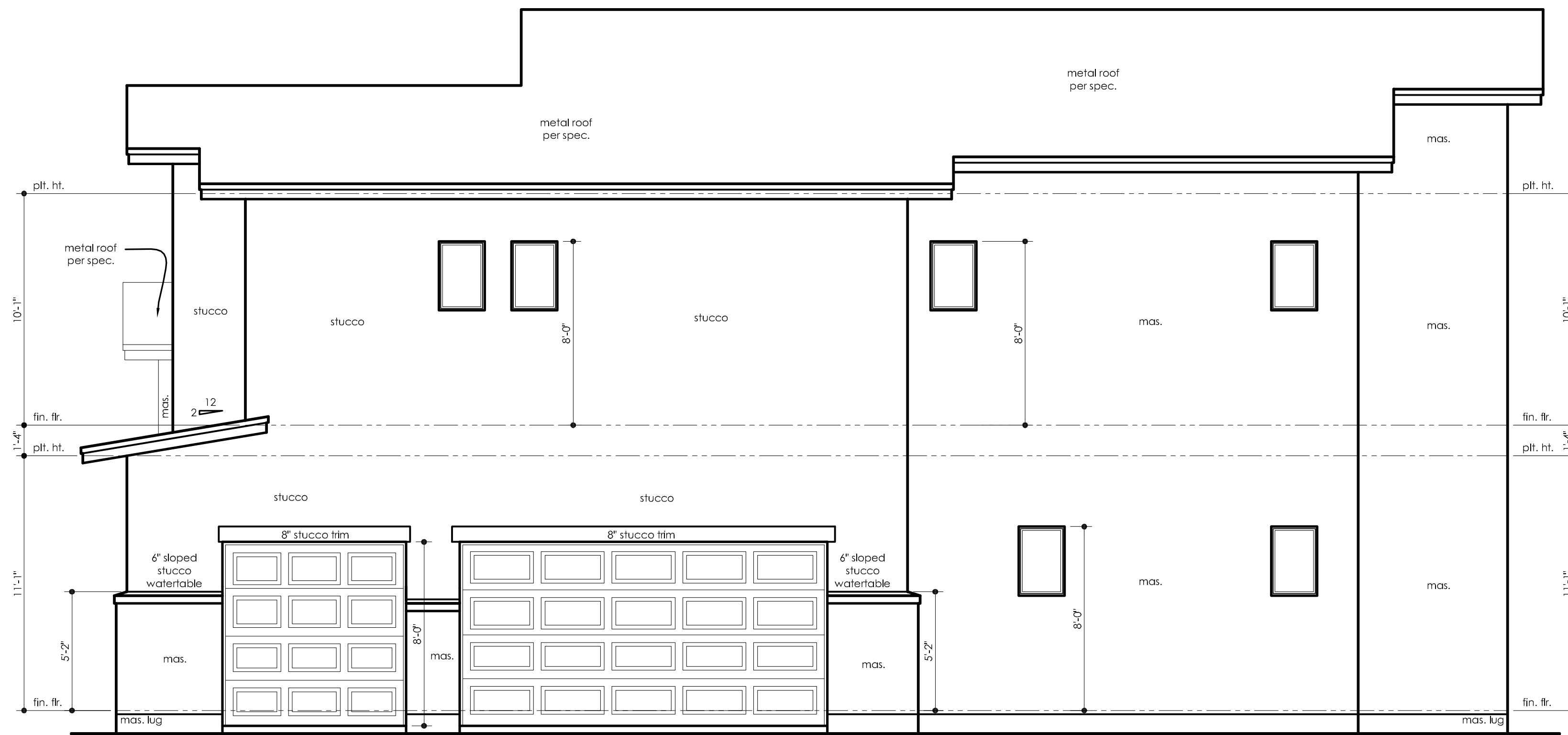
date: 12.23.13
project # 5051

GENERAL ELEVATION NOTES

- 1.0 ALL WINDOW HDR. HTS. LOWER FLOOR TO BE 8'-0" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS. ALL WINDOW HDR. HTS. UPPER FLOOR TO BE 6'-8" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- 2.0 MAXIMUM 12" EXPOSED FOUNDATION ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS.
- 3.0 GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
- 4.0 ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
- 5.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
- 6.0 CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

BELLAHEIM
HOMES

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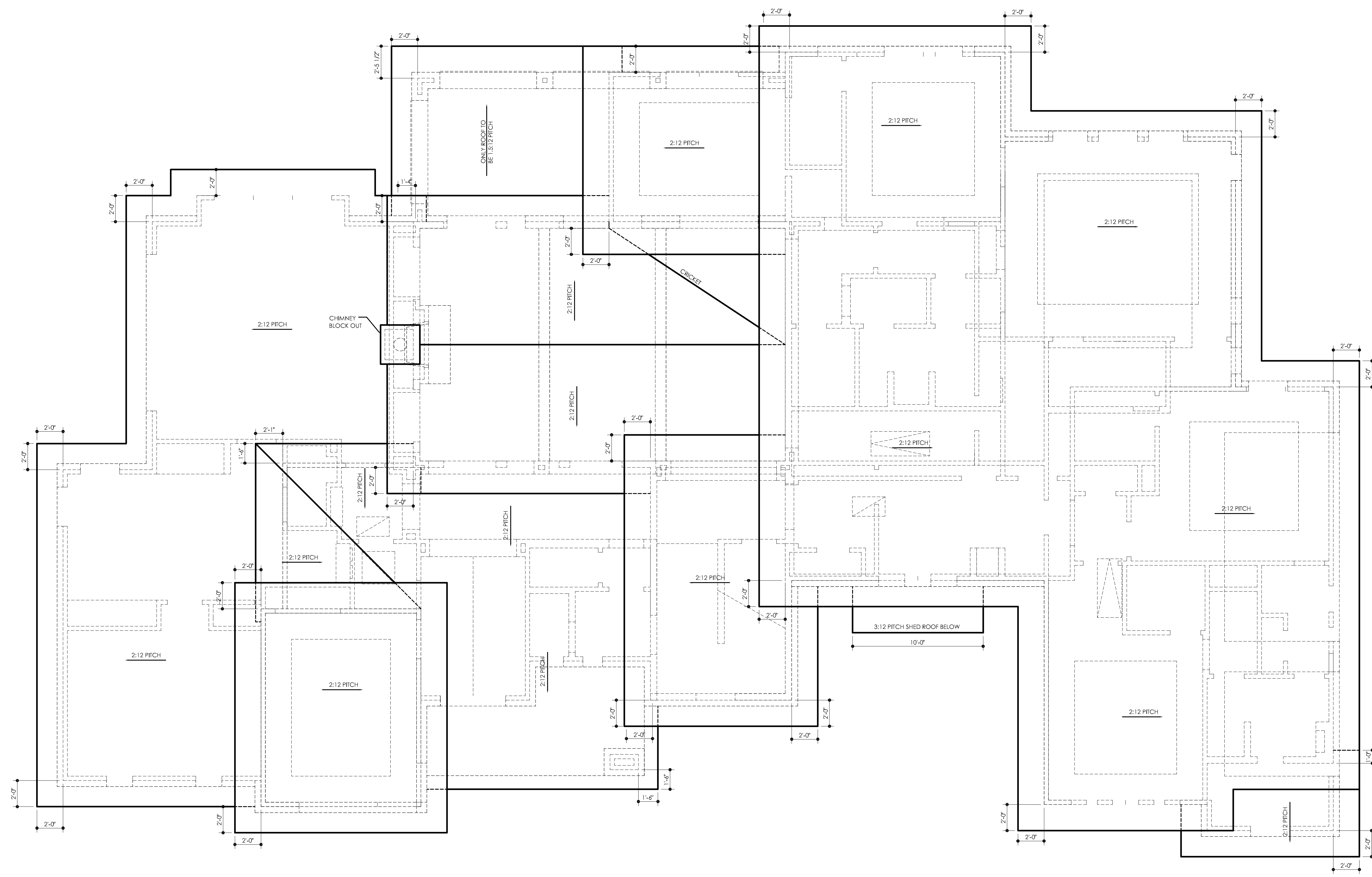
PROJECT:
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date: 12.23.13
project # 5051



- GENERAL ROOF LAYOUT NOTES:**
- 1.0 PITCHES TO BE AS NOTED ON PLANS.
 - 2.0 HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
 - 3.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
 - 4.0 ALL OVERHANGS TO BE 24" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
 - 5.0 U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
 - 6.0 HATCHED AREAS INDICATE LOAD BEARING POINTS OR WALLS THAT STACK. ADDITIONAL LOAD BEARING POINTS MAY BE REQUIRED AND MUST BE CALCULATED WHEN FLOOR SYSTEM IS ENGINEERED.
 - HATCHING AT STACKING POINTS OR WALLS THAT ARE LOAD BEARING.
 - 7.0 ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
 - 8.0 WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
 - 9.0 ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x5 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x5 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
 - 10.0 BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
 - 11.0 ALL LOAD BEARING HEADERS & CONCEALED OR DROPPED BEAMS TO BE DESIGNED PER ENGINEER OR BUILDER.



ROOF OUTLINE PLAN
SCALE 1/4" = 1'-0"



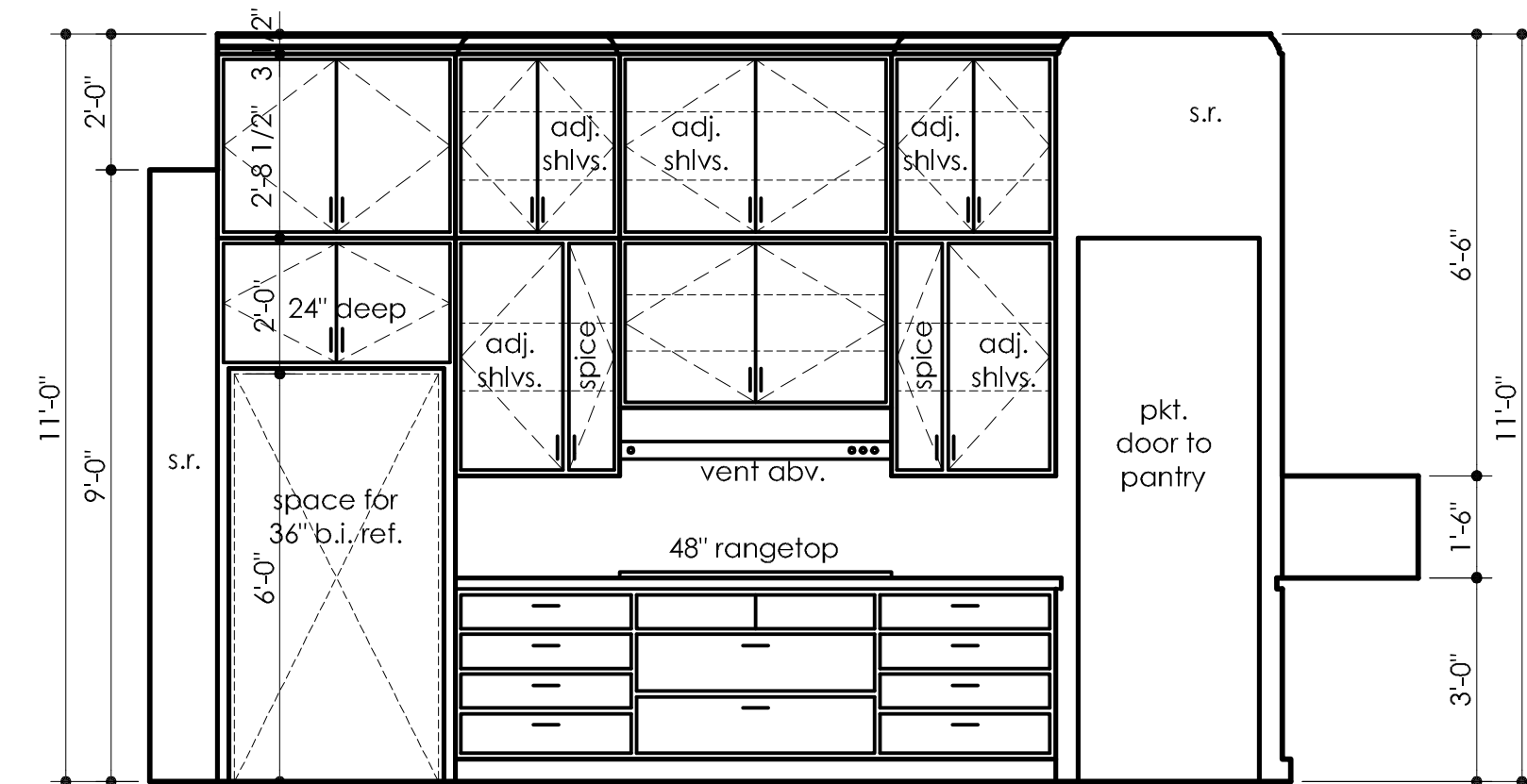
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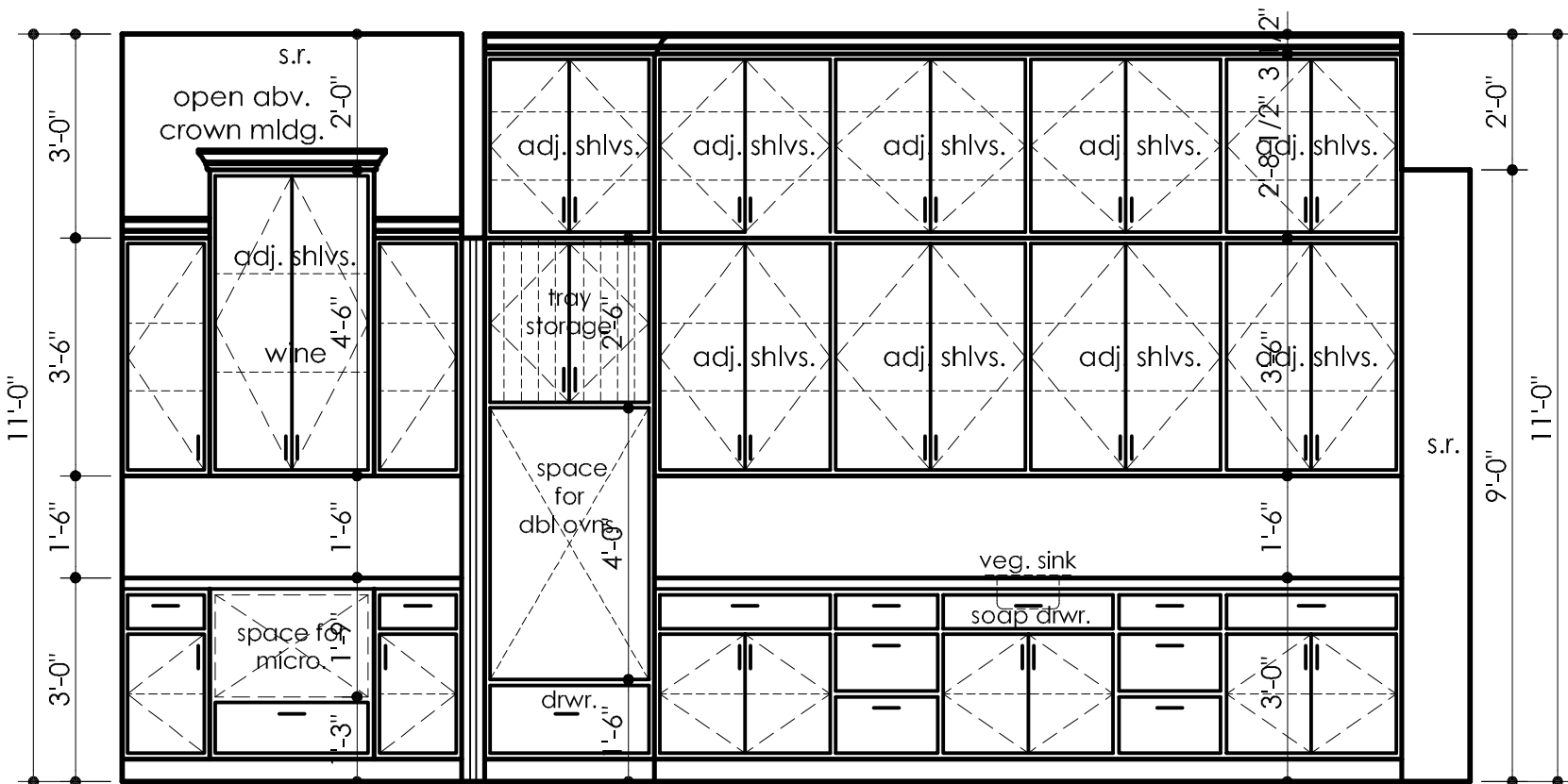
PROJECT:
Lot 1 - BOYL
11002 Foundation Rd

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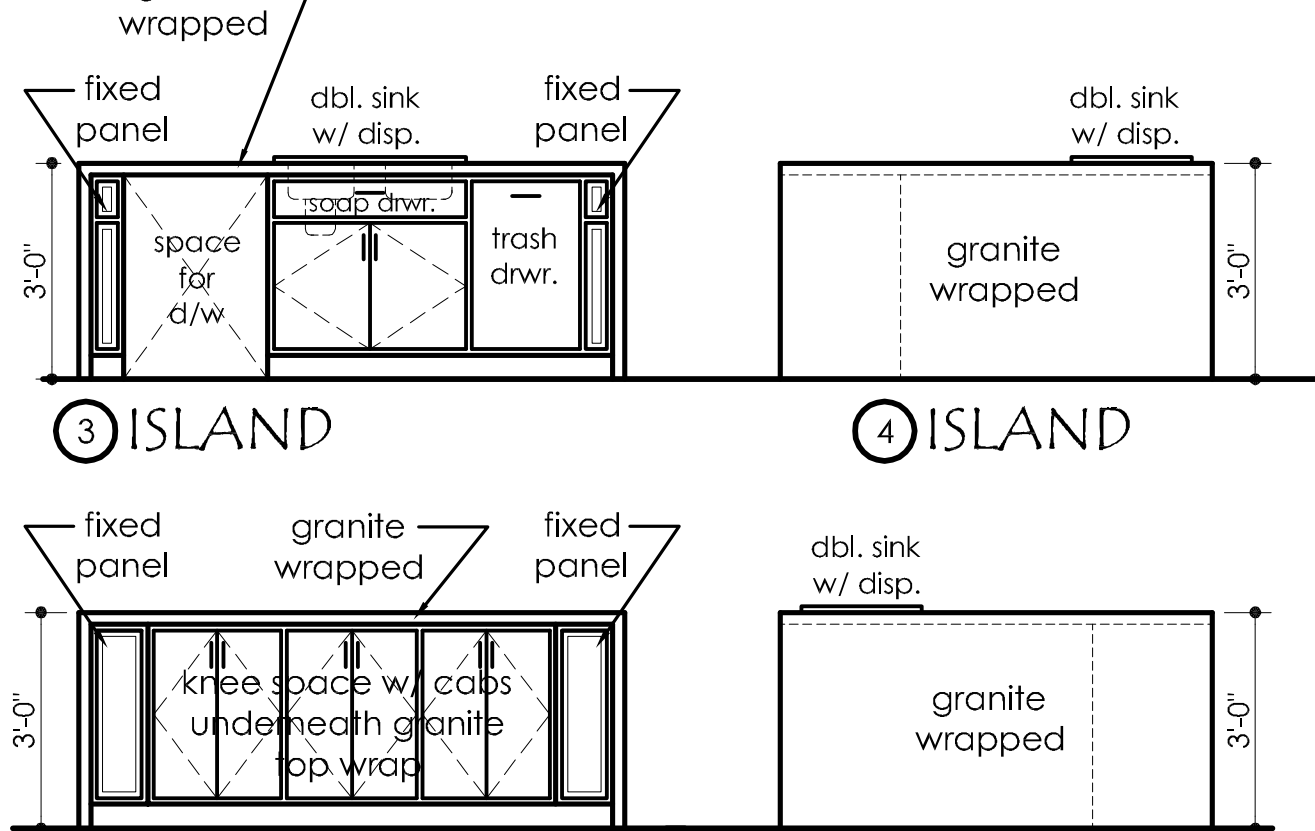
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project # 5051



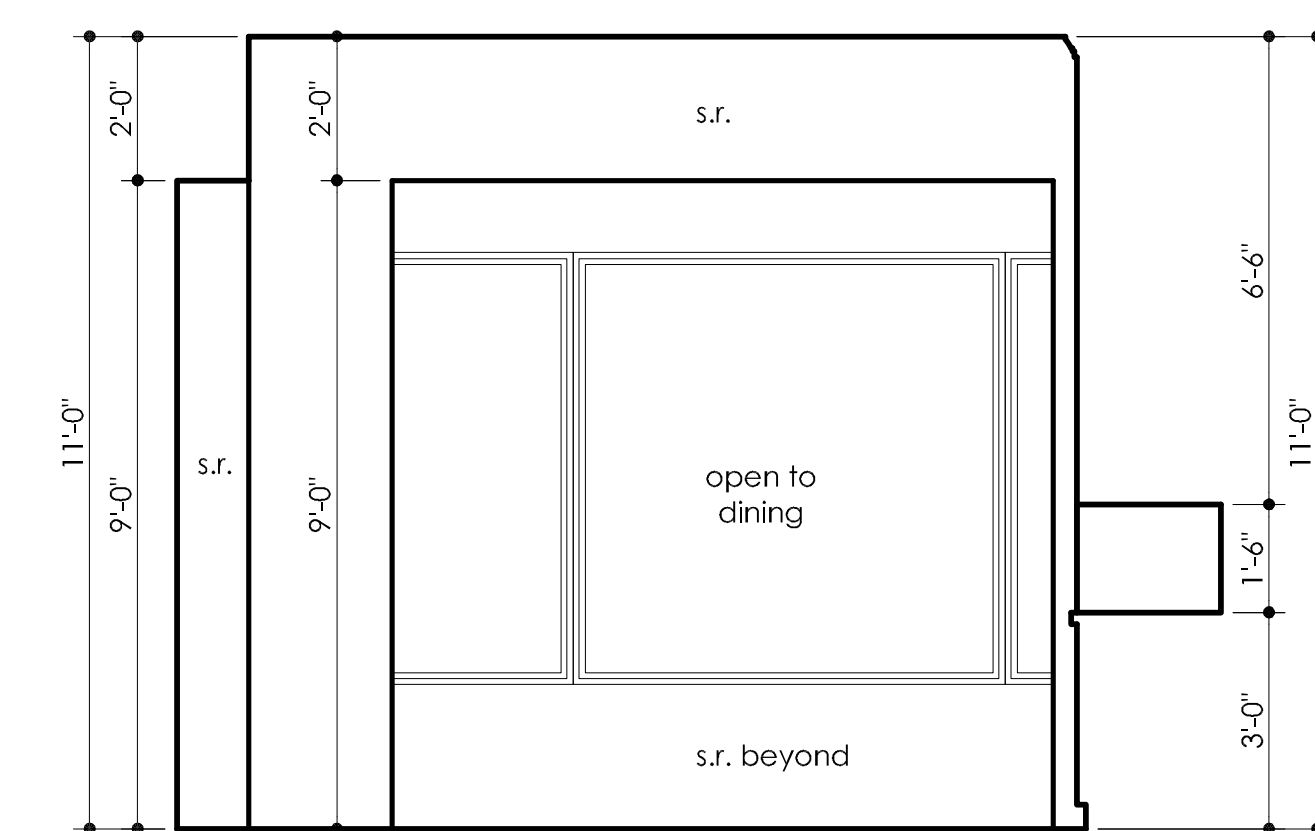
1 DINING/KITCHEN



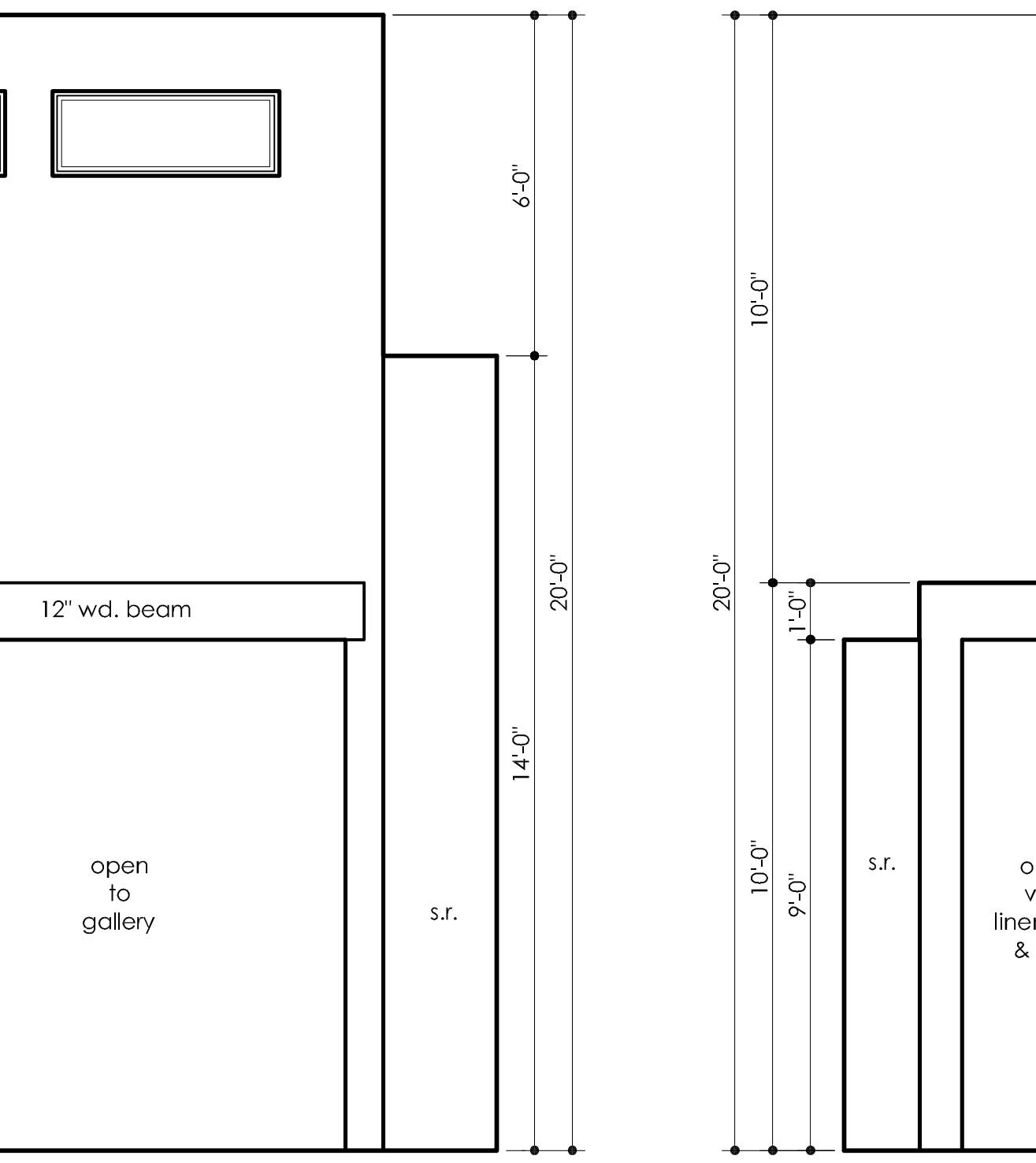
2 PANTRY / KITCHEN



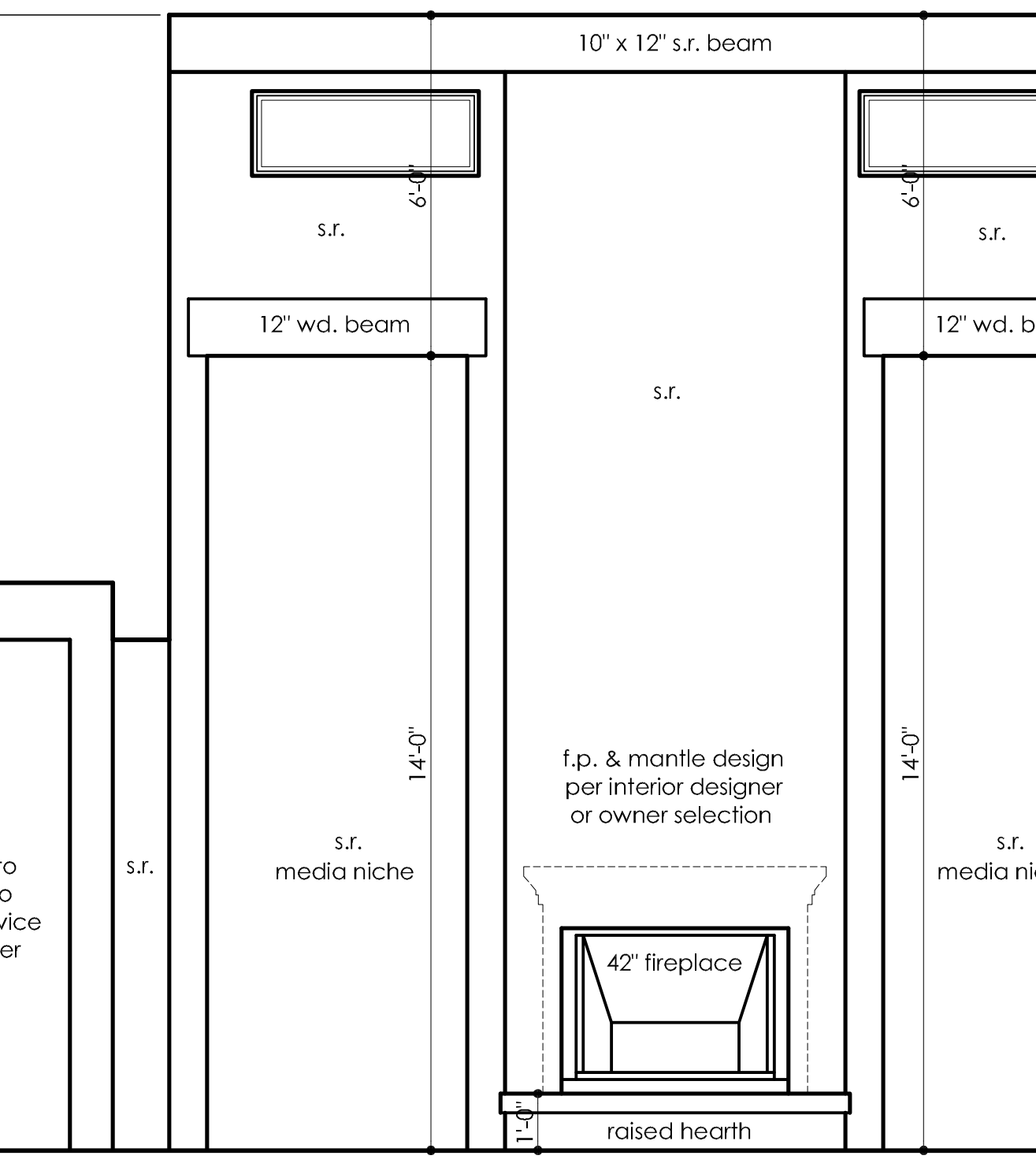
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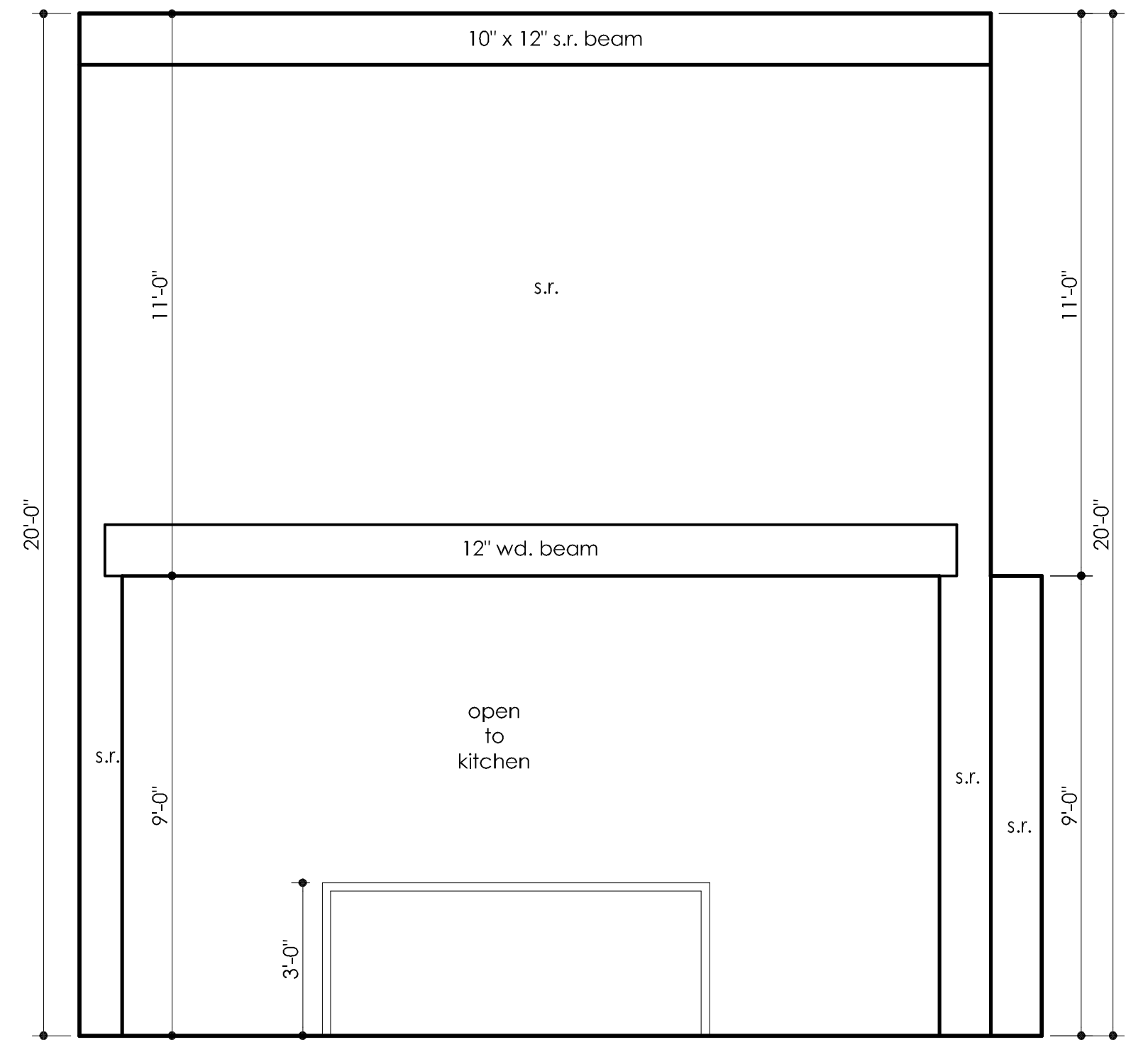
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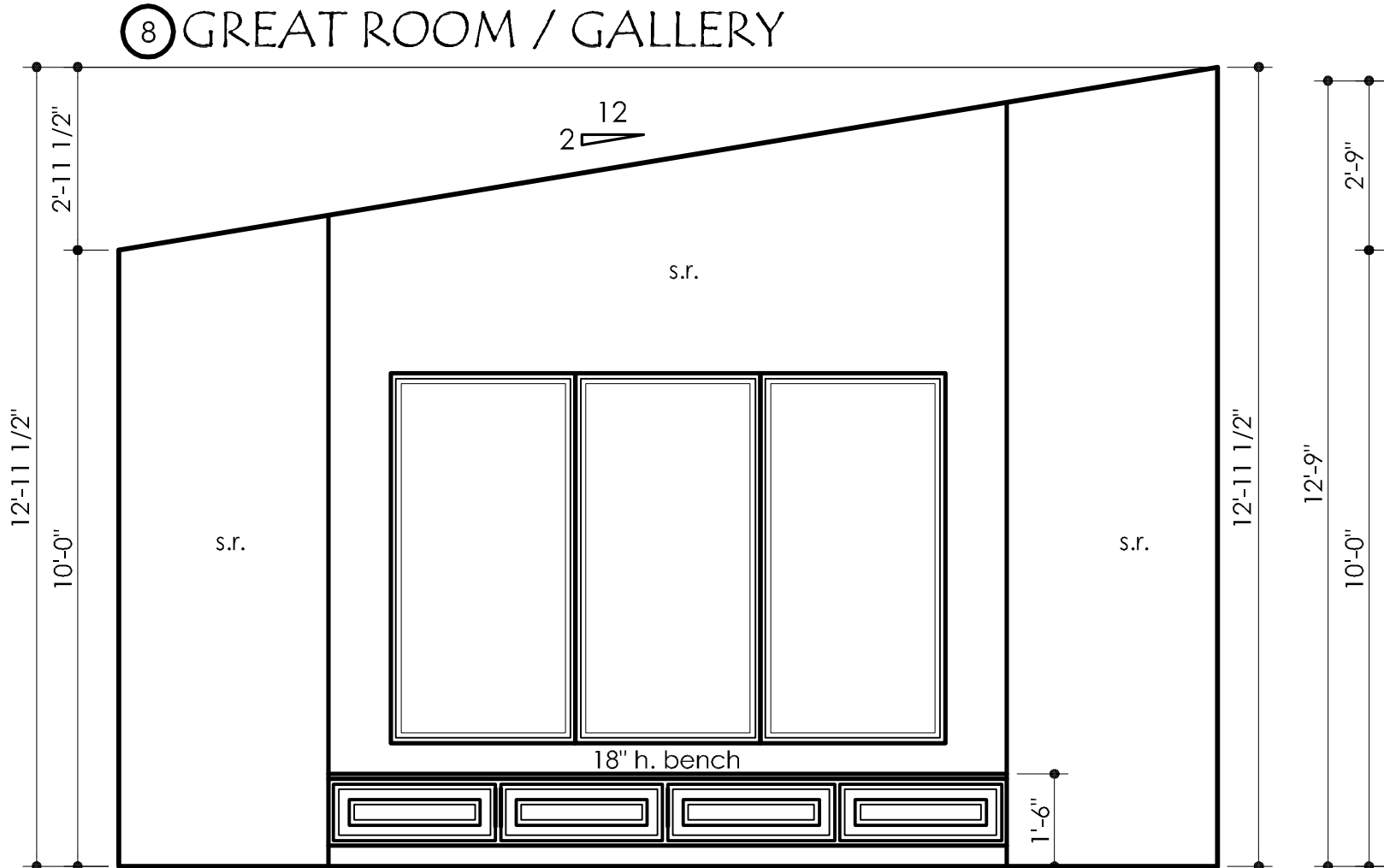
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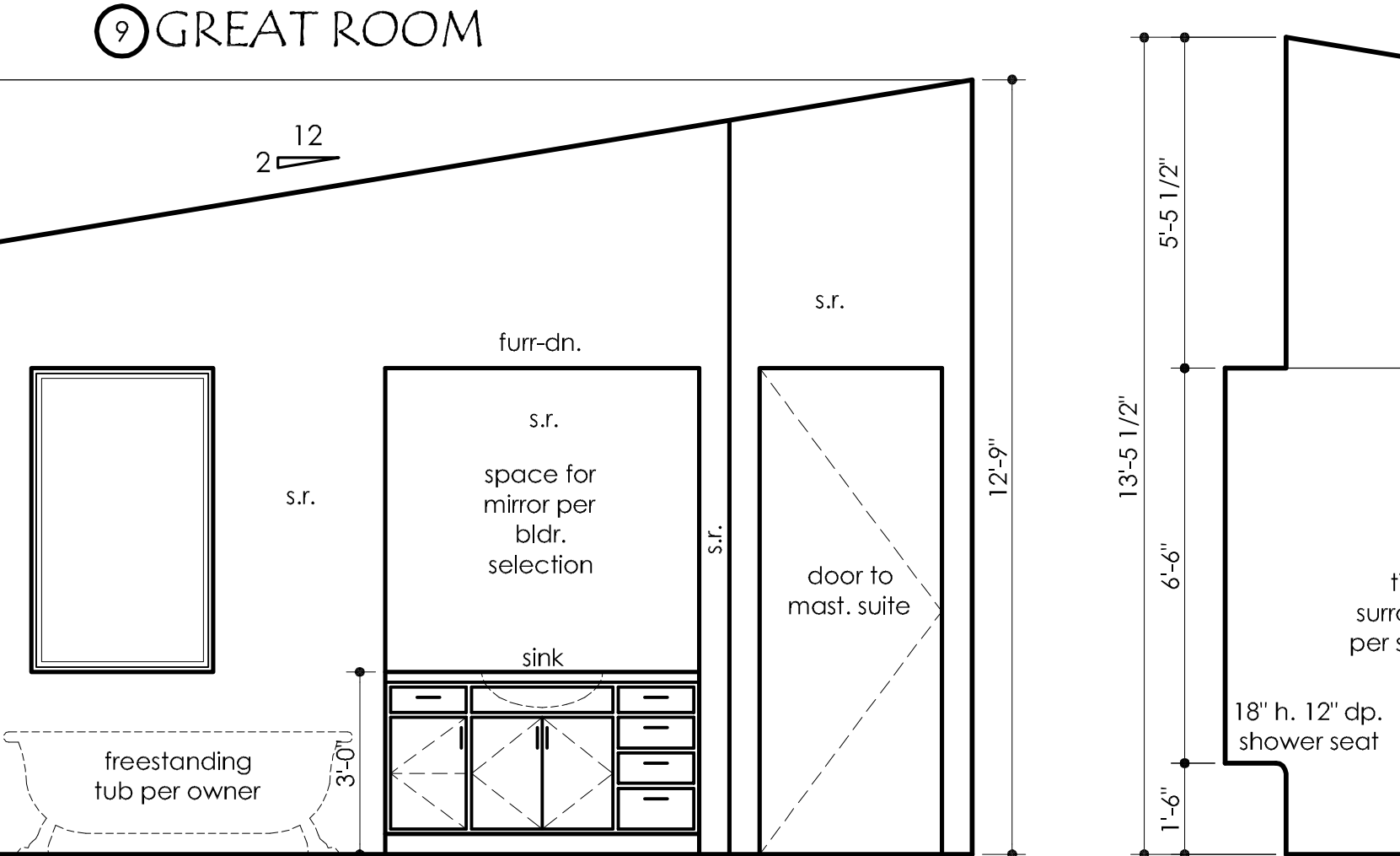
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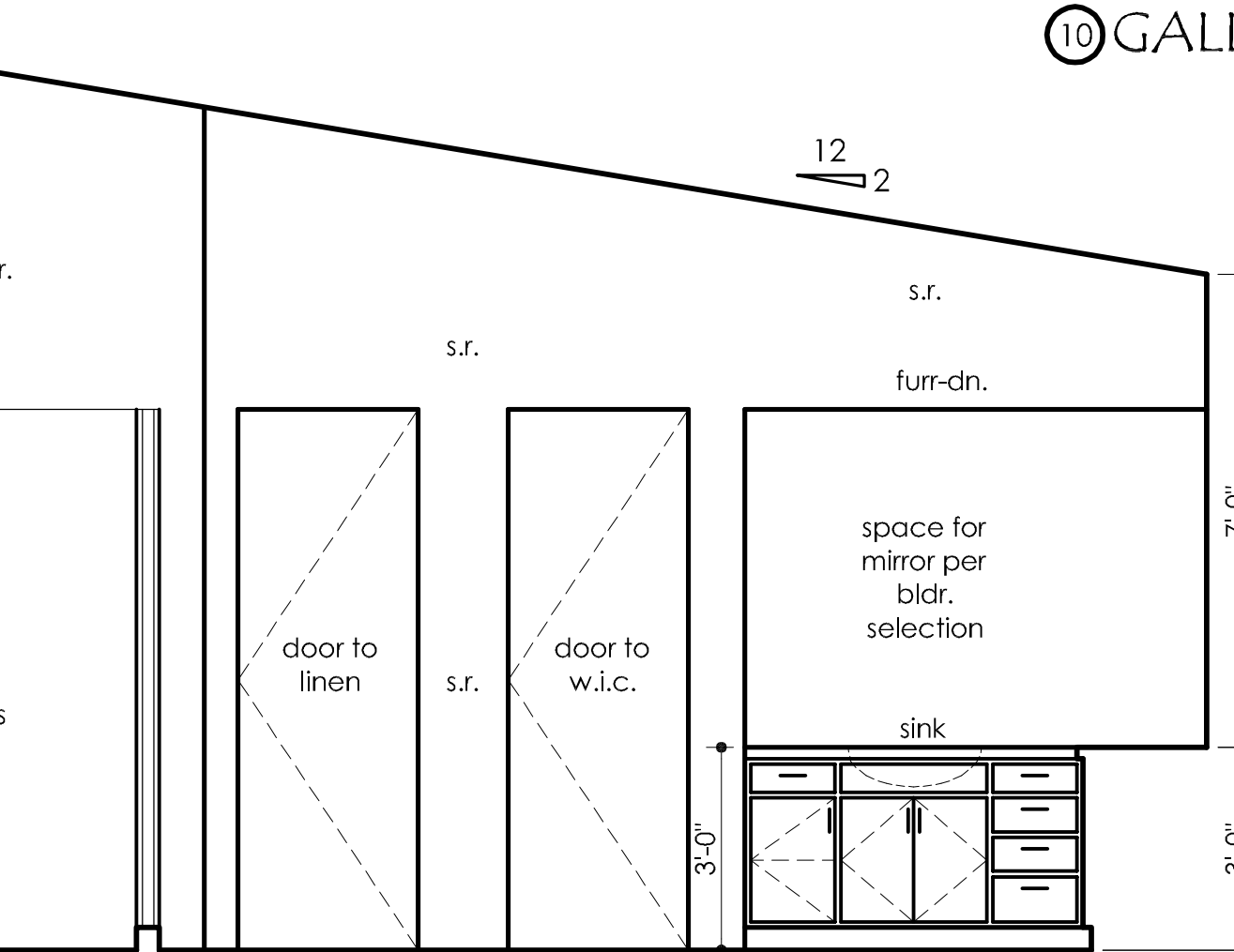
7 KITCHEN



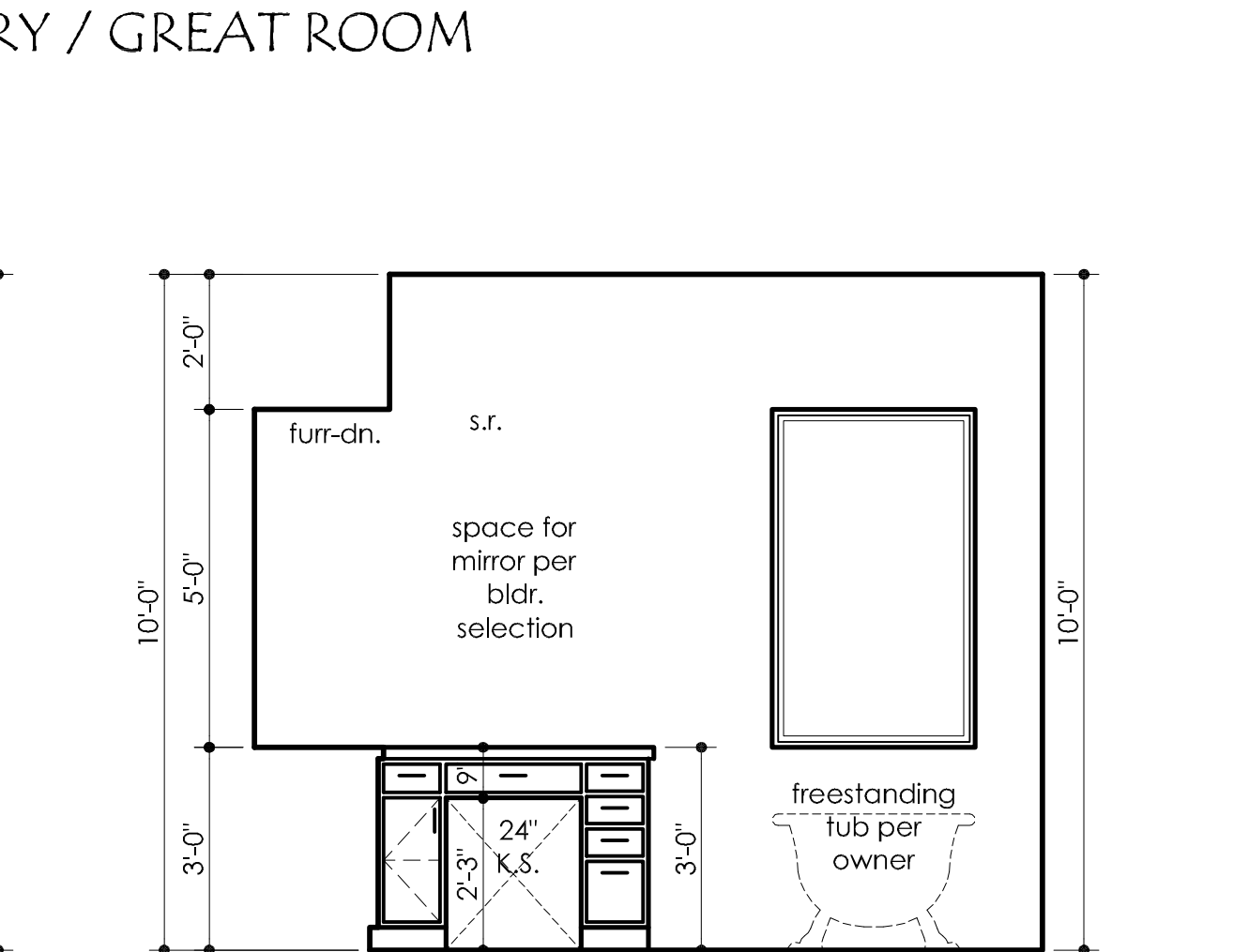
8 GREAT ROOM / GALLERY



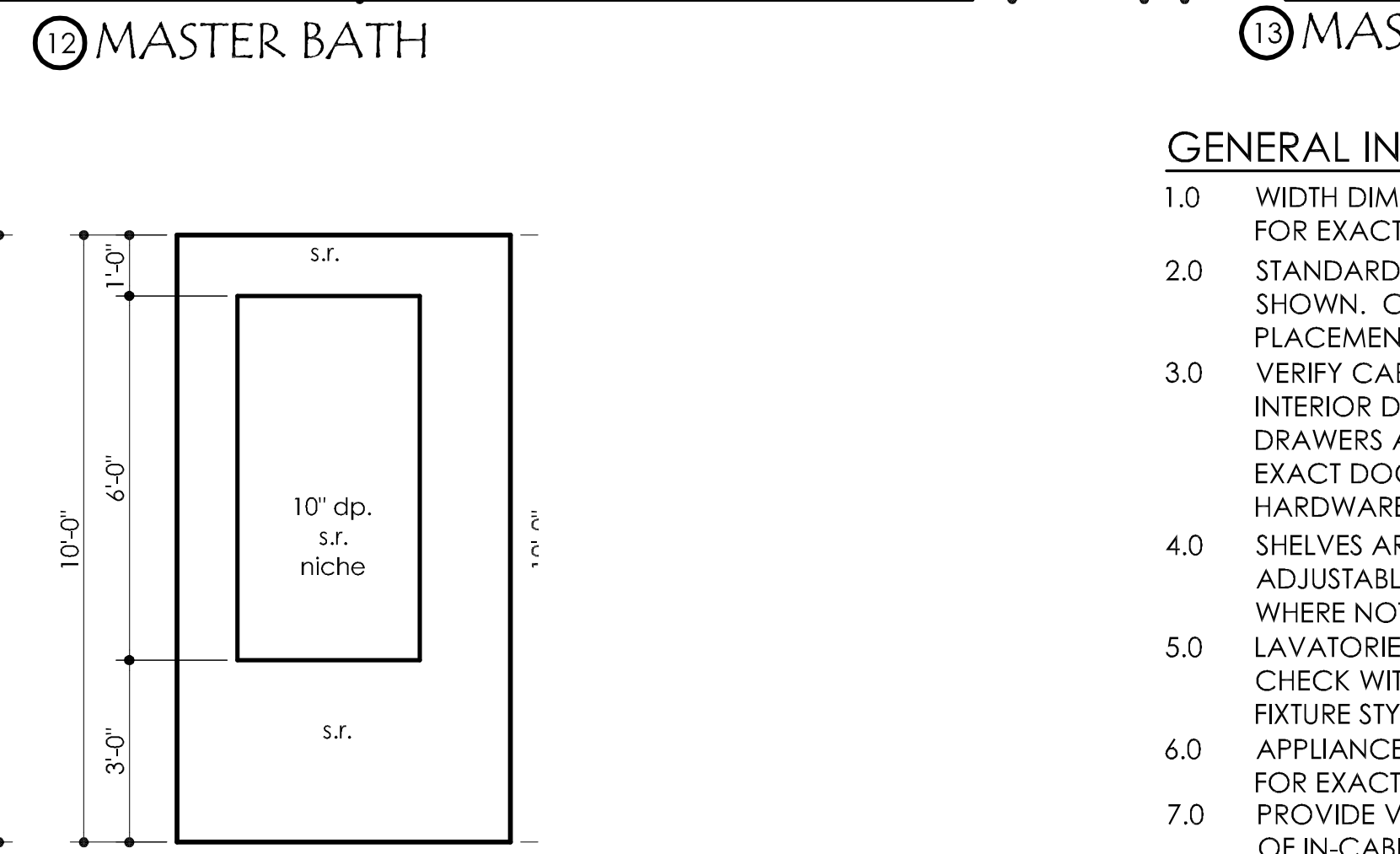
9 GREAT ROOM



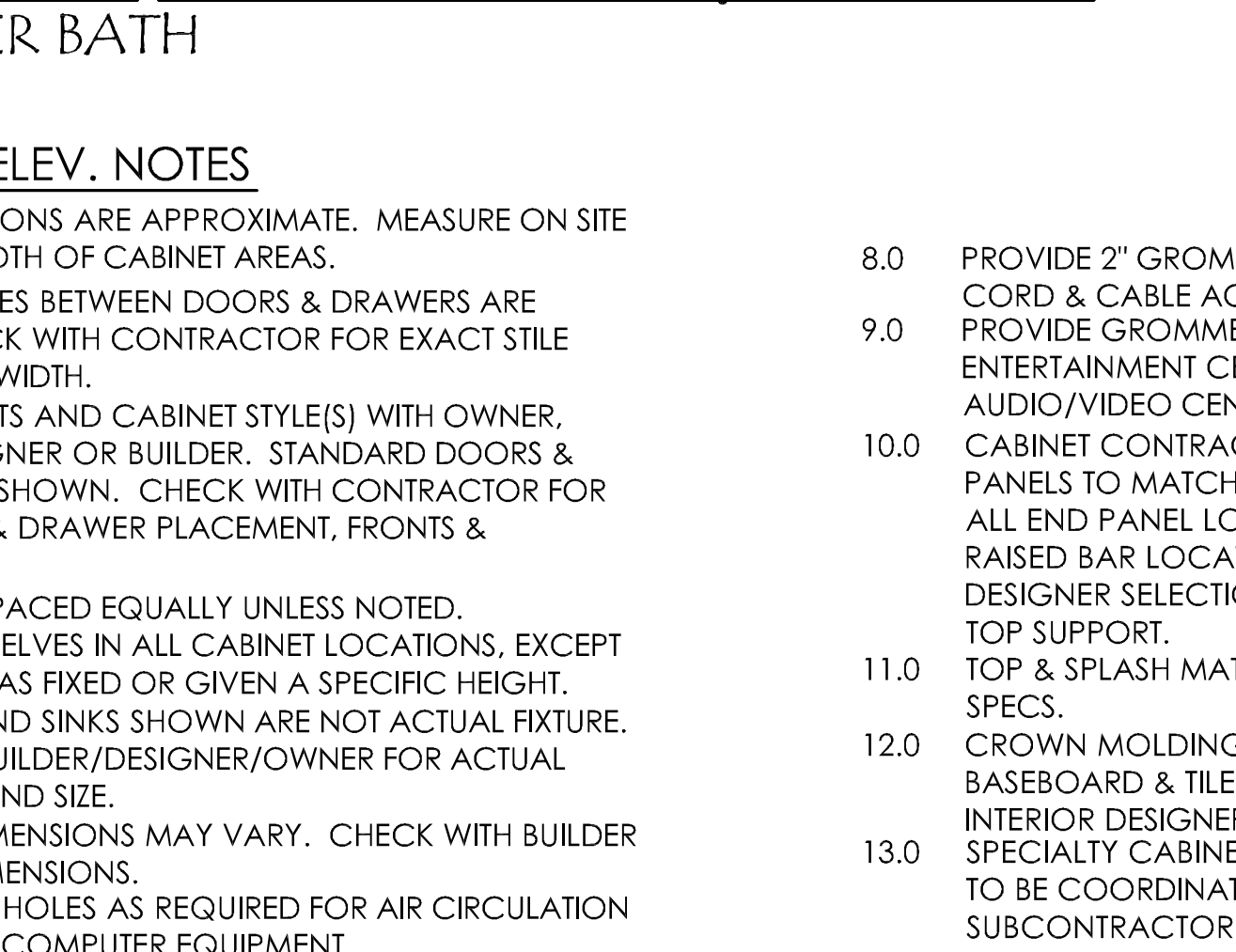
10 GALLERY / GREAT ROOM



11 MASTER SUITE



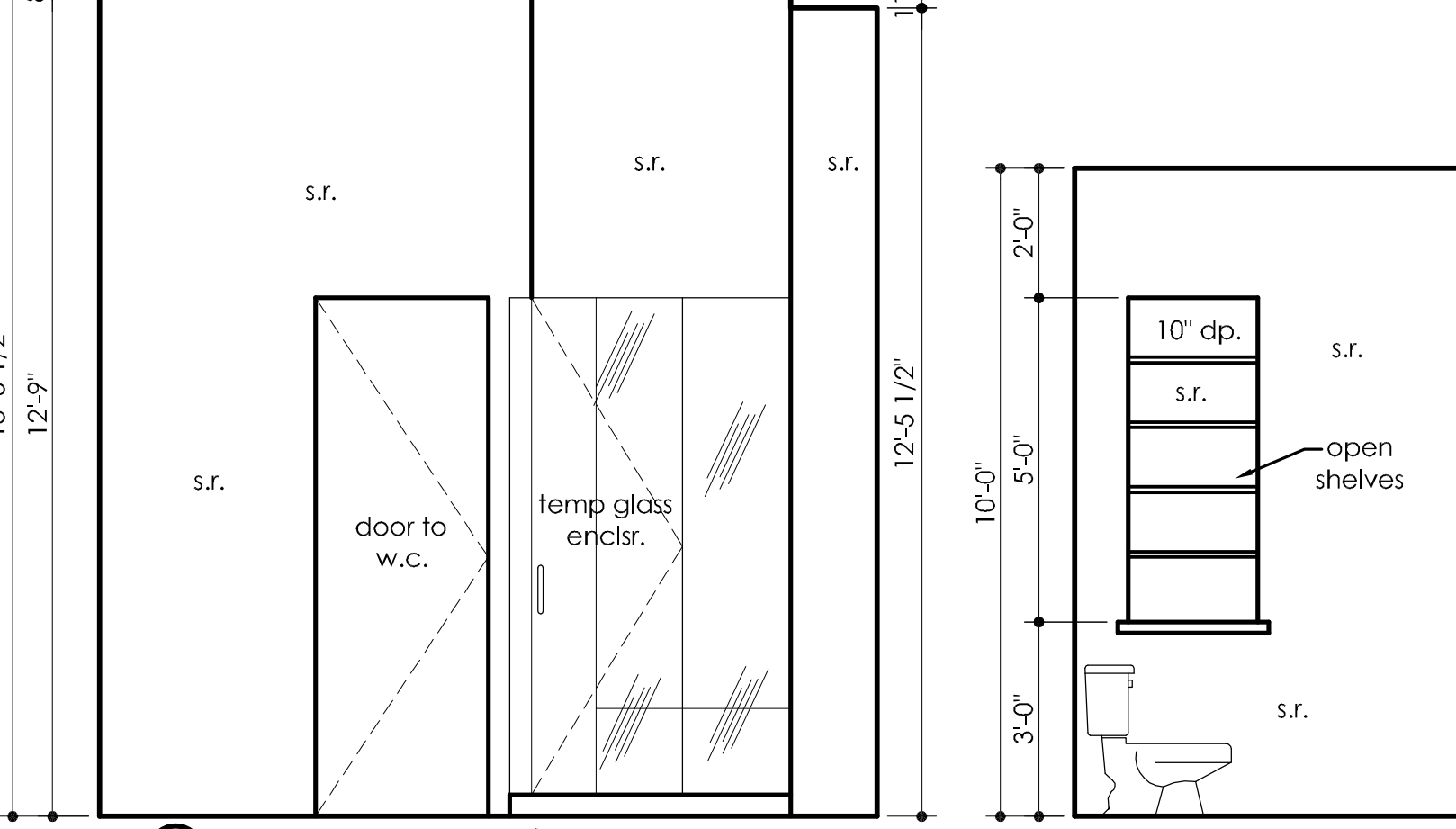
12 MASTER BATH



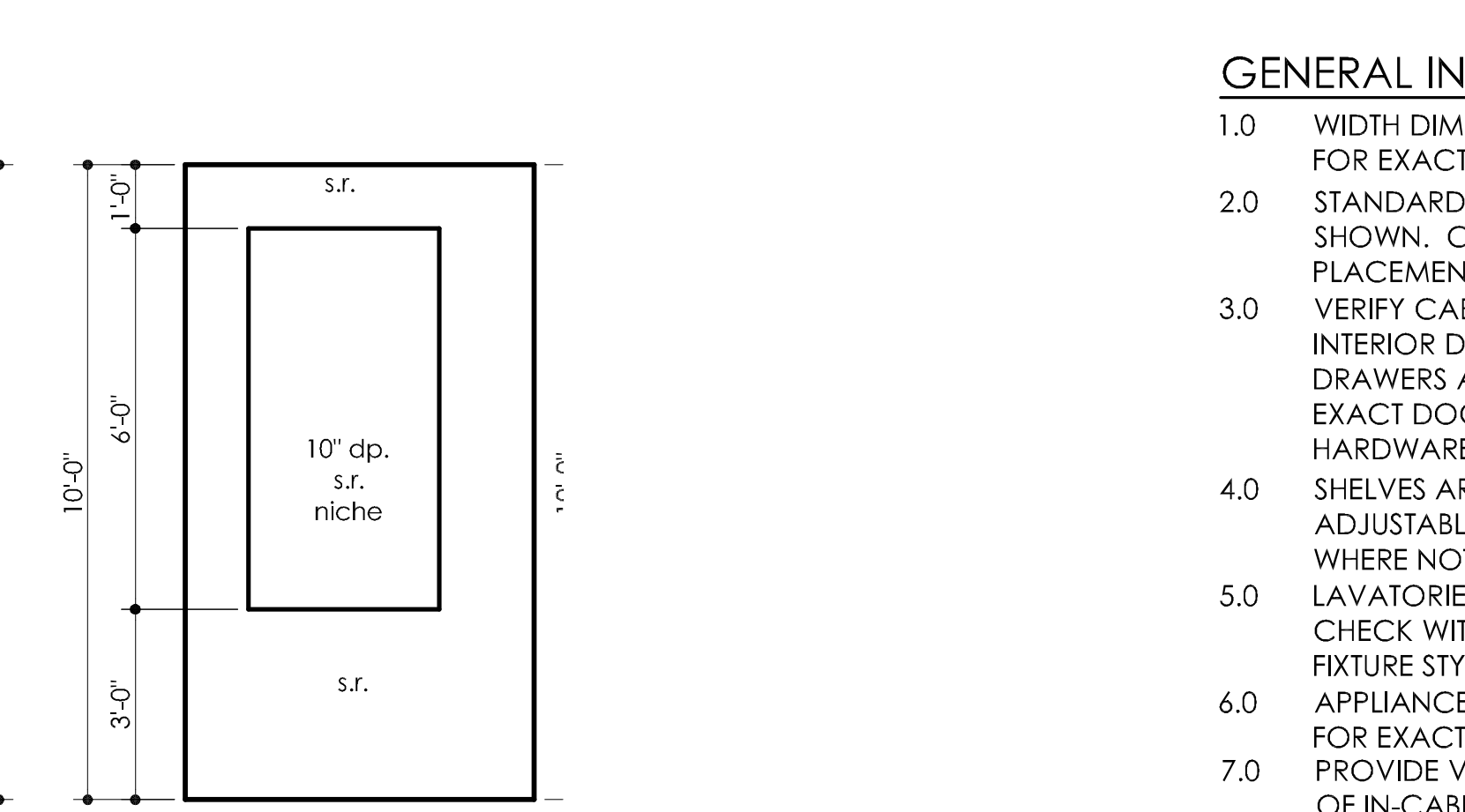
13 MASTER BATH



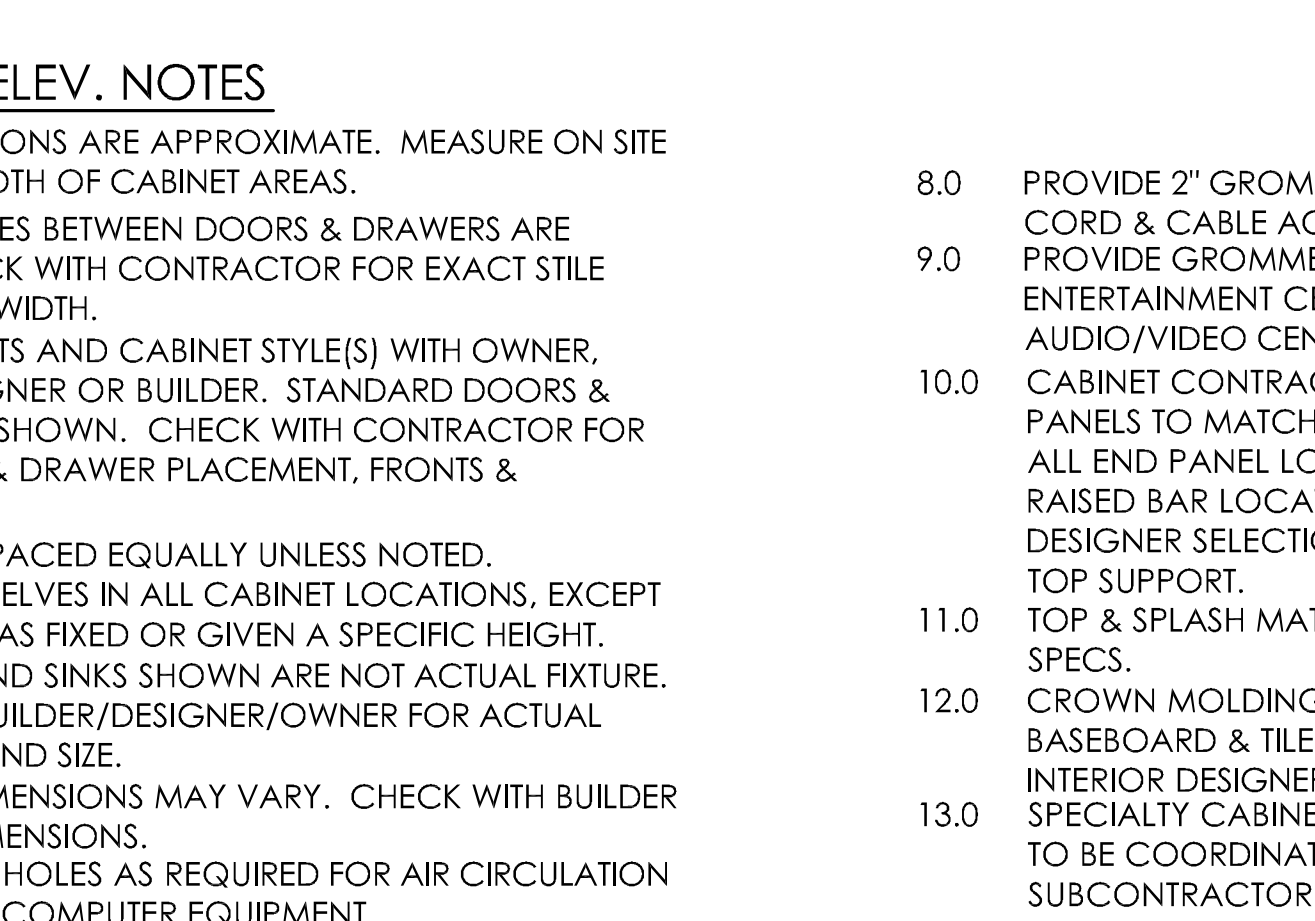
14 MASTER BATH



15 MASTER BATH



16 MA. W/C



17 VESTIBULE

GENERAL INT. ELEV. NOTES

- 1.0 WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
- 2.0 STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
- 3.0 VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER. STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
- 4.0 SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
- 5.0 LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
- 6.0 APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
- 7.0 PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
- 8.0 PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW.
- 9.0 PROVIDE GROMMETS AS REQ'D. FOR CABLES AT ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- 10.0 CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
- 11.0 TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
- 12.0 CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
- 13.0 SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.

INTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"

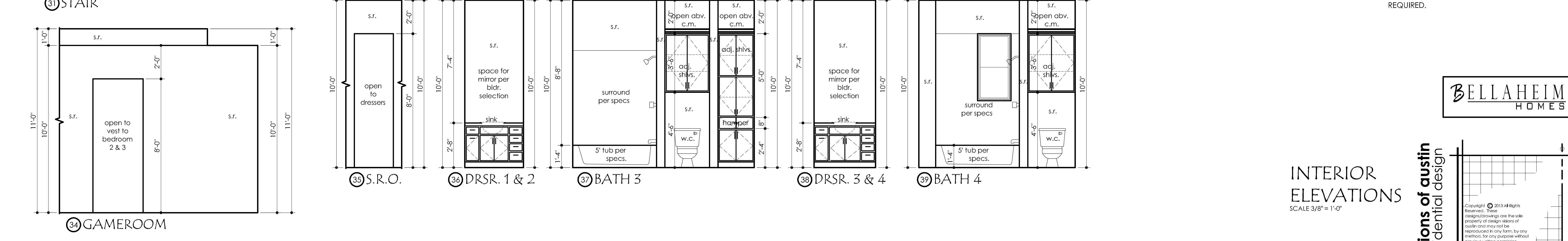
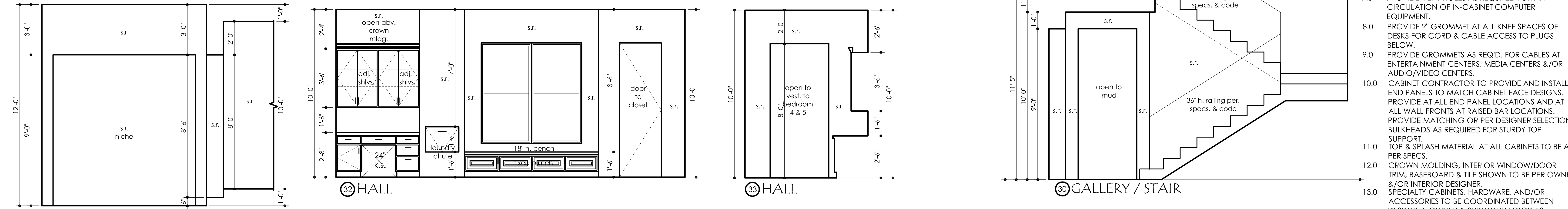
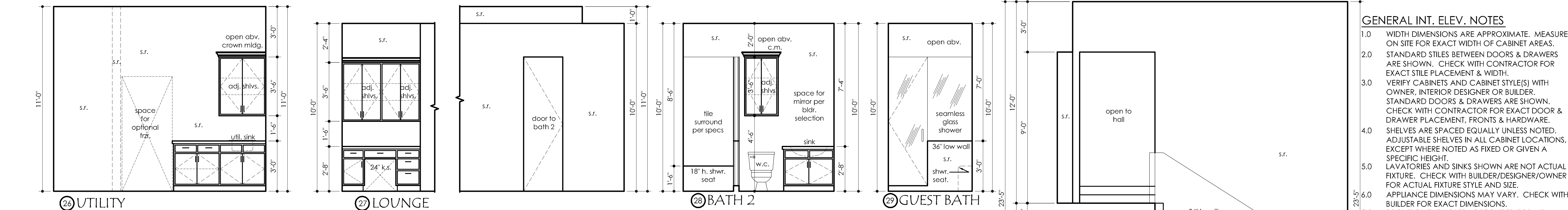
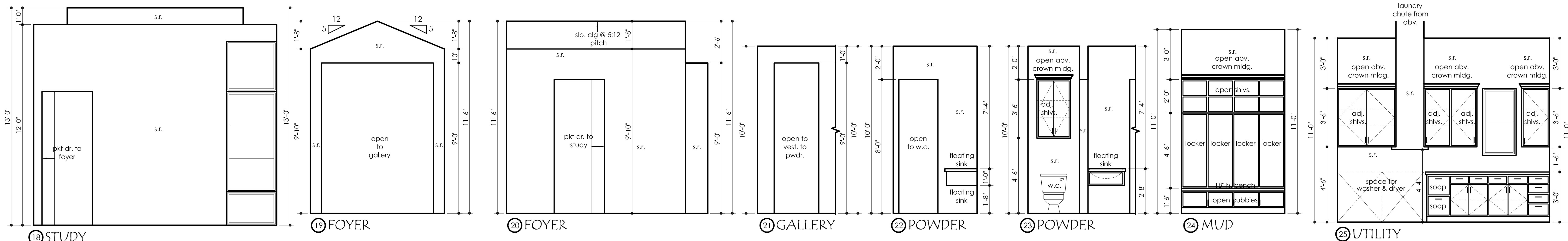


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11002 Foundation Rd

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- GENERAL INT. ELEV. NOTES**
- 1.0 WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
 - 2.0 STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
 - 3.0 VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER, INTERIOR DESIGNER OR BUILDER. STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
 - 4.0 SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
 - 5.0 LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
 - 6.0 APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
 - 7.0 PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
 - 8.0 PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW.
 - 9.0 PROVIDE GROMMETS AS REQ'D. FOR CABLES AT ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
 - 10.0 CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
 - 11.0 TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
 - 12.0 CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
 - 13.0 SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.



INTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"

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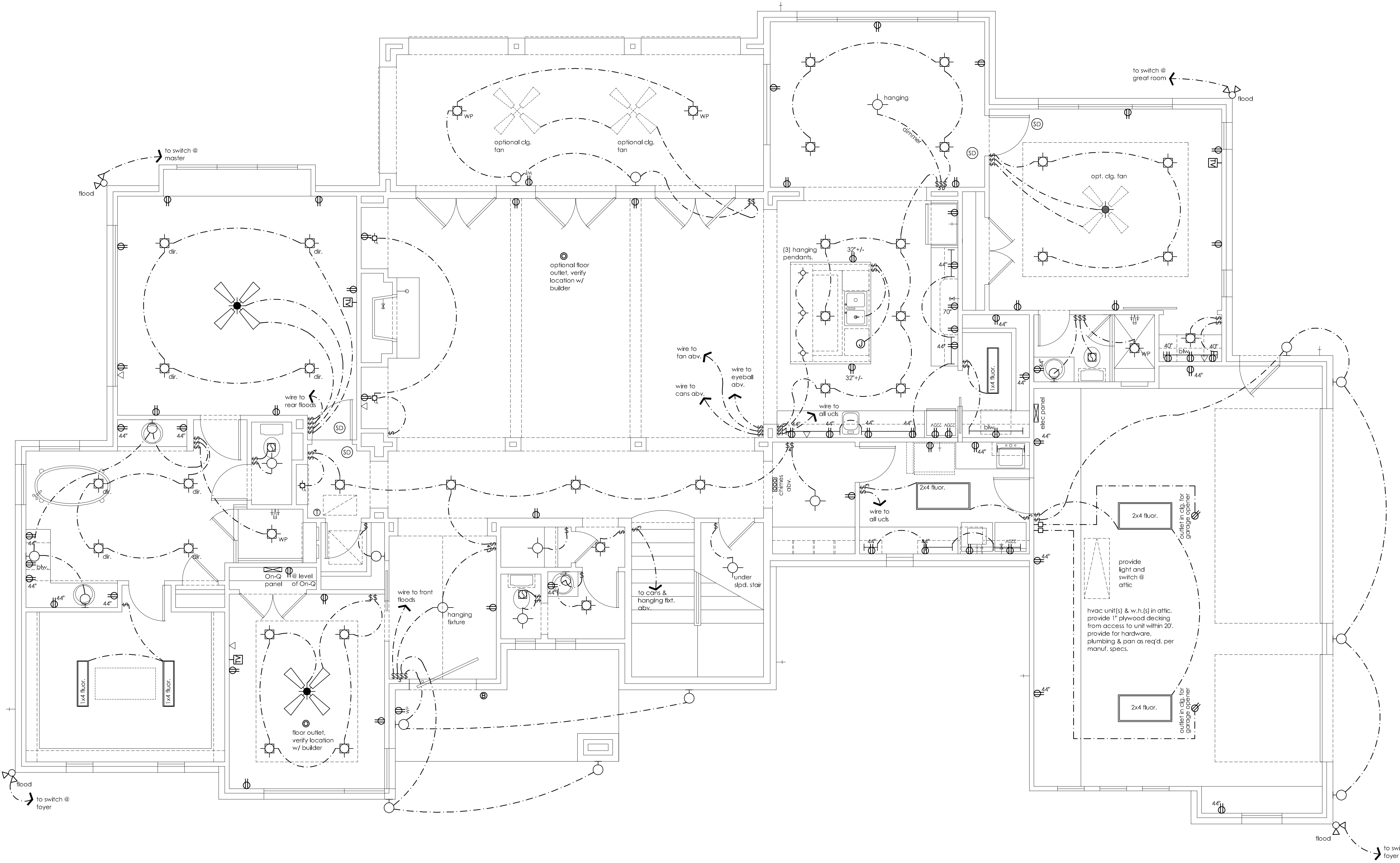
date: 12.23.13
project # 5051

GENERAL ELECTRICAL NOTES:

- 1.0 ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM.
- 2.0 ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
- 3.0 THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- 4.0 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT. AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- 5.0 COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- 6.0 ALL RECESSED DOWNLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
- 7.0 ALL SWITCHES TO BE @ 3'-0" A.F.F. TO CENTER LINE OF SWITCH PLATE UNLESS NOTED OTHERWISE.
- 8.0 PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- 9.0 GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- 10.0 VERIFY LOCATION OF & TYPE OF POWER TO ALL APPLIANCES.
- 11.0 OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
- 12.0 NO SWITCHES TO BE WITHIN 5'-0" OF A TUB OR SHOWER.
- 13.0 HEIGHT OF OUTLETS FROM FLOOR TO CENTER LINE OF OUTLET TO BE 12" TYPICAL UNLESS NOTED OTHERWISE.
- 14.0 LOCATION OF ALL FLOOR OUTLETS & FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- 15.0 PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- 16.0 NOTE TO SUBCONTRACTOR: CENTER LIGHT OVER PEDESTAL LAV. WHERE SHOWN.
- 17.0 SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
- 18.0 PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- 19.0 PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW. PROVIDE GROMMETS AS REQ'D. FOR CABLES & ENTRNMENT. CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
- 20.0 MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS.
- 21.0 PROVIDE BLOCKING FOR clg. FANS WHERE SPECIFIED.
- 22.0 PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS WITH OPENERS.
- 23.0 PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC.. VERIFY LOCATION WITH BUILDER OR OWNER.
- 24.0 SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
- 25.0 ALL RECEPTACLE OUTLETS MUST BE TAMPER RESISTANT.
- 26.0 ARC FAULT PROTECTION REQUIRED IN EVERY HABITABLE AREA EXCEPT BATHROOMS, KITCHEN, AND LAUNDRY.

ELECTRICAL LEGEND

SWITCH - 3 WAY	TELEVISION OUTLET	TRACK LIGHT
SWITCH - 4 WAY	PUSHBUTTON FOR GAR. DR. OPENER	FLOOD LIGHT (SHIELDED)
SWITCH - DIMMER	JUNCTION BOX	INTERCOM/SPEAKER
SWITCH - GFI	OUTLET - 110V DUPLEX	CARBON MONOXIDE DETECTOR
ALL WET AREA SWITCHES TO BE GFI	OUTLET - 110V QUADPLEX	HEAT DETECTOR
SWITCH - WATERPROOF	OUTLET - 110V WATERPROOF	ELEC. PANEL
PHONE OUTLET - FAX	OUTLET - 220V	LOW-VOLT. DIRECTIONAL SPOT
PHONE OUTLET	SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY	LOW-VOLT. PIN-LITE SPOT
FLOOR OUTLET	EXT. DOOR BELL	MINI-FLOOD LIGHT
clg. MOUNTED FIXTURE	CHIMES	LOW-VOLT. UP/LITE
RECESSED CAN LIGHT	THERMOSTAT	LOW-VOLT. PENDANT SPOT
RECESSED CAN LIGHT WATERPROOF	SMOKE DETECTOR	WALLWASH FIXTURE
EYEBALL SPOTLIGHT	VENT/LIGHT COMBO	CLG. FAN W/ LIGHT KIT
WALL MOUNT FIXTURE	VENT/LIGHT/HEAT COMBO	
FLOOR LIGHT	HEAT LITE	
UNDER CABINET LIT. (TYPE PER SPECS.)	VENT/EXHAUST	
	LOW VOLT. HALOGEN	
	GAS VALVE	
	GAS KEY	
	COMBINATION MEDIA OUTLET	
	CATV 5 CONNECTION	



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PROJECT:
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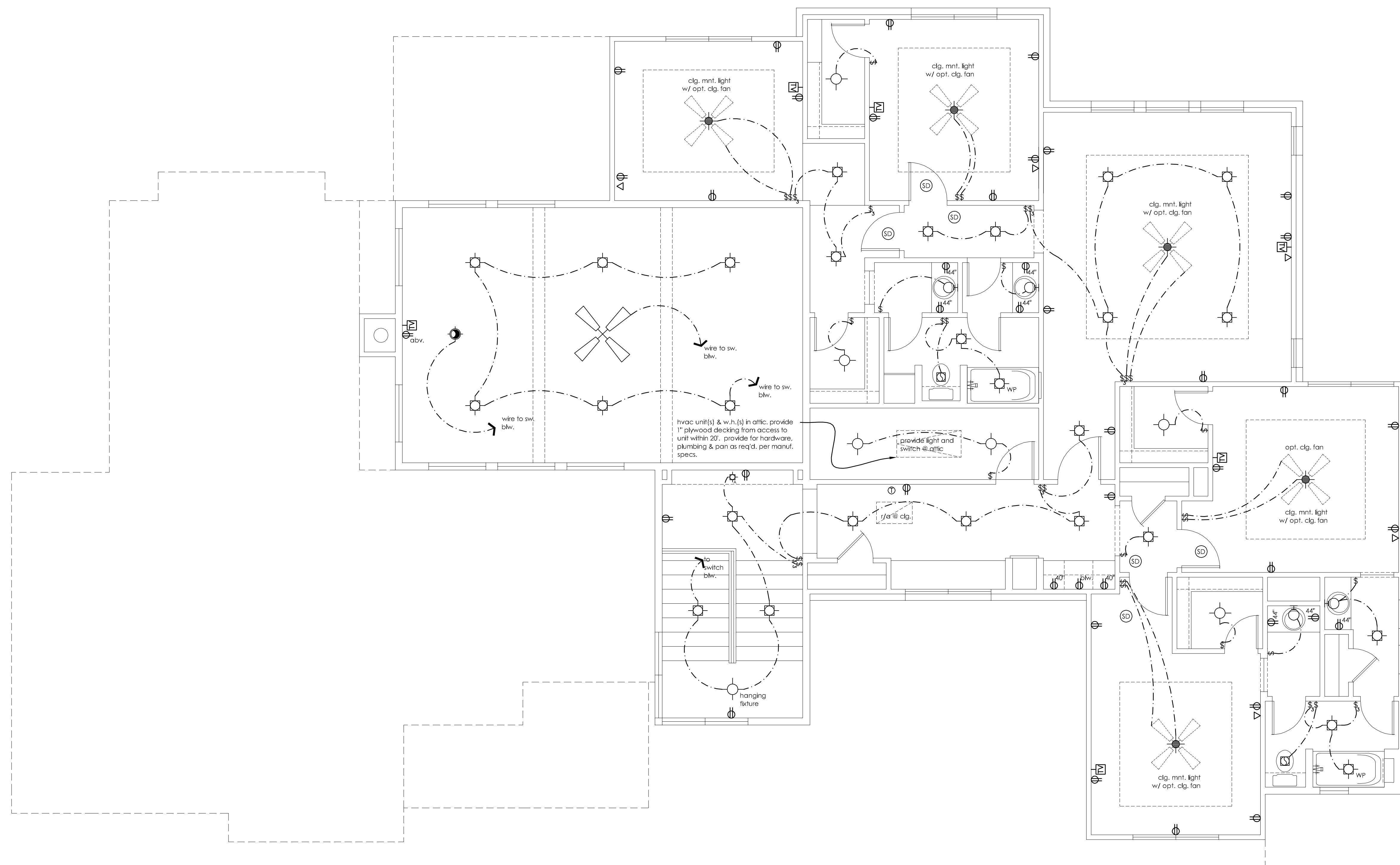
date: 12.23.13
project # 5051

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ELECTRICAL LEGEND

<ul style="list-style-type: none"> SWITCH SWITCH - 3 WAY SWITCH - 4 WAY SWITCH - DIMMER SWITCH - GFI ALL WET AREA SWITCHES TO BE GFI SWITCH - WATERPROOF PHONE OUTLET - FAX PHONE OUTLET FLOOR OUTLET CLG. MOUNTED FIXTURE RECESSED CAN LIGHT RECESSED CAN LIGHT WATERPROOF EYEBALL SPOTLIGHT WALL MOUNT FIXTURE FLOOR LIGHT UNDER CABINET LT. (TYPE PER SPECS.) 	<ul style="list-style-type: none"> TELEVISION OUTLET PUSHBUTTON FOR GAR. DR. OPENER JUNCTION BOX OUTLET - 110V DUPLEX OUTLET - 110V QUADPLEX OUTLET - 110V WATERPROOF OUTLET - 220V SPLIT WIRE FOR SWITCH PLUG SWITCH TOP PLUG ONLY EXT. DOOR BELL CHIMES THERMOSTAT SMOKE DETECTOR VENT/LIGHT COMBO VENT/LIGHT/HEAT COMBO HEAT LIFE VENT/EXHAUST LOW VOLT. HALOGEN GAS VALVE GAS KEY COMBINATION MEDIA OUTLET CATV 5 CONNECTION 	<ul style="list-style-type: none"> TRACK LIGHT FLOOD LIGHT (SHIELDED) INTERCOM/SPEAKER CARBON MONOXIDE DETECTOR ELEC. PANEL LOW-VOLT. DIRECTIONAL SPOT LOW-VOLT. PIN-LITE SPOT MINI-FLOOD LIGHT LOW-VOLT. UPLITE LOW-VOLT. PENDANT SPOT WALLWASH FIXTURE CLG. FAN W/ LIGHT KIT CLG. FAN [WITHOUT LIGHT KIT]
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